

ADMINISTRATIVE PERMIT

FOR

The Kurtz Residence

Prepared For:

Kurtz Trust, Chris & Freda
PO Box 19434
Reno, NV 89511
775.849.9830

Prepared By:



575 E. Plumb Lane, Suite 101
Reno, NV 89502
775.636.7905

June 2020

20.032

Table of Contents

- Washoe County Development Application
- Property Owner Affidavit
- Administrative Permit Supplemental Information
- Narrative
- Zoning & Vicinity Map
- Required Plans (full size plans at back of application)
 - Site Plan
 - Floor Plan
 - Building Elevations
- Additional Information
 - Proof of Property Tax Payment

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Kurtz Residence			
Project Description: The construction of a single family residence with a detached garage as well as a building pad for a future residence.			
Project Address: 2150 Rhodes Rd, Washoe County, NV 89521			
Project Area (acres or square feet): 15 Acres			
Project Location (with point of reference to major cross streets AND area locator):			
<small>The site is on the east side of Rhodes Rd between Chance Ln and Willomonte Rd. The east side of the site is on the west side of Chance Ln. Access to the site is off Rhodes Rd.</small>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
017-390-22	15		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Kurtz Trust, Chris & Freda		Name: Monte Vista Consulting, Ltd.	
Address: PO Box 19434, Reno, NV		Address: 575 E. Plumb Lane, Suite 101, Reno, NV	
Zip: 89511		Zip: 89502	
Phone: 775.849.9830	Fax:	Phone: 775.636.7905	Fax:
Email: ckurtz@cisnv.com		Email: mike@montevistaconsulting.com	
Cell:	Other:	Cell:	Other:
Contact Person: Chris Kurtz		Contact Person: Mike Vicks	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Owner		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Chris and Freda Kurtz of The Chris and Freda Kurtz Trust

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Freda Kurtz and Chris Kurtz of the Chris and Freda Kurtz Trust
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 017-390-22

Printed Name Freda Kurtz, TTE
Chris Kurtz, TTE

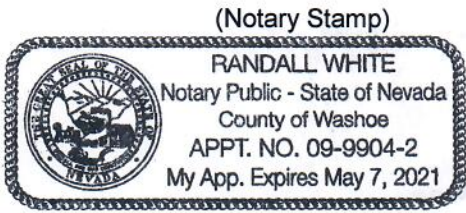
Signed Freda Kurtz, TTE
Chris Kurtz, TTE

Address 202 Paddington Ct, Reno, NV
89511

State of Nevada
County of Washoe
Subscribed and sworn to before me this
29th day of May, 2020.

[Signature]
Notary Public in and for said county and state

My commission expires: May 7, 2021



- *Owner refers to the following: (Please mark appropriate box.)
- Owner
 - Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
 - Power of Attorney (Provide copy of Power of Attorney.)
 - Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
 - Property Agent (Provide copy of record document indicating authority to sign.)
 - Letter from Government Agency with Stewardship

**Administrative Permit Application
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

Residential

2. What section of the Washoe County code requires the Administrative permit required?

Section 110.306.10 - Detached Accessory Structures

3. What currently developed portions of the property or existing structures are going to be used with this permit?

The site is currently undeveloped with the exception of several existing dirt roads.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New improvements will consist of a residence, detached garage, driveway, and septic system which will be constructed in a single phase.

5. Is there a phasing schedule for the construction and completion of the project?

The project will be constructed in a single phase, however, a future residence is planned.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The slopes in the area of the proposed structures are ideal for development and proper drainage. The parcel is zoned for residential which will be the intended use for the project.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

The proposed improvements will increase the tax base with development consistent with the surrounding uses.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

All disturbed areas will be landscaped or re-vegetated to natural conditions while maintaining defensible space requirements.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

The residence includes a 2-car garage and the detached garage can accommodate 6+ vehicles in addition to driveway parking.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Landscaping and re-vegetation will consist of natural vegetation.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Typical on building residential lighting will be provided.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	Septic System
b. Water Service	Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

The owner has the water rights to the site and an existing well is on the site.

Project Information

Location: 2150 Rhodes Road

APN: 017-390-22

Site Area: 15 ac

Developed Area: 0.0 ac

Disturbance: 1.9 ac

Zoning: MDR 33%/LDS 65%/GR 2%

Master Plan Designation: SR

Proposed Use: Single Family Residential

Administrative Permit Required for: Per Washoe County Code 110.306.10 (d) a garage that is larger than the main structure.

Pre-Development Discussion

Existing Conditions & Development:

The site is currently undeveloped consisting of native grasses and brush. Access to the site is from Rhodes Road and existing dirt roads that loop throughout the site that are minimally used. The slopes throughout the site are generally mild with some areas having steeper slopes. The driveway access to the site slopes between 1 – 7%. The slopes in area where the proposed development will occur range from 1 to 3%. All other areas of the site slopes between 1 to 14%.

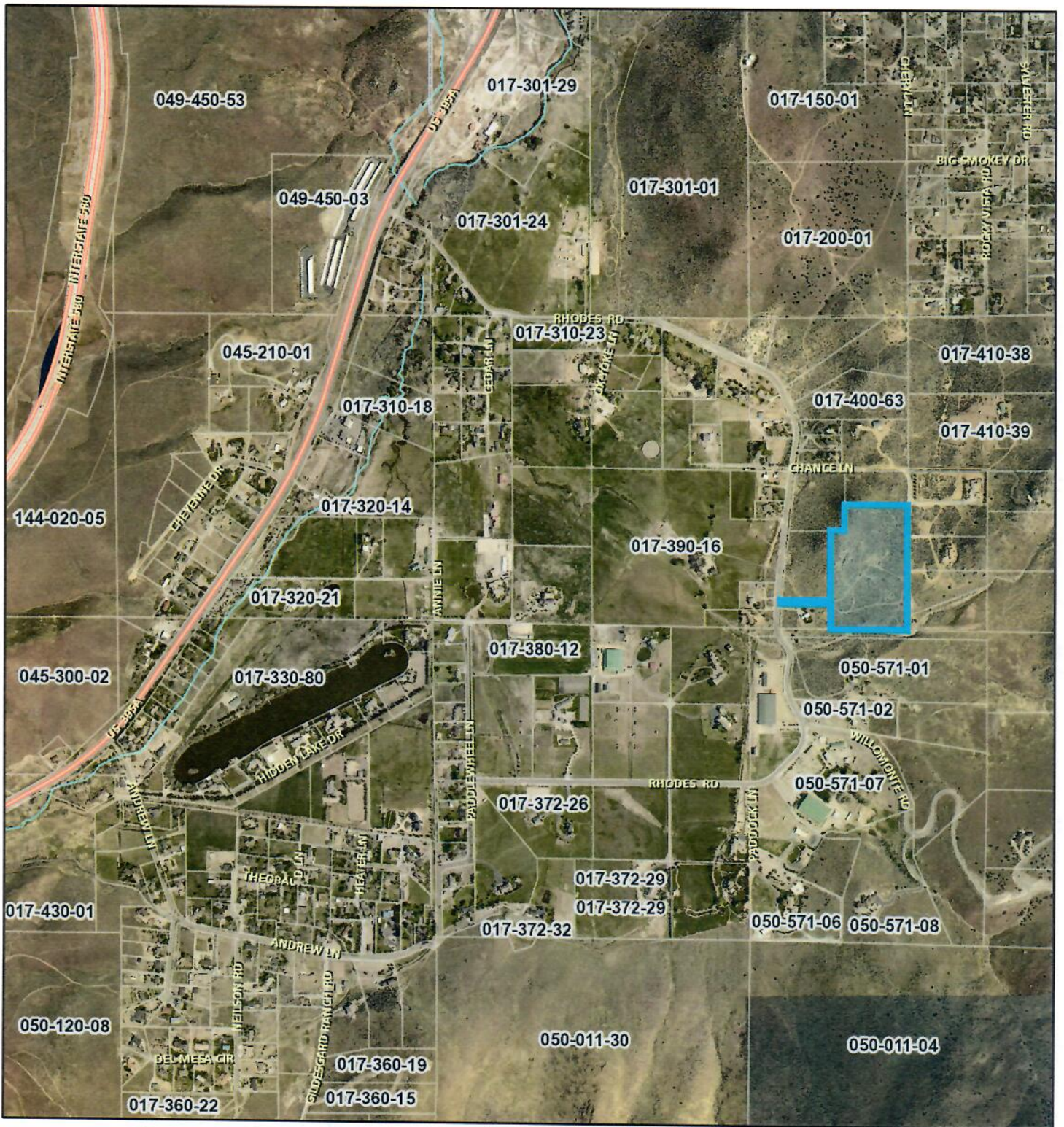
Surrounding Properties:

- | | | |
|---|----------------------|-------------------|
| ○ North: Undeveloped Residential | Zoning: MDR, LDS, GR | Use: Vacant |
| ○ South: Undeveloped Residential | Zoning: HDR | Use: Vacant |
| ○ East: Undeveloped & Developed Residential | Zoning: MDR, HDR | Use: Vacant & SFR |
| ○ West: Rhodes Road, Undeveloped &
Developed residential | Zoning: MDR, LDS, GR | Use: Vacant & SFR |

Proposed Development Discussion

Proposed Improvements:

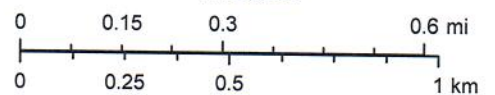
The proposed single-family residence and detached garage are consistent with the master plan and zoning. Improvements include the construction of a 1,497 s.f. residence, a 6,000 s.f. detached garage, a pad for a future residence, driveway, utility and drainage improvements. The driveway will maintain the slopes of the existing slopes of 1 to 7%. The slopes in the area proposed development will range from 1 to 5%. The area near the proposed pad for a future residence slope up to existing grade at a max of 26%. A 5,900 s.f. residence may be built in the future but is not associated with this permit. At that time, an additional Administrative Review will be required to convert the residence proposed with this application to a Detached Accessory Dwelling. In association with the proposed work, the disturbed area will be landscaped adjacent to the residence and the remainder will be revegetated with natural vegetation while maintaining the required defensible space requirements. All development will be consistent with single family residential development.



June 12, 2020

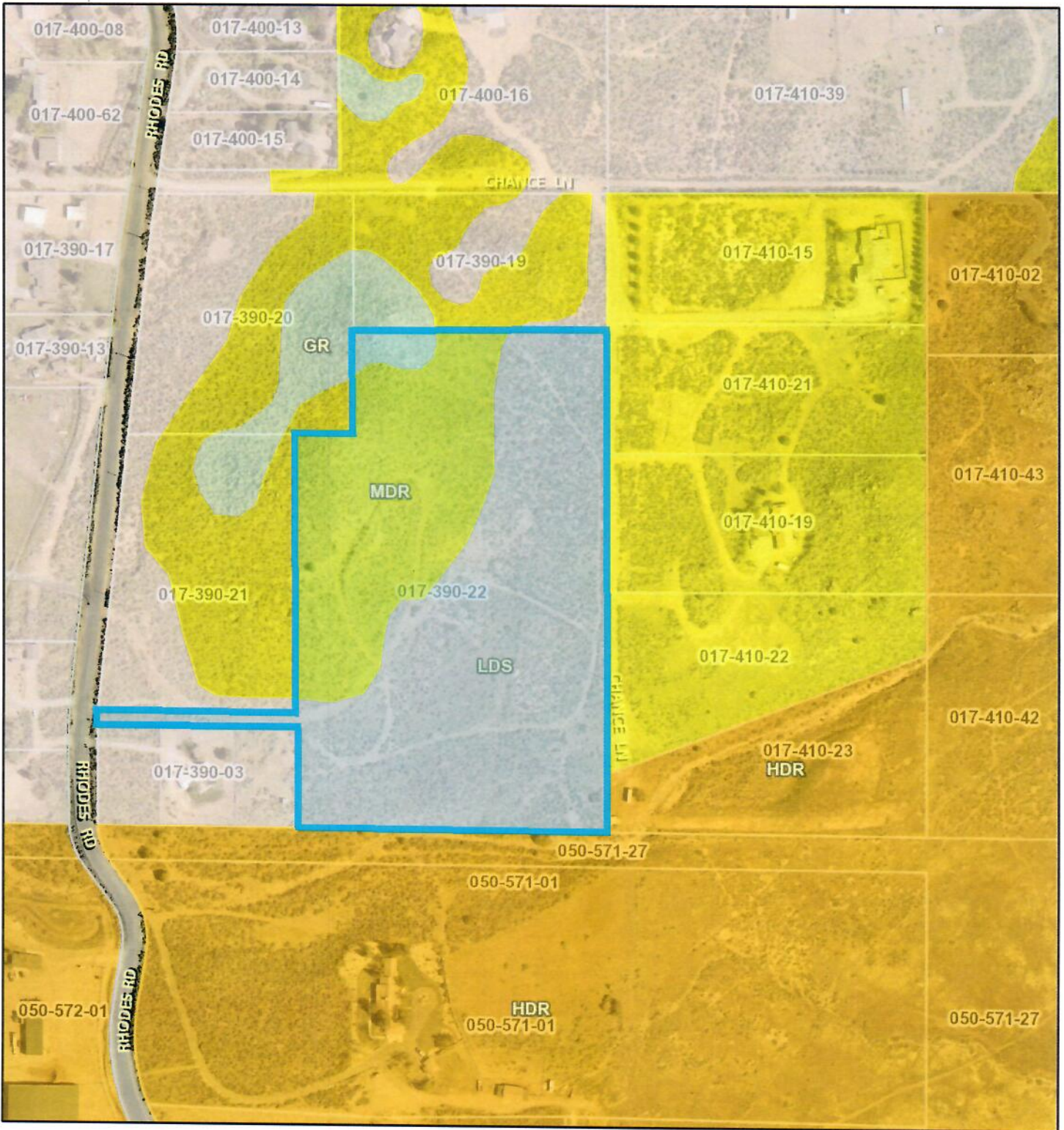
APN

1:18,056



Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,
 USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.

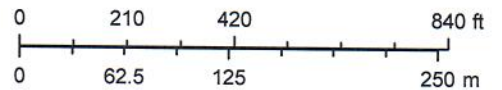


June 12, 2020

1:4,514

Regulatory Zoning

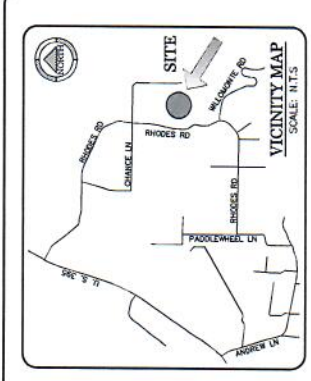
CITY	HDS	MDS	PSP	APN
DL	I	MDS4	RDS	
GC	LDR	MDU	RRRW	
GR	LDS	NC	SP	
GRA	LDS2	NDA	TC	
HDR	LDU	OS	TL	
	MDR	PR	WB	



Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.

Reduced Plans



STANDARD BMP NOTES

1. THE OWNER, THE ENGINEER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE ENVIRONMENT FROM POLLUTION AND TO PREVENT THE RELEASE OF HAZARDOUS MATERIALS TO THE ENVIRONMENT. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

1. DEFENSIBLE SPACE SHALL BE MAINTAINED AS SHOWN ON THE SITE PLAN. THE DEFENSIBLE SPACE SHALL BE MAINTAINED AS SHOWN ON THE SITE PLAN.
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SURVEY NOTE

THE SURVEY WAS CONDUCTED BY MONTA VISTA CONSULTING, INC. ON 08/15/2023. THE SURVEY WAS CONDUCTED BY MONTA VISTA CONSULTING, INC. ON 08/15/2023.

LANDSCAPING & RE-VEGETATION NOTE

ALL DECIDED AREAS SHALL BE LANDSCAPED OR RE-VEGETATED TO MATCH THE EXISTING SURROUNDING AREAS. THE LANDSCAPING SHALL BE COMPLETED WITHIN 90 DAYS OF THE END OF CONSTRUCTION.

SITE INFORMATION

ADDRESS	2100 BIRCH ST
APN	017-000-02
LOT SIZE	63,340 SQ FT
ZONING	UR 100
MAP FILE OR BIRING	MAP 100
PERMITS (P-22-3)	LOT 30720 (12 FT)

SITE NOTES

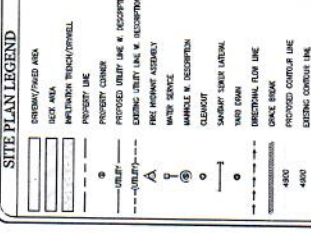
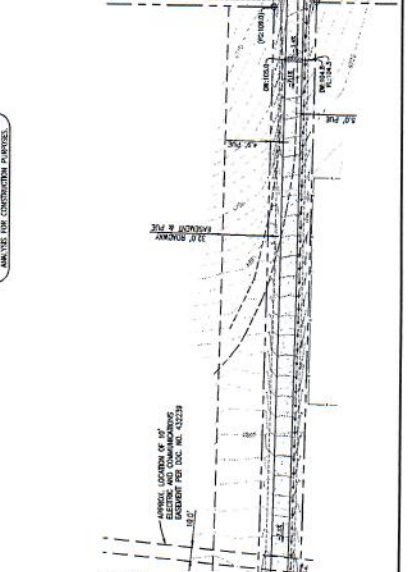
1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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EARTHWORK ANALYSIS

SITE AREA	11.4 AC
EXISTING ELEVATION	119.4'
PROPOSED CUT	1,700 YD ³
PROPOSED FILL	1,700 YD ³
NET EXCAVATION	BLANKED

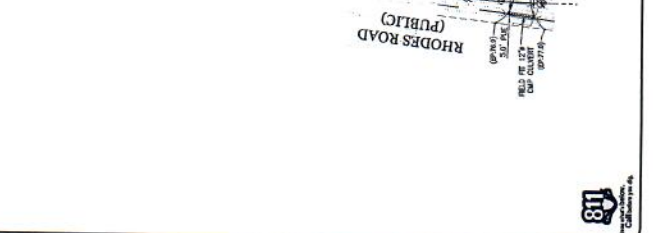
OWNER INFORMATION

JEFFREY A. JOHNSON
 1775 E. PLUMB LANE # 201
 PROVO, UT 84601
 (801) 734-1234



CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



DATE:	5-27-2020
REVISIONS:	

George K. Inoué
ARCHITECT

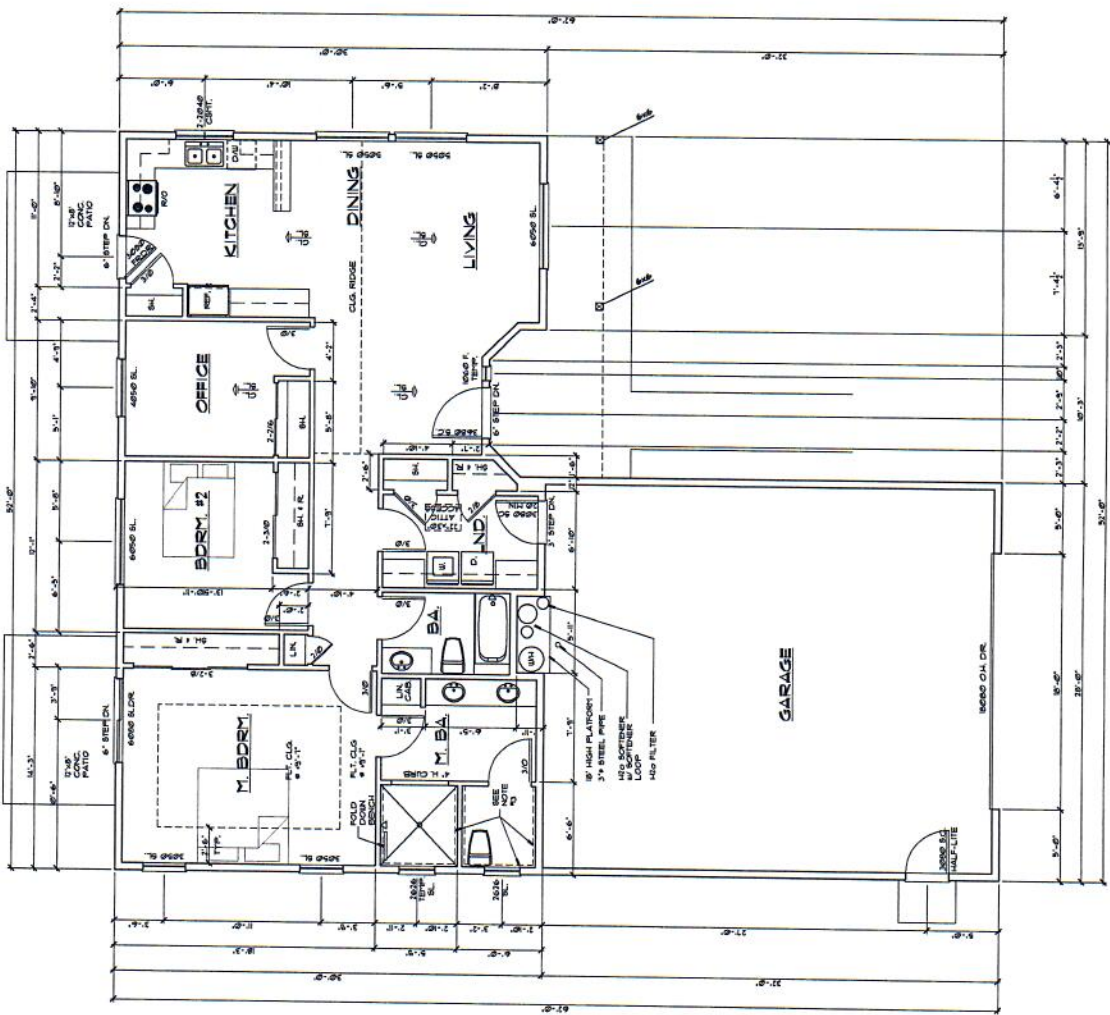
1325 AIRPORT WAY, STE. 285
RENO, NEVADA 89502
(775) 323-5987
(775) 323-8268 FAX
www.georgekinoue.com
gki@georgekinoue.com

GUEST HOUSE
FOR
O'HARA & FREDA KURTZ
2150 RHODES ROAD
WASHOE COUNTY, NEVADA

FILE NO:
7021
SHEET:
A-3

ALL DESIGNS & DRAWINGS AS INSTRUMENTS OF SERVICE ARE COPYRIGHT BY THE ARCHITECT UNDER PROVISIONS OF NRS 633. UNAUTHORIZED REPRODUCTION OR DISTRIBUTION OF DRAWINGS IS PROHIBITED.

- FLOOR PLAN NOTES:**
1. EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL 2" OC. W/ ALL EDGES. VAPOR BARRIER & R-20 INSULATION TYPE TO BE DETERMINED BY MECHANICAL ENGINEER. PROVIDE FOAM WALL BALL W/ ALL EXTERIOR WALLS. ALL EXTERIOR WALLS SHALL BE BALANCED.
 2. SEE FOUNDATION PLAN FOR ADDITIONAL DIMENSIONS.
 3. SEE FOUNDATION PLAN FOR ADDITIONAL DIMENSIONS.
 4. TYPICAL PLATE HEIGHT IS 3'-1" AFF. (UNGA. INDOOR HEIGHT IS 8'-0" AFF. (UNGA. INTERIOR DOOR HEIGHT IS 8'-0" AFF. (UNGA.))
 5. ALL CEILING FINISHES SHALL BE 2" OC. AS FOLLOWS:
200'S HALL SPAN 4'-0"
200'S HALL SPAN 8'-0"
200'S HALL SPAN 12'-0"
200'S HALL SPAN 16'-0"
200'S HALL SPAN 20'-0"
 6. USE APPROVED VENT PLUMBING. FUSES TO REAR OF HOUSE.
 7. SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS.
 8. PROVIDE SILL FLASH & ALL EXTERIOR DOORS & WINDOWS.
 9. PROVIDE SILL FLASH & ALL EXTERIOR DOORS & WINDOWS.
 10. INSULATE ALL PIPES FOR R-30. SEE SCHEDULE ON THE 1.
 11. INSULATE INTERIOR WALLS & BATHROOM & LAUNDRY.
 12. USE R-4.
 13. PROVIDE WEATHER STRIPPING & ALL ACCESS DOORS.
 14. PROVIDE 3/4" COV. W/ WOOD FLOOR TO CEILING & MASTER BATHROOM SHOWER & TOILET COMPARTMENT.



FLOOR PLAN
SCALE 1/4" = 1'-0"
LIVING AREA APPROX. 1451 SQ. FT.
GARAGE AREA APPROX. 932 SQ. FT.

DATE:	3-27-2010
REVISIONS:	

George K. Innervicks
ARCHITECT

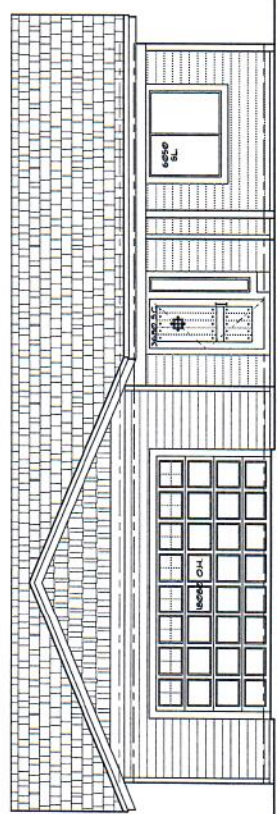
1225 ARBORE WAY, STE. 285
RENO, NEVADA 89502
(775) 222-5983
WWW.GKINNERS.COM
GKIN@GKINNERS.COM

GUEST HOUSE
FOR: CHRIS & FREDA KURTZ
2150 RHODES ROAD
WASHOE COUNTY, NEVADA

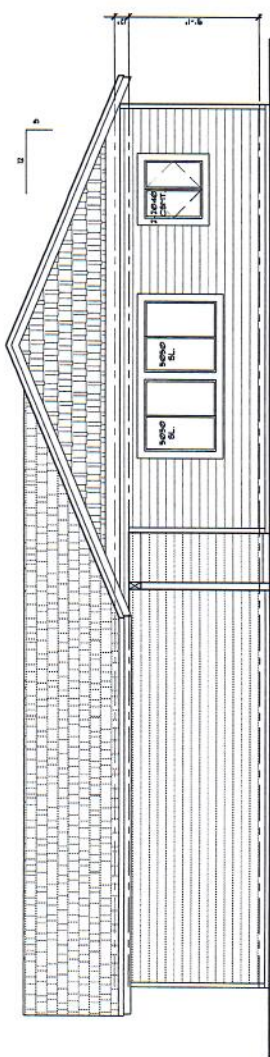
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SHEET:	A-6

ALL DESIGNS & DRAWINGS & DIMENSIONS OF SERVICE ARE COPYRIGHT BY THE ARCHITECT UNDER PROVISIONS OF NRS 623. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF DRAWINGS IS PROHIBITED.

- ELEVATION NOTES & EXTERIOR COLORS**
- 1. COMPOSITION SHINGLES w/ CONT. RIDGE VENT. COLOR: LIGHT GRAY
 - 2. SIDING: L. TRIT. HARDWARE: D. LAP COLOR: WHITE
 - 3. GABLE END: SHING. HARDWARE: D. CEDAR SHING. COLOR: NATURAL
 - 4. SIDING: S.D. SASHA. SIDING: S. BEVEL. COLOR: DELUXE FLAT ACRYLIC PAINT
 - 5. ENTRY DOOR: HARDWARE: D. BRASS. COLOR: NATURAL WOOD TONE
 - 6. WINDOWS: HARDWARE: D. BRASS. ANODIZED ALUM. SPO. FIN. FACTOR: 627
 - 7. GARAGE DOOR: HARDWARE: D. BRASS. COLOR: MATCH SIDING
 - 8. GARAGE DOOR: HARDWARE: D. BRASS. COLOR: MATCH SIDING
 - 9. TRIMS, FLASHING, Etc. COLOR: PAINT TO MATCH ROOF



NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"

DATE
5-11-2010
REVISIONS

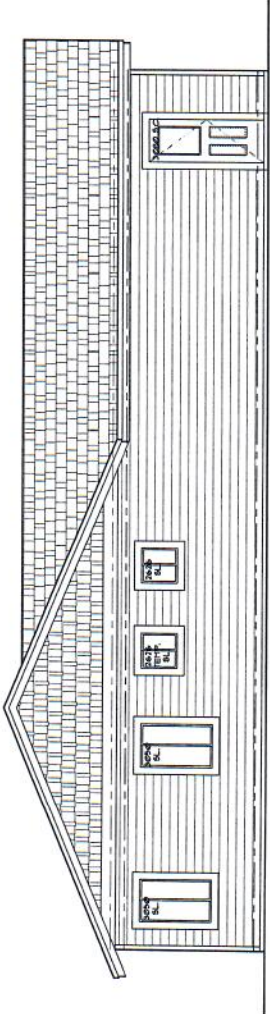
George K. Howdridge
ARCHITECT

1225 ARBONITE WAY, STE. 285
RENO, NEVADA 89502
(775) 322-8388 FAX
(775) 322-8388
GKH@GKHARCHITECT.COM

QUOT HOUSE
FOR
CHRIS & FRIDA KURTZ
2150 RHODES ROAD
WASHOE COUNTY, NEVADA

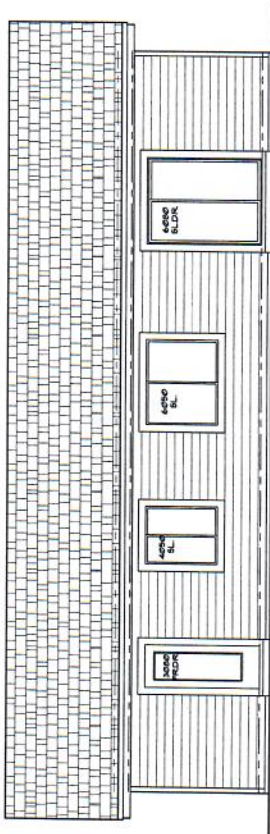
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A-7

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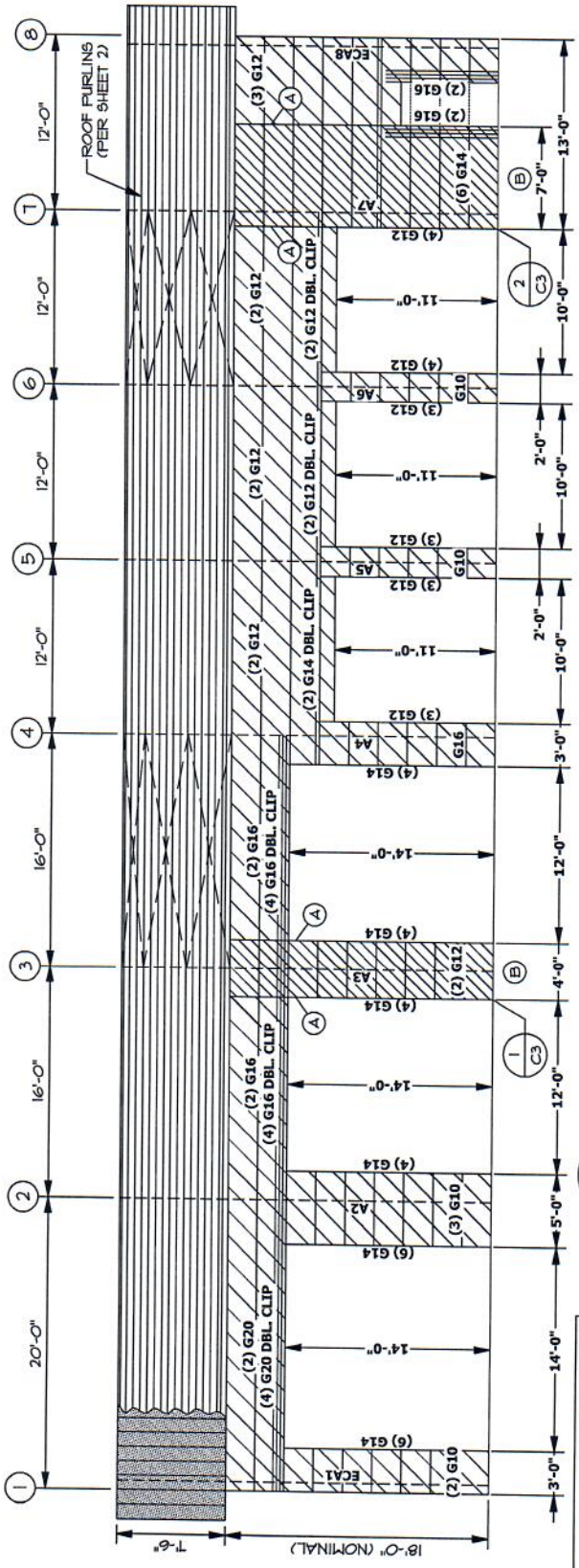


NORTHEAST ELEVATION
SCALE 1/4" = 1'-0"

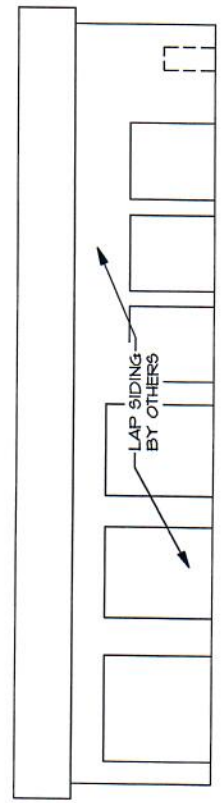
- ELEVATION NOTES & EXTERIOR COLORS**
- 1. CORRELATION SAMPLES W/ CONT. DEVELOPMENT. COLOR:
 - 2. BRICK, L. TRNK. MARBLE 80% LAP. COLOR:
 - 3. SABLE END SHASEL. MARBLE 80% CEDAR SHAKE. COLOR:
 - 4. MARBLE 80% MARBLE 80% CEDAR SHAKE. MARBLE 80% DELUXE FLAT ACRYLIC PAINT. COLOR:
 - 5. BRICK, DOORS. MARBLE 80% MARBLE 80% CEDAR SHAKE. COLOR: NATURAL WOOD TONE
 - 6. WINDOWS. MARBLE 80% MARBLE 80% CEDAR SHAKE. COLOR: FACTORY 627
 - 7. GARAGE DOORS. MARBLE 80% MARBLE 80% CEDAR SHAKE. COLOR: FACTORY 627
 - 8. GARAGE MAIN DOOR. MARBLE 80% MARBLE 80% CEDAR SHAKE. COLOR: FACTORY 627
 - 9. VENTS, FLASHING, E. E. L. MARBLE 80% MARBLE 80% CEDAR SHAKE. COLOR: PAINT TO MATCH ROOF



SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"



1 FRONT SIDEWALL ELEVATION @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/8" = 1'-0"



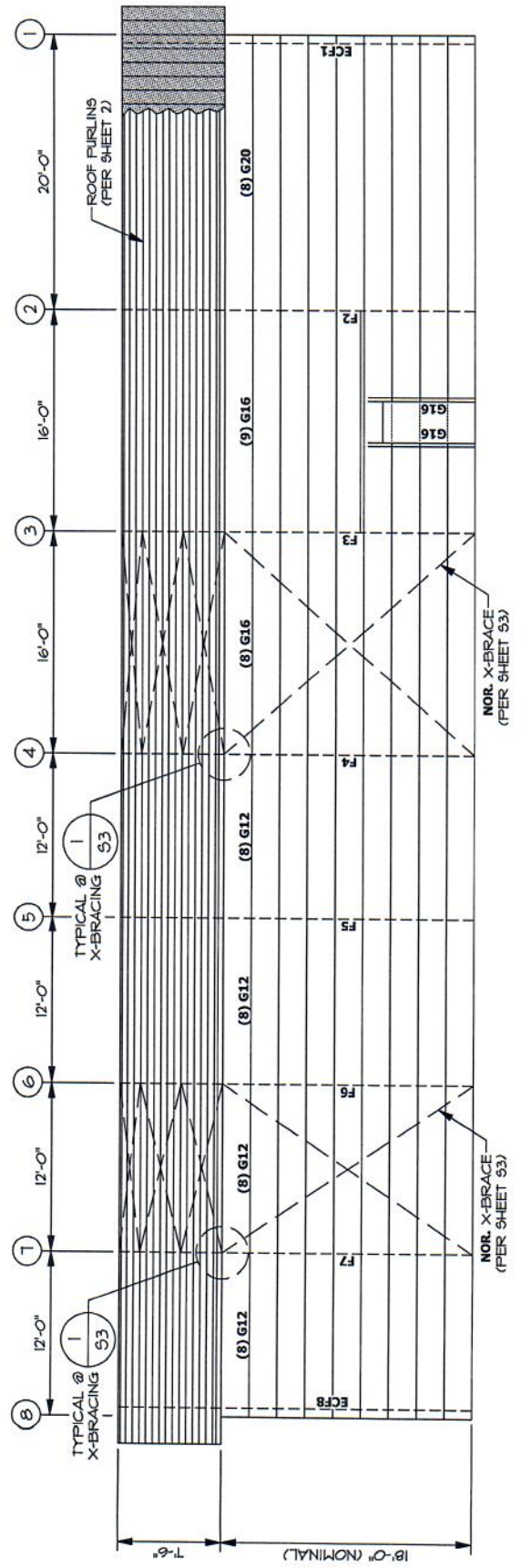
2 FRONT SIDEWALL SIDING ELEV. @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/16" = 1'-0"

WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	35
G14	2x6x14	32
G16	2x6x16	16
G20	2x6x20	6

- DOOR FRAMING NOTES:
- CANTILEVER WALL GIRTS PAST FRAME LEGS TO OVERHEAD DOOR JAMBS.
 - CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.
- (A) 2x6 BLOCKING EXTENDS TO ROOF FRAMING. ATTACH TO DOOR TRIMMER w/CS16 STRAP WITH 16" MIN. END LENGTH - APPLY TO OUTSIDE OF PLYWOOD w/ 10d NAILS; FILL ALL HOLES.
- (B) ATTACH 1/2" PLYWOOD (OR OSB) TO WALL FRAMING & EDGE PURLIN WITH 10d NAILS AT 4" o.c. AT PANEL EDGES AND 12" o.c. AT INTERMEDIATE FRAMING. BLOCK ALL PANEL EDGES (NOT SHOWN).

NOTE:
 1. CUSTOMER TO PROVIDE 1/2" PLYWOOD AND BLOCKING.
 2. SHEET ENTIRE WALL w/ 1/2" PLYWOOD.

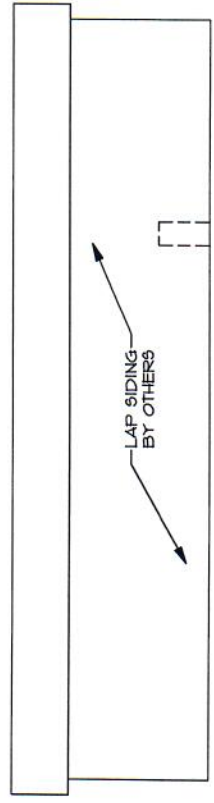


1 REAR SIDEWALL ELEVATION @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/8" = 1'-0"

WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	--
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	19
G20	2x6x20	8

- DOOR FRAMING NOTES:**
- CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS.
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.



2 REAR SIDEWALL SIDING ELEV. @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/16" = 1'-0"

WEB STEEL
115
Buildings Northwest
37396 RUBEN LANE
SANDY, OR. 97055
OFFICE: (503)-668-7211 FAX: (503)-668-9026

DRAWN: NSC
DATE: 4/27/2020
JOB NO: V20-013

LEFT ENDWALL DETAILS
ELEVATION & SIDING PLAN
(AT LINE 1)

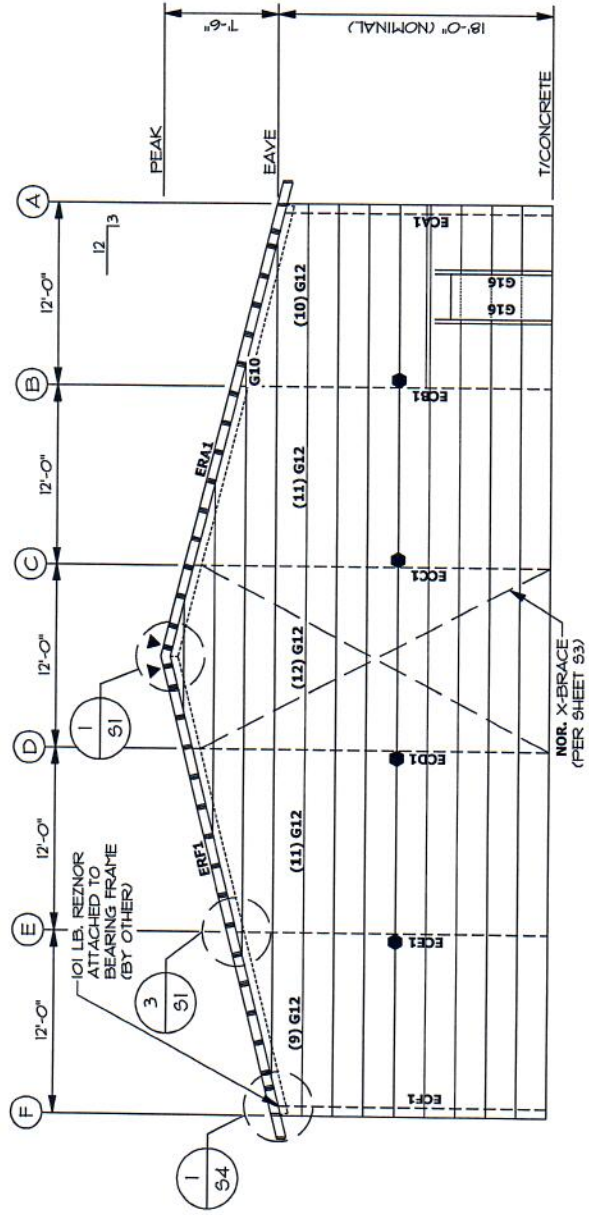
WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	33
G14	2x6x14	--
G16	2x6x16	2

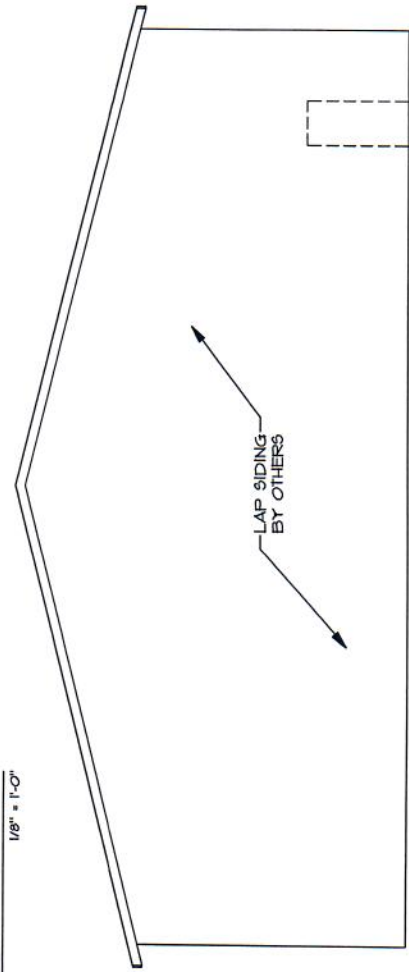
SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1x1x1/8"	2
●	COLUMN BRACE	18"	L1x1x1/8"	4
ERF1	ENDWALL RAFTER FI		C8x11.5	
ERA1	ENDWALL RAFTER AI		C8x11.5	
ECF1	ENDWALL COLUMN FI		H953x3x3/16	
ECE1	ENDWALL COLUMN EI		W8x15	
ECD1	ENDWALL COLUMN DI		W8x15	
ECC1	ENDWALL COLUMN CI		W8x15	
ECB1	ENDWALL COLUMN BI		W8x15	
ECA1	ENDWALL COLUMN AI		H953x3x3/16	

DOOR FRAMING NOTES:
1. CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
2. FOR REMAINING FRAMING DETAILS SEE SHEET D1.

NOTE:
COLUMN BRACE (PER SHEET N2) @ 10'-0" TYP.



1 LEFT ENDWALL ELEVATION @ LINE 1
VIEW FROM OUTSIDE THE BUILDING @ LINE 1
1/8" = 1'-0"



2 LEFT ENDWALL SIDING ELEV. @ LINE 1
VIEW FROM OUTSIDE THE BUILDING @ LINE 1
1/8" = 1'-0"

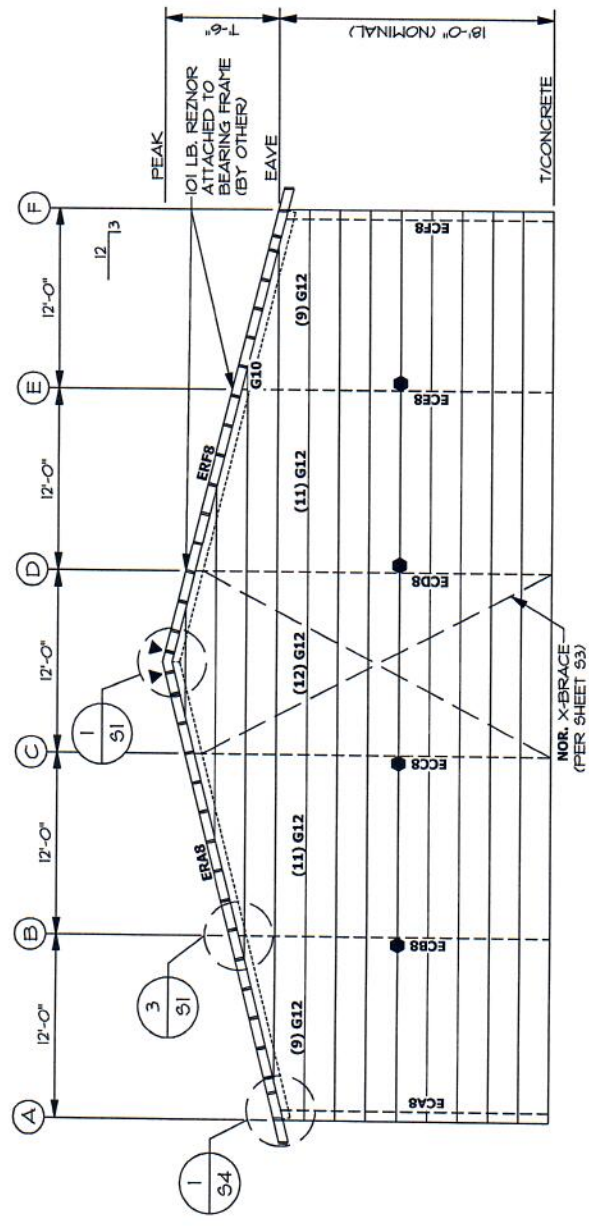


WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

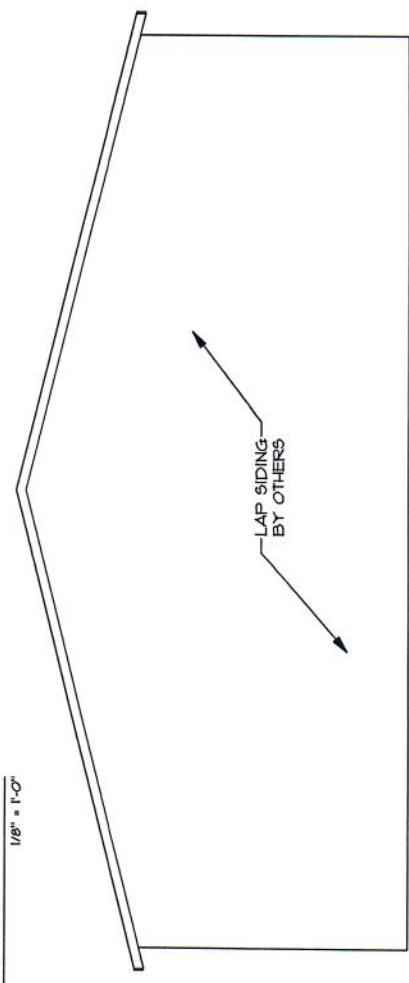
MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	--

SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1X11/8"	2
●	COLUMN BRACE	18"	L1X11/8"	4
ERA8	ENDWALL RAFTER A8		C8X11.5	
ERF8	ENDWALL RAFTER F8		C8X11.5	
ECA8	ENDWALL COLUMN A8		H533x3/16	
ECB8	ENDWALL COLUMN B8		W8X15	
ECC8	ENDWALL COLUMN C8		W8X15	
ECD8	ENDWALL COLUMN D8		W8X15	
ECE8	ENDWALL COLUMN E8		W8X15	
ECF8	ENDWALL COLUMN F8		H533x3/16	

NOTE:
 COLUMN BRACE
 (PER SHEET N2)
 @ 10'-0" TYP.



1 RIGHT ENDWALL ELEVATION @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



2 RIGHT ENDWALL SIDING ELEV. @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



Additional Information

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
01739022	Active	6/15/2020 1:40:13 AM

Current Owner:
KURTZ TRUST, CHRIS & FRED
PO BOX 19434
RENO, NV 89511

SITUS:
2150 RHODES RD
WASHOE COUNTY NV

Taxing District
4000

Geo CD:

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2019	\$1,991.61	\$1,991.61	\$0.00	\$0.00	\$0.00
2018	\$1,900.43	\$1,900.43	\$0.00	\$0.00	\$0.00
2017	\$1,823.86	\$1,822.52	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

Payment Information

Special Assessment District

Installment Date Information

Assessment Information

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.



Photo 1: Looking east the driveway access to the site from Rhodes Road.



Photo 2: North of the site looking south.



Photo 3: East of the site looking west.



Photo 4: South of site looking north.



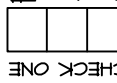
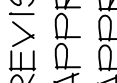
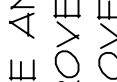
Photo 5: West of the site looking east.

GENERAL NOTES:

- CONTRACTOR/OWNER TO VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY WEB STEEL BUILDINGS NORTHWEST, LLC (WSBNW) REGARDING DISCREPANCIES PRIOR TO START OF WORK.
- DRAWING SCALES INDICATED ON PLANS ARE APPROXIMATE AND INTENDED TO BE USED FOR REFERENCE ONLY. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES.
- GOVERNING BUILDING CODE: **2019 OREGON STRUCTURAL SPECIALTY CODE.**
- THE SUPPLYING OF STAMPED ENGINEERING CALCULATIONS AND DRAWINGS FOR THIS METAL BUILDING SYSTEM DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT WSBNW IS ACTING AS THE ENGINEER OR ARCHITECT OF RECORD OR DESIGN PROFESSIONAL FOR THE WHOLE OF THE PROJECT.
- THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS FURNISHED BY WSBNW. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY WSBNW WITH OVERALL PROJECT AND/OR OTHER PLANS AND/ OR OTHER COMPONENTS. IN CASES OF DISCREPANCIES, DRAWINGS PROVIDED BY WSBNW SHALL GOVERN.
- ANY FIELD MODIFICATIONS OR ALTERATIONS, OR THE ATTACHMENT OF ANY EQUIPMENT OR COMPONENT TO WSBNW METAL BUILDING OR THE OMISSION OF ANY PARTS OR PIECES SPECIFIED ON STAMPED DRAWINGS PROVIDED BY WSBNW WITHOUT THE EXPRESSED WRITTEN APPROVAL OF WSBNW SHALL VOID ANY AND ALL WARRANTIES AND RELEASE WSBNW FROM ANY AND ALL PROFESSIONAL LIABILITY AND/OR OBLIGATIONS.
- PERIODIC SPECIAL INSPECTIONS, PER IBC CHAPTER 1705.2, ARE REQUIRED AT OWNER'S EXPENSE AND FOR THE FOLLOWING:
 - SINGLE PASS FILLET WELDS NOT EXCEEDING 5/16"
 - A325 BOLT INSTALLATION USING TURN OF NUT WITH MATCH MARKING OR DIRECT TENSION INDICATOR METHODS OF INSTALLATION.
- ANY ADDITIONAL INSPECTIONS REQUIRED BY BUILDING DEPARTMENT SHALL BE AT OWNER'S EXPENSE.
- ALL WELDING SHALL BE PERFORMED AT WSBNW FABRICATION FACILITY IN SANDY, OREGON WITH ETO-XX ELECTRODES BY CERTIFIED WELDERS. NO FIELD WELDING REQUIRED.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - WIDE FLANGE SHAPES: ASTM A-992
 - CHANNEL SHAPES: ASTM A-36
 - ANGLE SHAPES: ASTM A-36 (42 K51 MIN. YIELD STRENGTH)
 - HSS TUBE SHAPES: ASTM-B500
- SHOP PRIMER IS A RUST INHIBITIVE PRIMER. THE PAINT IS NOT INTENDED FOR LONG-TERM EXPOSURE TO THE ELEMENTS.
 - BOLTS SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - ANCHOR BOLTS: ASTM A-307
 - BUILDING FRAME BOLTS: **ASTM A-325**, U.N.O.
 - ALL BOLT HOLES TO BE 1/16" LARGER THAN NOMINAL BOLT DIAMETER, U.N.O. INSTALL HARDENED WASHERS WHEREVER HOLE SIZE EXCEEDS THE BOLT DIAMETER PLUS 1/16". SIZE WASHER TO EXTEND BEYOND EDGES OF NUT OF BOLT HEAD.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 FOR #4 BARS AND LARGER, GRADE 40 FOR #3 BARS. WELDED WIRE MESH SHALL CONFORM TO ASTM A-185 (70 K51 MIN. Fy). LAP SLAB EDGE BARS MIDWAY BETWEEN COLUMNS. ALL LAPS TO BE 40 BAR DIAMETERS MIN, U.N.O.
 - CONCRETE STRENGTH: **3000 psi** MIN. AT 28 DAYS (FOUNDATION DESIGN IS BASED UPON 2500 P5I)
 - GRADE BEAMS, PIERS, AND SPREAD FOOTINGS SHALL BE POURED ONTO UNDISTURBED, NATIVE SOIL WHICH IS FREE FROM ANY MATERIAL THAT WILL ADVERSELY AFFECT THE SOIL DESIGN BEARING PRESSURE REFERENCED ON THIS SHEET.
 - LUMBER SHALL BE DOUGLAS FIR-LARCH OF GRADE AND SIZE AS SPECIFIED IN ABOVE NOTES AND ON PLANS. ALL NAILS USED SHALL BE 'COMMON' TYPE, U.N.O. FACE NAIL ALL MULTIPLE 2x MEMBERS TOGETHER WITH 16d NAILS @ 24" o/c, U.N.O.
 - LAG SCREW LOAD VALUES CONFORM TO N.D.S. TABLES 11K AND 10.3.2 PRE DRILL HOLES, IF NECESSARY, TO PREVENT SPLITTING OF WOOD.
 - SILL PLATE SHALL BE 2x PRESSURE TREATED ATTACHED TO FOUNDATION WITH: 1/2" ϕ SILL PLATE BOLTS (PROVIDED BY OTHERS) AT 4' o/c WITH 1" MIN. EMBEDMENT. PROVIDE ONE FASTENER OR ANCHOR BOLT WITHIN 6" OF MEMBER ENDS. MAINTAIN 2" MIN. EDGE DISTANCE FOR ALL SILL PLATE FASTENERS. NOTE: SEE DOOR FRAMING DETAIL SHEETS (AND SHEAR WALL DETAIL SHEET, IF PROVIDED) FOR SILL PLATE ATTACHMENTS THAT ARE REQUIRED IN ADDITION TO BOTH OPTIONS INDICATED ABOVE.
 - SHEET METAL SIDING AND ROOFING, SHALL BE MIN. 29 ga. UNLESS NOTED OTHERWISE. FASTEN TO PURLINS & GIRTS WITH MINIMUM #9 SCREWS @ 9" o/c, OR AS RECOMMENDED BY MANUFACTURER. SEE MANUFACTURER'S LITERATURE FOR ALLOWABLE SPAN INFORMATION AND ATTACHMENT TO SUPPORTING MEMBERS (MANUFACTURER IS RESPONSIBLE FOR ENSURING THAT PANEL AND ATTACHMENT WILL SUPPORT THE LOADS LISTED). CUSTOMER ACCEPTS ALL RESPONSIBILITY AND LIABILITY FOR ANY SIDING OR ROOFING MATERIAL USED THAT IS NOT PROVIDED BY WSBNW.

CUSTOMER APPROVAL:

ALL INFORMATION CONTAINED HEREIN HAS BEEN REVIEWED AND FOUND TO BE CORRECT AND CONSISTENT WITH MY INTENT AND PURPOSE. I REQUEST THAT WEB STEEL BUILDINGS NW PROCEED WITH FABRICATION. I UNDERSTAND AND ACCEPT ALL CUSTOMER RESPONSIBILITIES.


 REVISION AND RESUBMIT

 APPROVED FOR FABRICATION AS NOTED

 APPROVED FOR FABRICATION

SIGNED: _____ DATE: _____

DESIGN LOADS:

OCCUPANCY CATEGORY	II
ROOF SNOW LOAD (psf)	25
WIND LOAD (3 Sec. Gust)	120 mph / EXP 'C'
SOIL BEARING PRESSURE (psf)	1500
ROOF PURLINS DEFLECTION CRITERIA	L/240 (LIVE LOAD)
WALL GIRTS DEFLECTION CRITERIA	L/180 (TOTAL LOAD) L/120 (WIND LOAD)

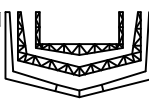
DRAWING INDEX

N1	GENERAL NOTES
N2	FRAMING DETAILS
1	FOUNDATION PLAN
2	ROOF FRAMING PLAN
3	FRONT SIDEWALL DETAILS
4	REAR SIDEWALL DETAILS
5	LEFT ENDWALL DETAILS
6	RIGHT ENDWALL DETAILS
7	FRAME HALF AT A2, A3, A4, A7, F1 & F4
8	FRAME HALF AT A5 & A6
9	FRAME HALF AT F6 & F5
10	FRAME HALF AT F3 & F2
C1	ANCHOR BOLT DETAILS
C2	FOUNDATION DETAILS
C3	SHEAR WALL DETAILS
S1	RAFTER CONNECTION DETAILS
S2	FABRICATION DETAILS
S3	X-BRACE DETAILS
S4	EAVE DETAILS
S5	EAVE FRAMING DETAILS
S6	WIDE FLANGE HANGER DETAILS
D1	DOOR FRAMING DETAIL

ABBREVIATIONS:

ϕ	- CENTERLINE
PL	- PLATE
WF	- WIDE FLANGE
ϕ	- DIAMETER
A.B.	- ANCHOR BOLT
D.A.	- DRILLED ANCHOR
EXP.	- EXPOSURE
EXT.	- EXTERIOR
INT.	- INTERIOR
MAX.	- MAXIMUM
MIN.	- MINIMUM
o/c	- ON CENTER
PT.	- POINT
REQ'D	- REQUIRED
SIM.	- SIMILAR
SYM.	- SYMMETRICAL
TYP.	- TYPICAL
U.N.O.	- UNLESS NOTED OTHERWISE

DRAWN: NSC	DATE: 4/27/2020	JOB NO: V20-013
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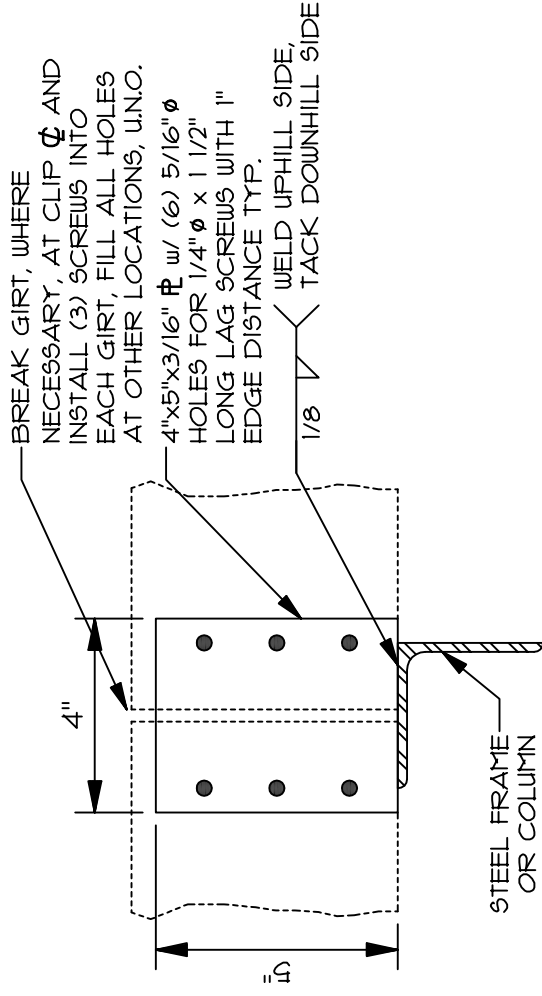

WEB STEEL
 BUILDINGS NORTHWEST, LLC
 37396 RUBEN LANE
 SANDY, OR, 97055
 OFFICE: (503)-668-7211 FAX: (503)-668-9026

KURTZ BUILDING
 2150 RHODES ROAD
 RENO, NV 89521



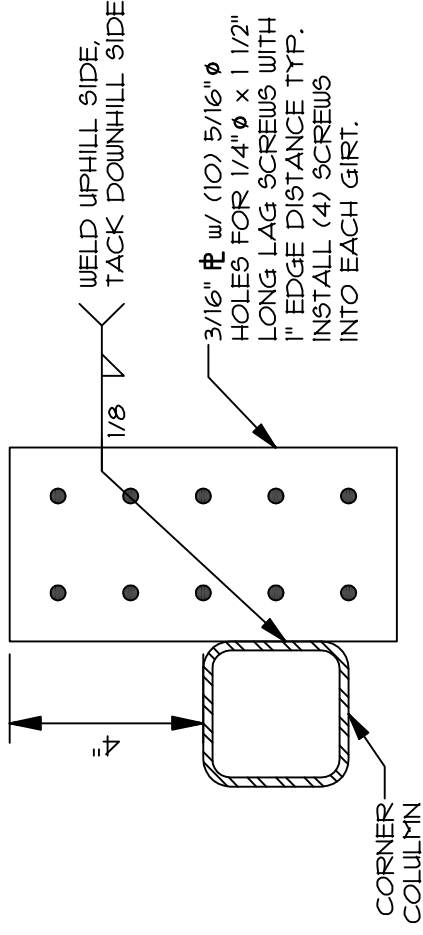
SHEET

N1



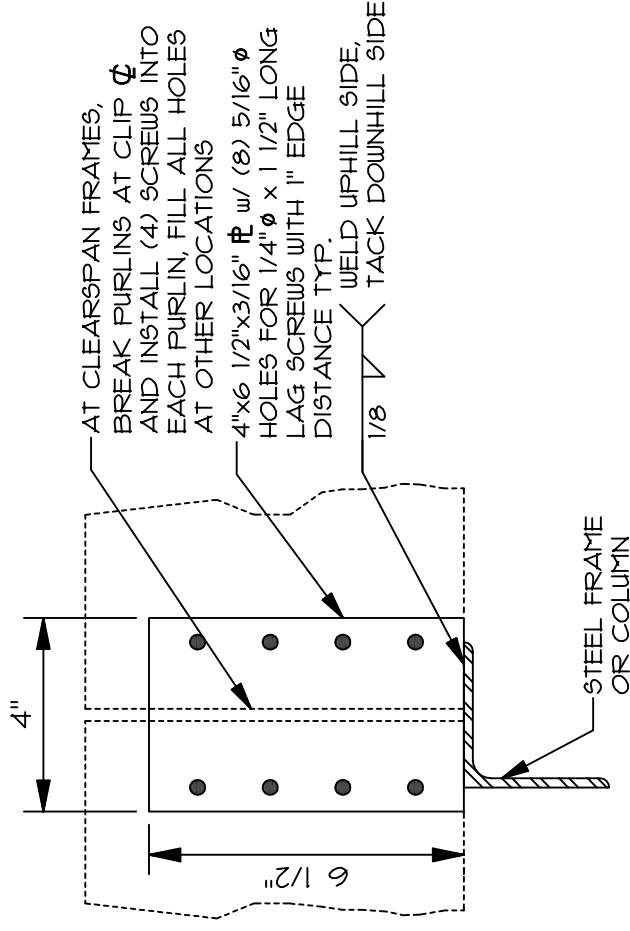
TYP. GIRT CLIP (GC28) DETAIL

3" = 1'-0"



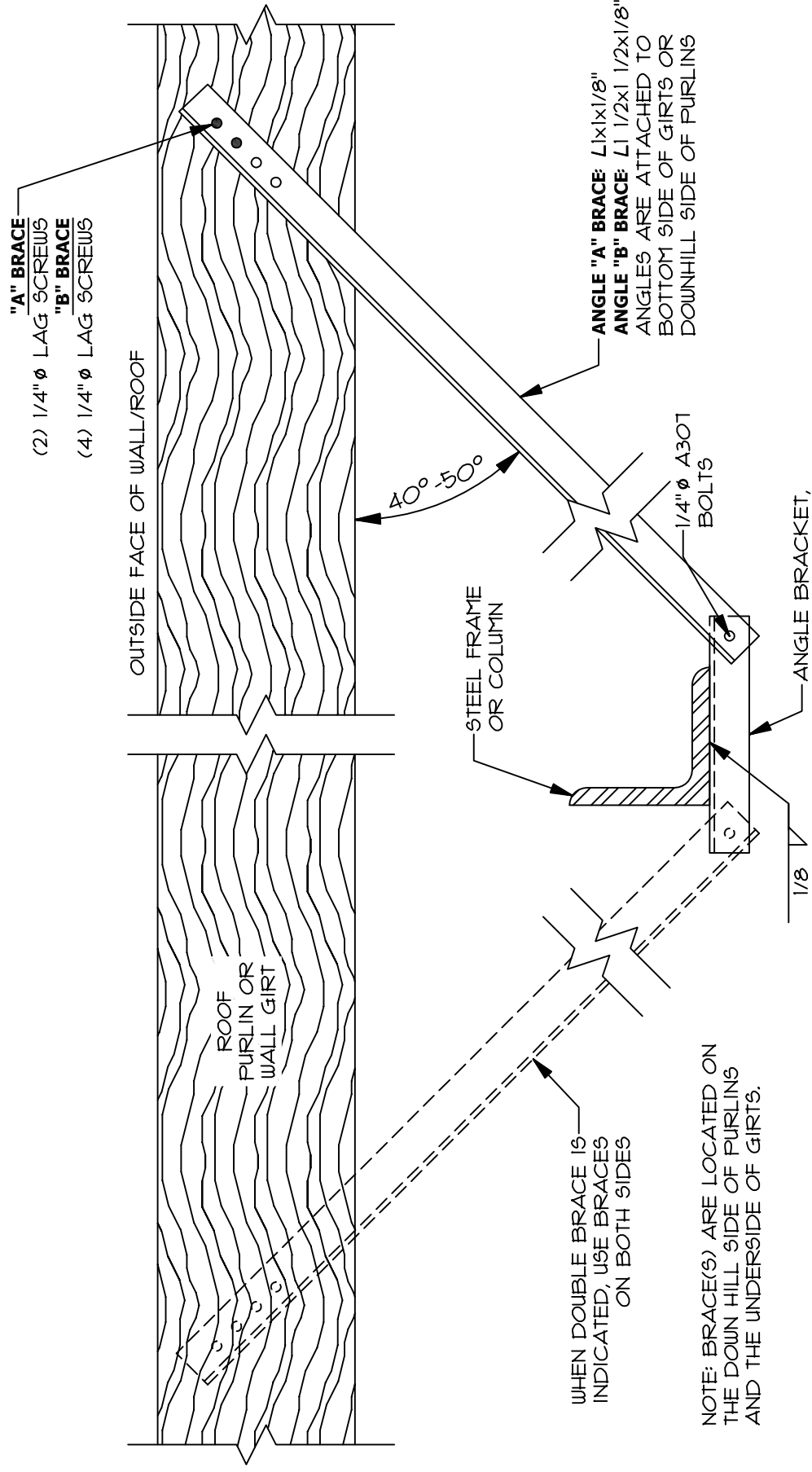
CORNER GIRT CLIP (CC212) DETAIL

3" = 1'-0"



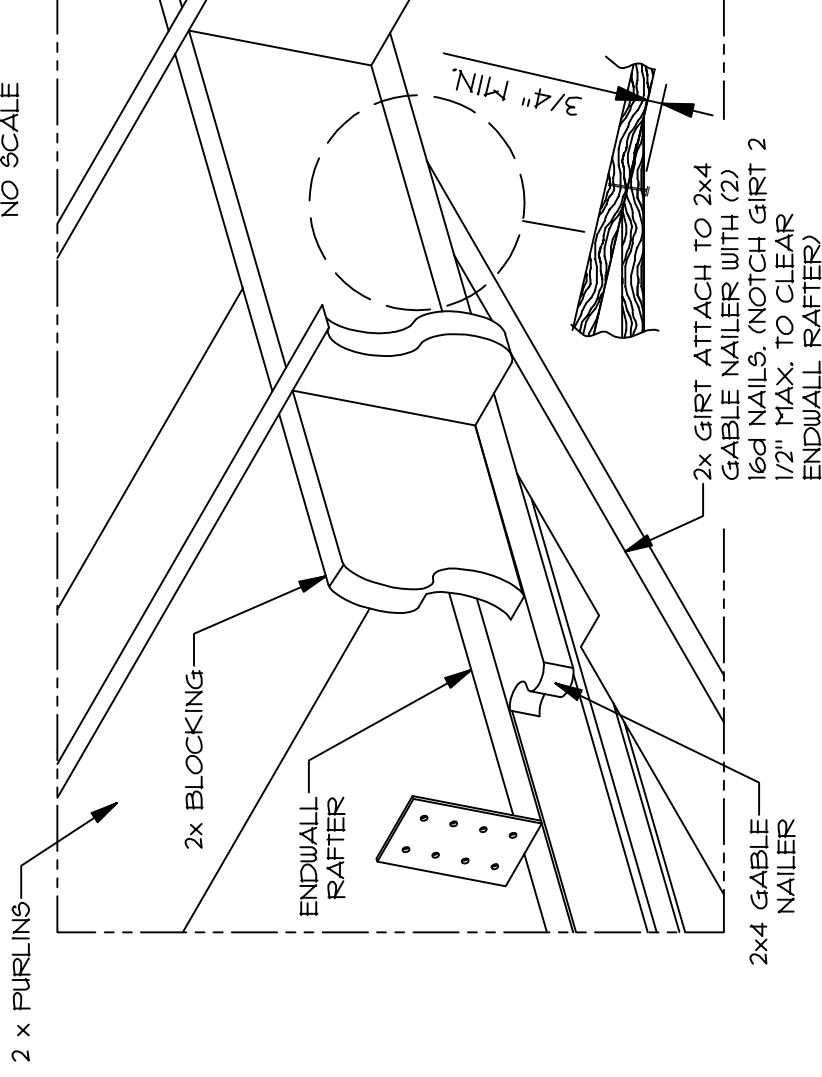
TYP. PURLIN CLIP (PC810) DETAIL

3" = 1'-0"



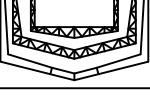
BRACE DETAIL: SINGLE & DOUBLE BRACES

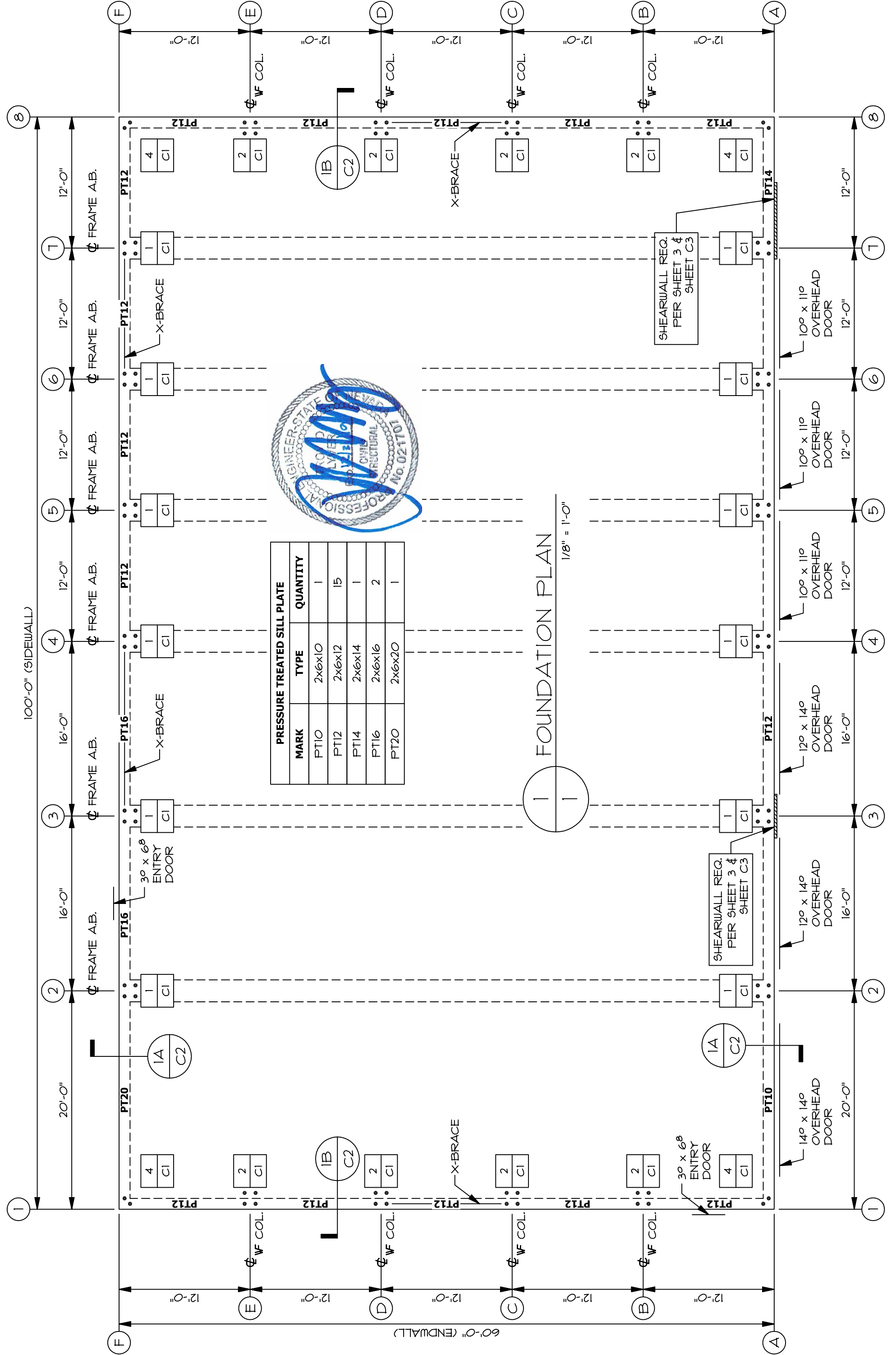
NO SCALE



GIRT-TO-FASCIA BOARD DETAIL

NO SCALE

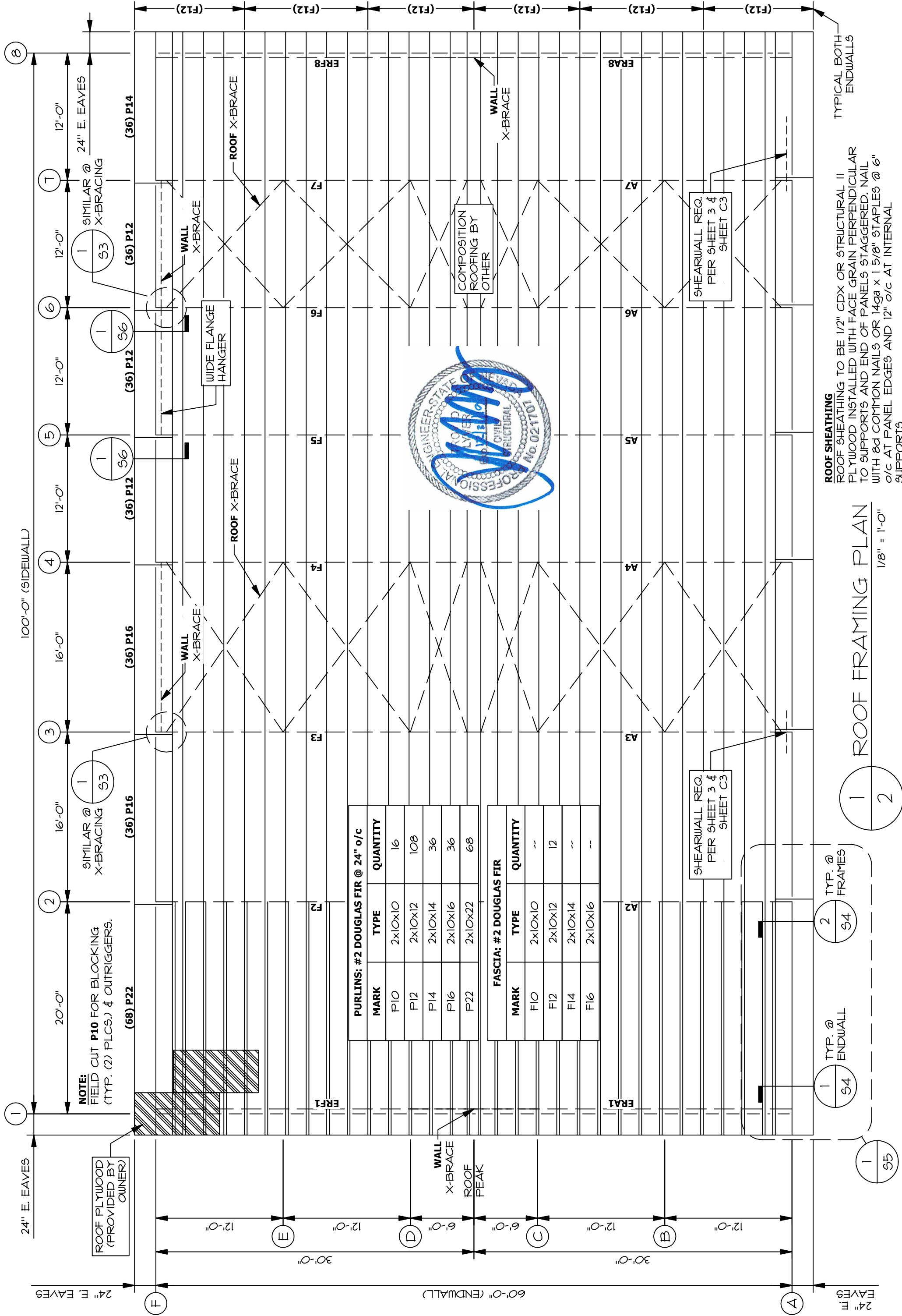




PRESSURE TREATED SILL PLATE		
MARK	TYPE	QUANTITY
PT10	2x6x10	1
PT12	2x6x12	15
PT14	2x6x14	1
PT16	2x6x16	2
PT20	2x6x20	1



ROOF FRAMING PLAN



PURLINS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
P10	2x10x10	16
P12	2x10x12	108
P14	2x10x14	36
P16	2x10x16	36
P22	2x10x22	68

FASCIA: #2 DOUGLAS FIR

MARK	TYPE	QUANTITY
F10	2x10x10	--
F12	2x10x12	12
F14	2x10x14	--
F16	2x10x16	--

ROOF SHEATHING
 ROOF SHEATHING TO BE 1/2" CDX OR STRUCTURAL II PLYWOOD INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END OF PANELS STAGGERED. NAIL WITH 8d COMMON NAILS OR 14ga x 1 5/8" STAPLES @ 6" o/c AT PANEL EDGES AND 12" o/c AT INTERNAL SUPPORTS.

1 ROOF FRAMING PLAN

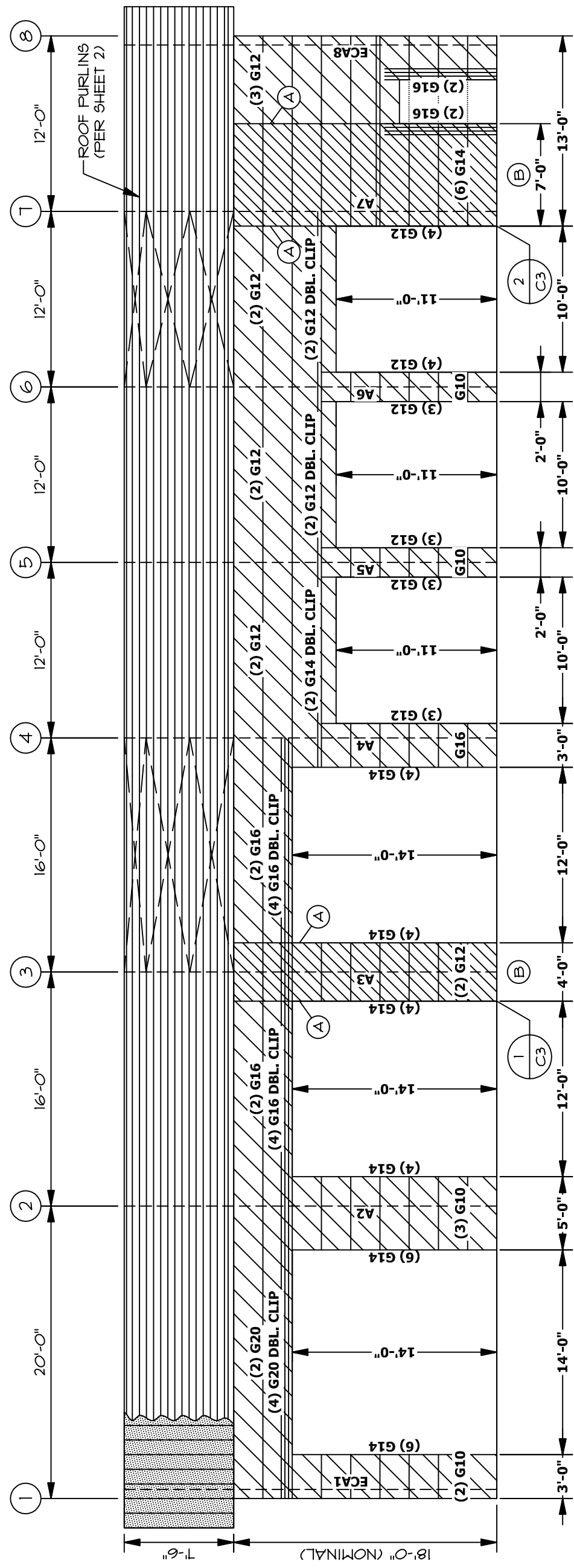
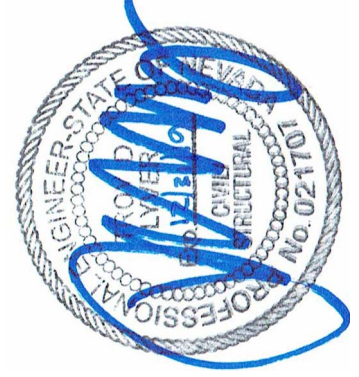
1/8" = 1'-0"

1 TYP. @ ENDWALL (S4)

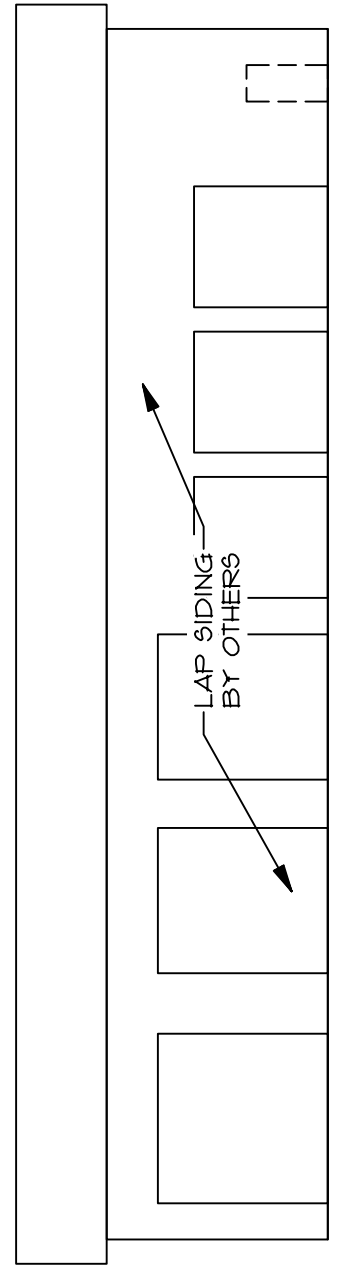
2 TYP. @ FRAMES (S4)

1 TYP. @ ENDWALL (S5)





1 FRONT SIDEWALL ELEVATION @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/8" = 1'-0"



2 FRONT SIDEWALL SIDING ELEV. @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/8" = 1'-0"

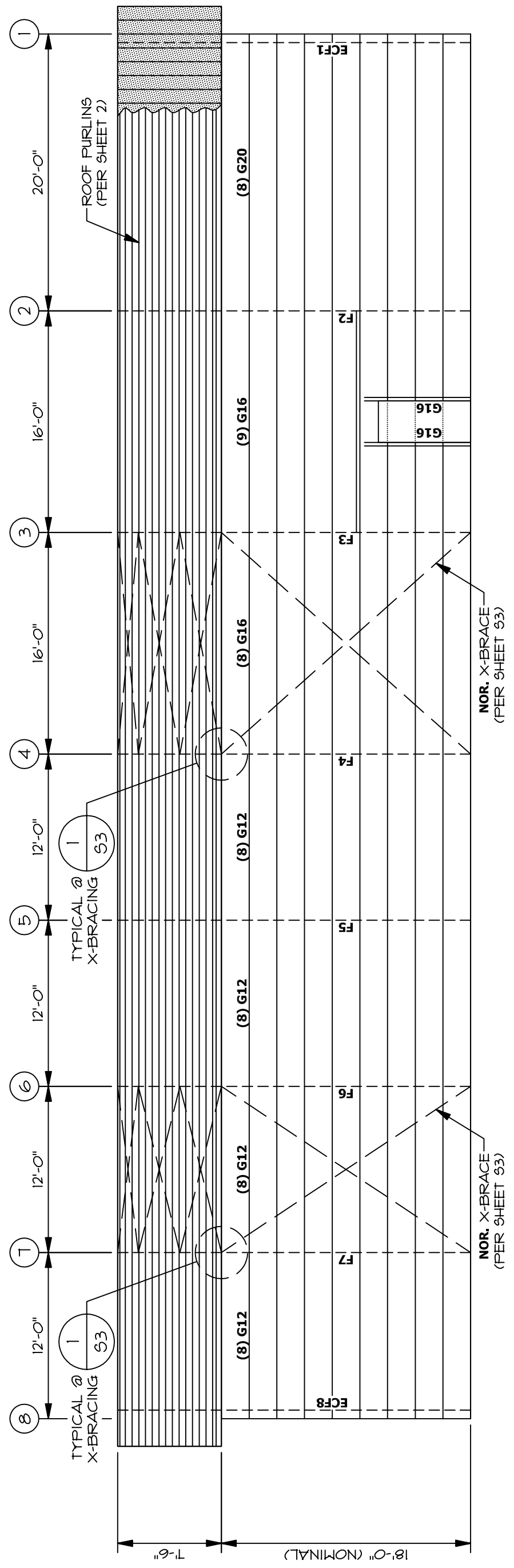
WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	35
G14	2x6x14	32
G16	2x6x16	16
G20	2x6x20	6

- DOOR FRAMING NOTES:**
- CANTILEVER WALL GIRTS PAST FRAME LEGS TO OVERHEAD DOOR JAMBS.
 - CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.
- (A)** 2x6 BLOCKING EXTENDS TO ROOF FRAMING. ATTACH TO DOOR TRIMMER w/CS16 STRAP WITH 16" MIN. END LENGTH - APPLY TO OUTSIDE OF PLYWOOD w/ 10d NAILS; FILL ALL HOLES.
- (B)** ATTACH 1/2" PLYWOOD (OR OSB) TO WALL FRAMING & EDGE PURLIN WITH 10d NAILS AT 4" o.c. AT PANEL EDGES AND 12" o.c. AT INTERMEDIATE FRAMING. BLOCK ALL PANEL EDGES (NOT SHOWN).

NOTE:

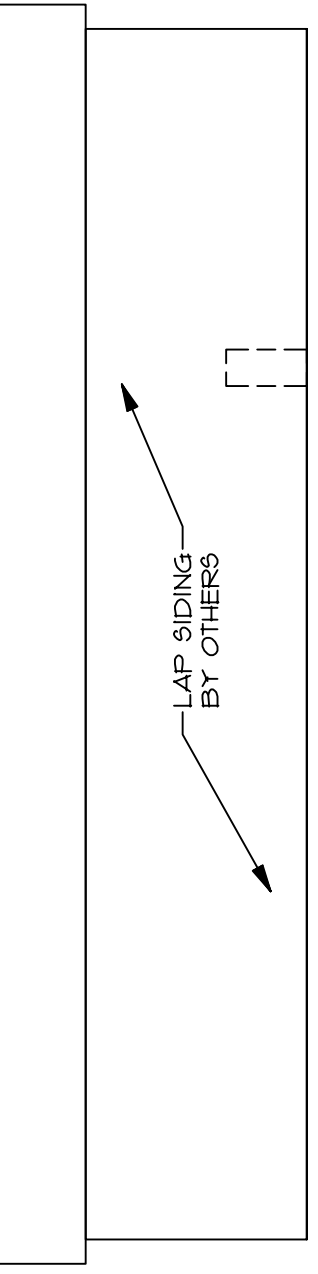
- CUSTOMER TO PROVIDE 1/2" PLYWOOD AND BLOCKING.
- SHEET ENTIRE WALL w/ 1/2" PLYWOOD.



1 REAR SIDEWALL ELEVATION @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/8" = 1'-0"

WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	--
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	19
G20	2x6x20	8



2 REAR SIDEWALL SIDING ELEV. @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/16" = 1'-0"

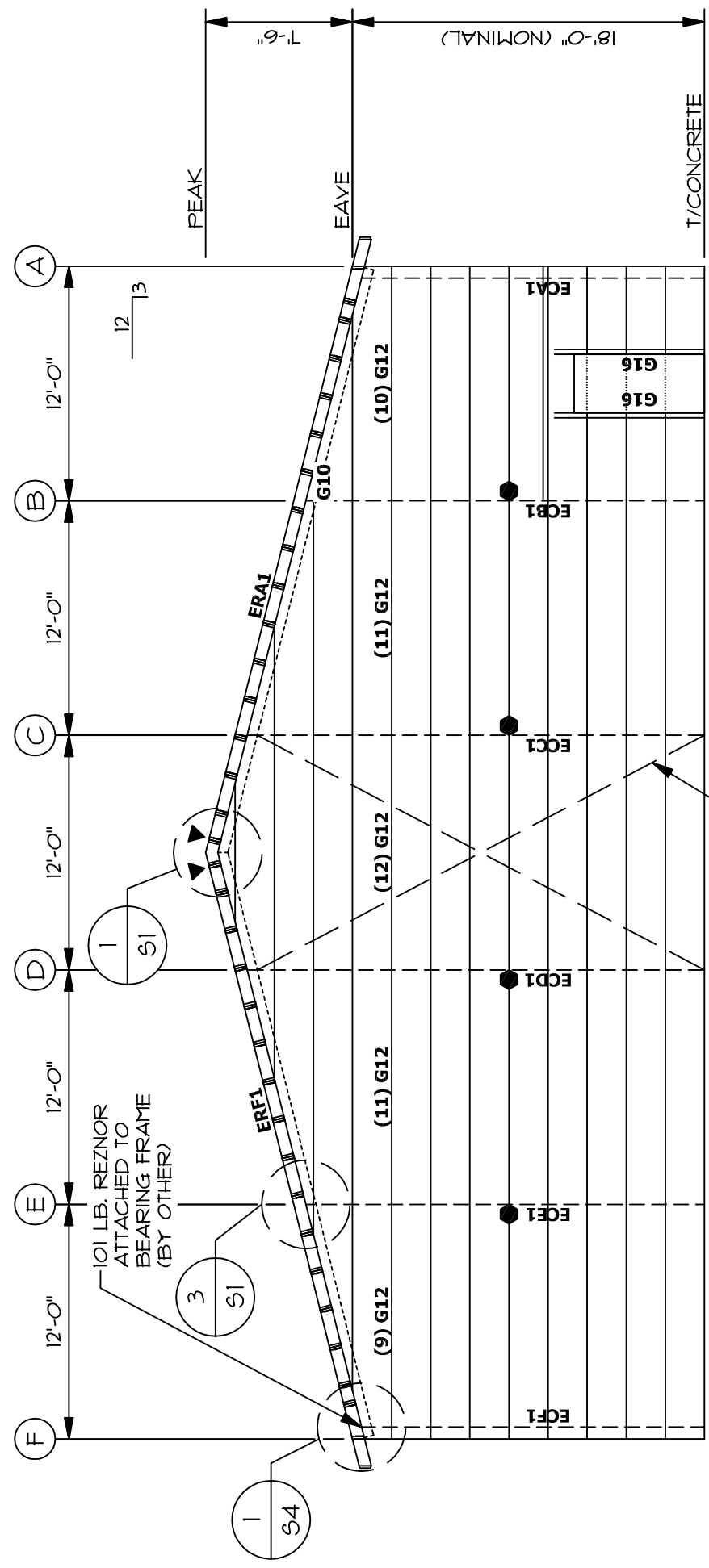
- DOOR FRAMING NOTES:**
- CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.

WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

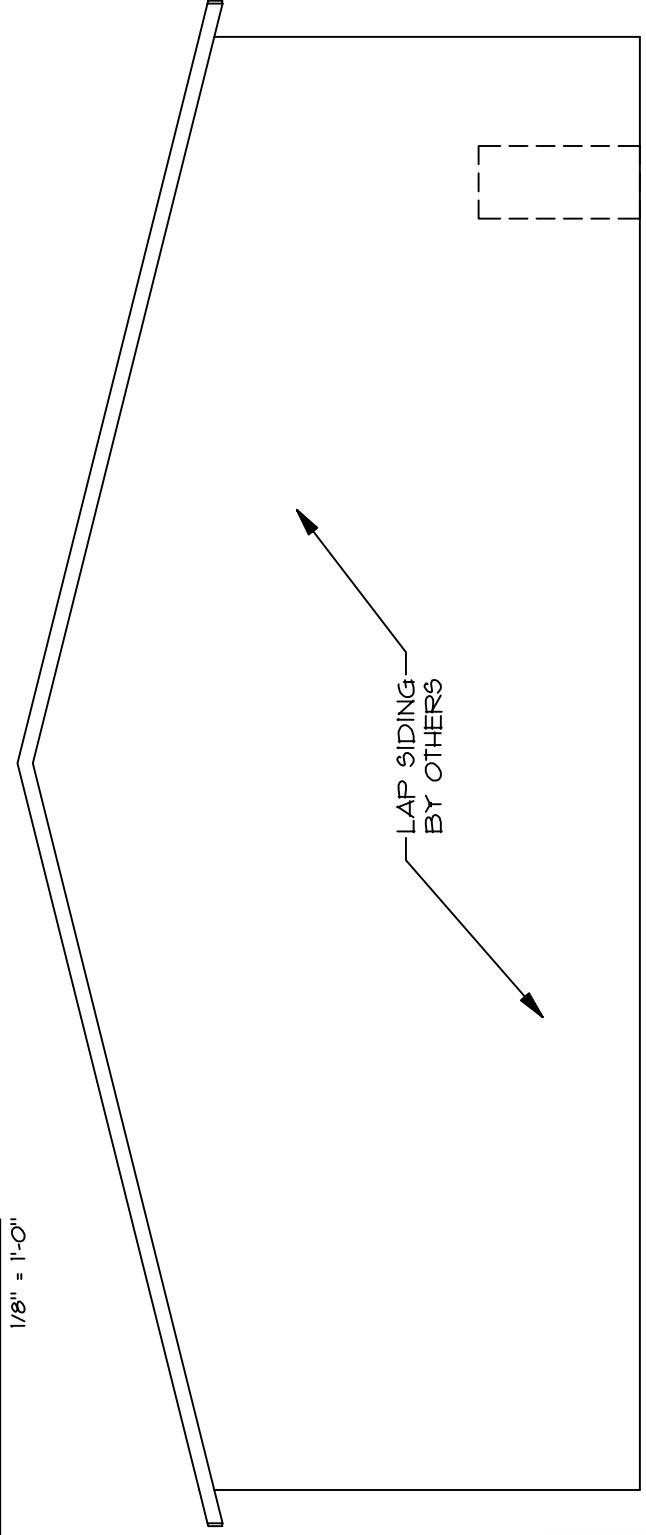
MARK	TYPE	QUANTITY
G10	2x6x10	1
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G14	2x6x14	--
G16	2x6x16	2

SYM	DESCRIPTION	LENGTH	MEMBER	QTY
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ERFI	ENDWALL RAFTER FI		C8x11.5	
ERAI	ENDWALL RAFTER AI		C8x11.5	
ECFI	ENDWALL COLUMN FI		HSS3x3x3/16	
ECEI	ENDWALL COLUMN EI		W8x15	
ECDI	ENDWALL COLUMN DI		W8x15	
ECCI	ENDWALL COLUMN CI		W8x15	
ECBI	ENDWALL COLUMN BI		W8x15	
ECAI	ENDWALL COLUMN AI		HSS3x3x3/16	

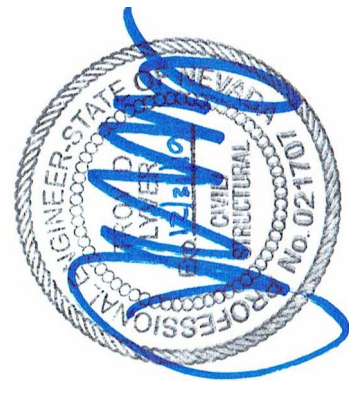
DOOR FRAMING NOTES:
 1. CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS FOR REMAINING FRAMING DETAILS SEE SHEET D1.
NOTE:
 COLUMN BRACE (PER SHEET N2) @ 10'-0" TYP.



1 LEFT ENDWALL ELEVATION @ LINE 1
 VIEW FROM OUTSIDE THE BUILDING @ LINE 1
 1/8" = 1'-0"



2 LEFT ENDWALL SIDING ELEV. @ LINE 1
 VIEW FROM OUTSIDE THE BUILDING @ LINE 1
 1/8" = 1'-0"

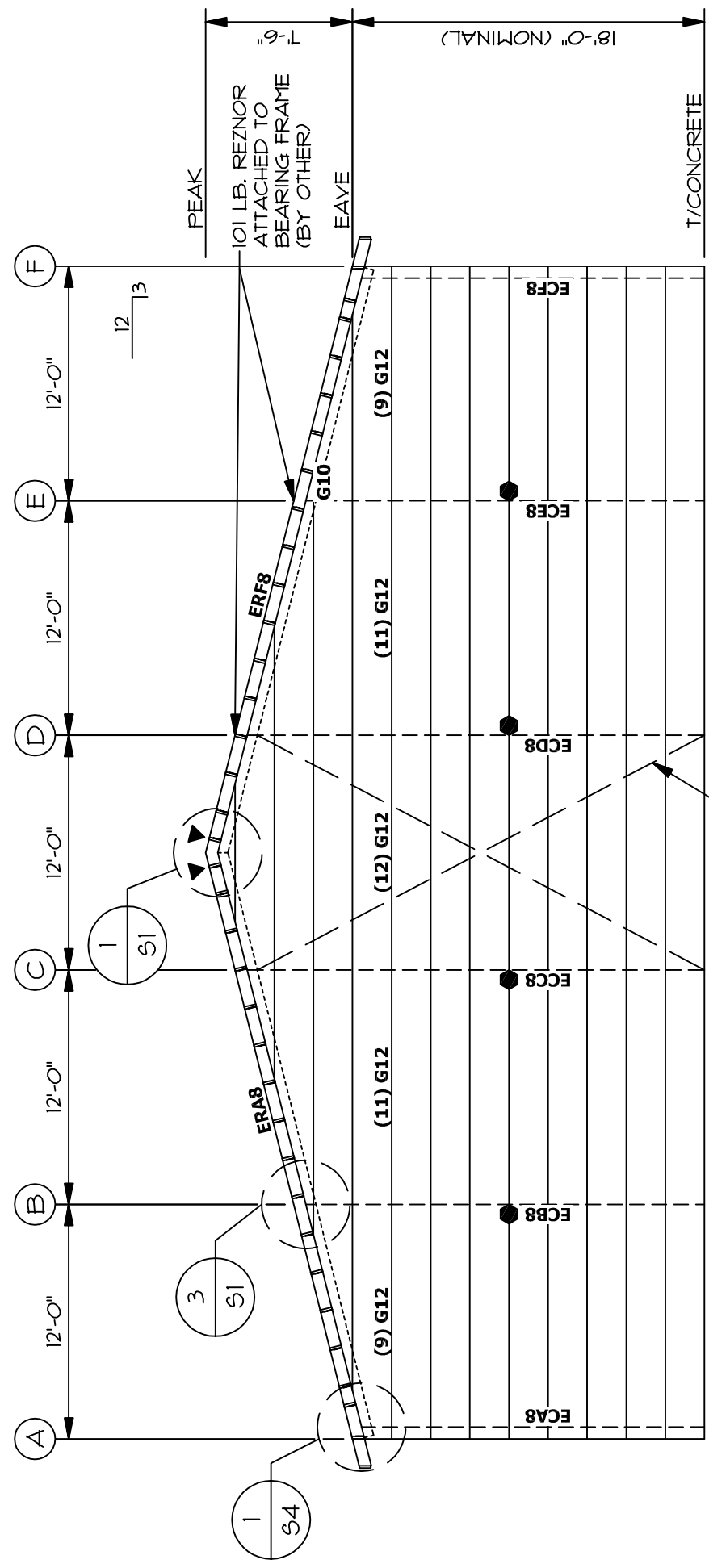


WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

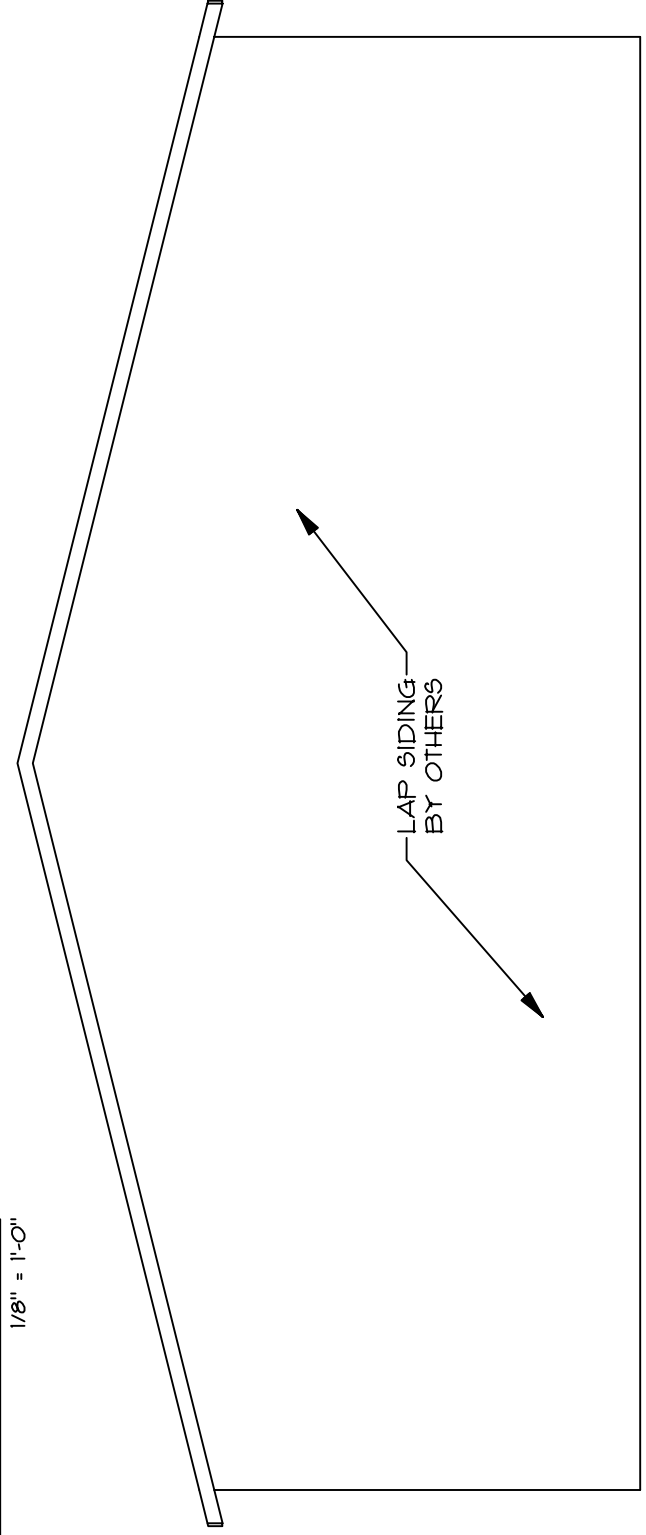
MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	--

SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1x1x1/8"	2
●	COLUMN BRACE	18"	L1x1x1/8"	4
ERA8	ENDWALL RAFTER A8		C8x11.5	
ERF8	ENDWALL RAFTER F8		C8x11.5	
ECA8	ENDWALL COLUMN A8		HSS3x3x3/16	
ECB8	ENDWALL COLUMN B8		W8x15	
ECC8	ENDWALL COLUMN C8		W8x15	
ECD8	ENDWALL COLUMN D8		W8x15	
ECE8	ENDWALL COLUMN E8		W8x15	
ECF8	ENDWALL COLUMN F8		HSS3x3x3/16	

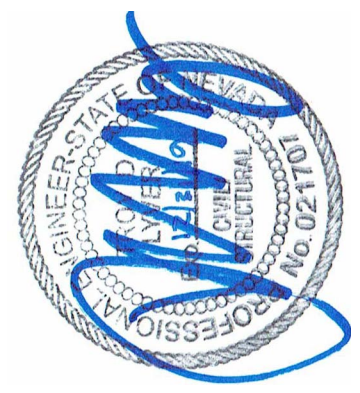
NOTE:
 COLUMN BRACE
 (PER SHEET N2)
 @ 10'-0" TYP.



1 RIGHT ENDWALL ELEVATION @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



2 RIGHT ENDWALL SIDING ELEV. @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



29'-6 1/2"

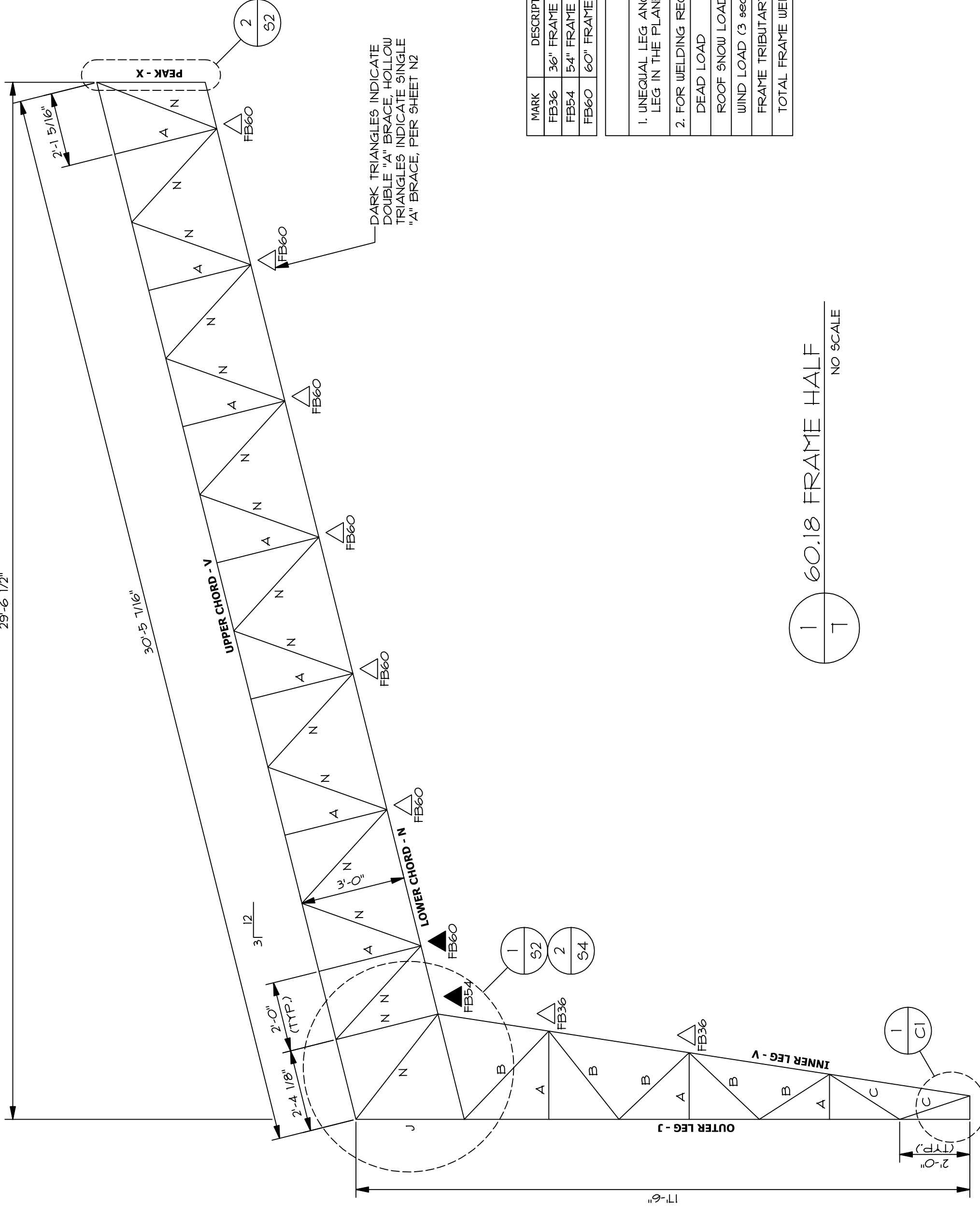
30'-5 1/16"

UPPER CHORD - V

LOWER CHORD - N

OUTER LEG - J

INNER LEG - V



DARK TRIANGLES INDICATE DOUBLE "A" BRACE, HOLLOW TRIANGLES INDICATE SINGLE "A" BRACE, PER SHEET N2

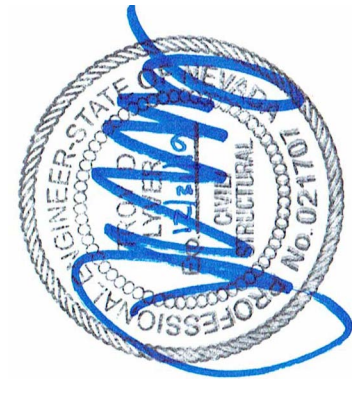
KEY	UPPER CHORD	LOWER CHORD	INNER LEG	OUTER LEG
A	L 4x4x.25	L 3x3x.25	L 4x4x.25	L 3x2x.25
B	L 1x1x.125	L 1.5x1.5x.125	L 4x4x.25	L 3x2x.25
C	L 2x2x.125	L 2x2x.125	L 4x4x.25	L 3x2x.25
D	L 2x2x.18 1/5	L 2x2x.18 1/5	L 4x4x.25	L 3x2x.25
E	L 2x2x.25	L 2x2x.25	L 4x4x.25	L 3x2x.25
G	L 2x2x.3 1/5	L 2x2x.3 1/5	L 4x4x.25	L 3x2x.25
H	L 3x2x.18 1/5	L 3x2x.18 1/5	L 4x4x.25	L 3x2x.25
J	L 3x2x.25	L 3x2x.25	L 4x4x.25	L 3x2x.25
L	L 3x2x.3 1/5	L 3x2x.3 1/5	L 4x4x.25	L 3x2x.25
M	L 3x3x.18 1/5	L 3x3x.18 1/5	L 4x4x.25	L 3x2x.25
N	L 3x3x.25	L 3x3x.25	L 4x4x.25	L 3x2x.25
Q	L 3x3x.3 1/5	L 3x3x.3 1/5	L 4x4x.25	L 3x2x.25
R	L 3x3x.5	L 3x3x.5	L 4x4x.25	L 3x2x.25
S	L 4x3x.25	L 4x3x.25	L 4x4x.25	L 3x2x.25
U	L 4x3x.3 1/5	L 4x3x.3 1/5	L 4x4x.25	L 3x2x.25
V	L 4x4x.25	L 4x4x.25	L 4x4x.25	L 3x2x.25
X	L 4x4x.3 1/5	L 4x4x.3 1/5	L 4x4x.25	L 3x2x.25
Y	L 4x4x.5	L 4x4x.5	L 4x4x.25	L 3x2x.25
Z	L 6x4x.3 1/5	L 6x4x.3 1/5	L 4x4x.25	L 3x2x.25

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

- UNEQUAL LEG ANGLES TO BE PLACED WITH LONG LEG IN THE PLANE OF THE FRAME.
 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

1 60.18 FRAME HALF
NO SCALE



DRAWN: NSC
DATE: 4/27/2020
JOB NO: V20-013

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Buildings Northwest
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SANDY, OR, 97055
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FRAME HALF
60'-0" WIDE x 18'-0" EAVE
AT A2, A3, A4, A7, F7 & F4
SHEET 7

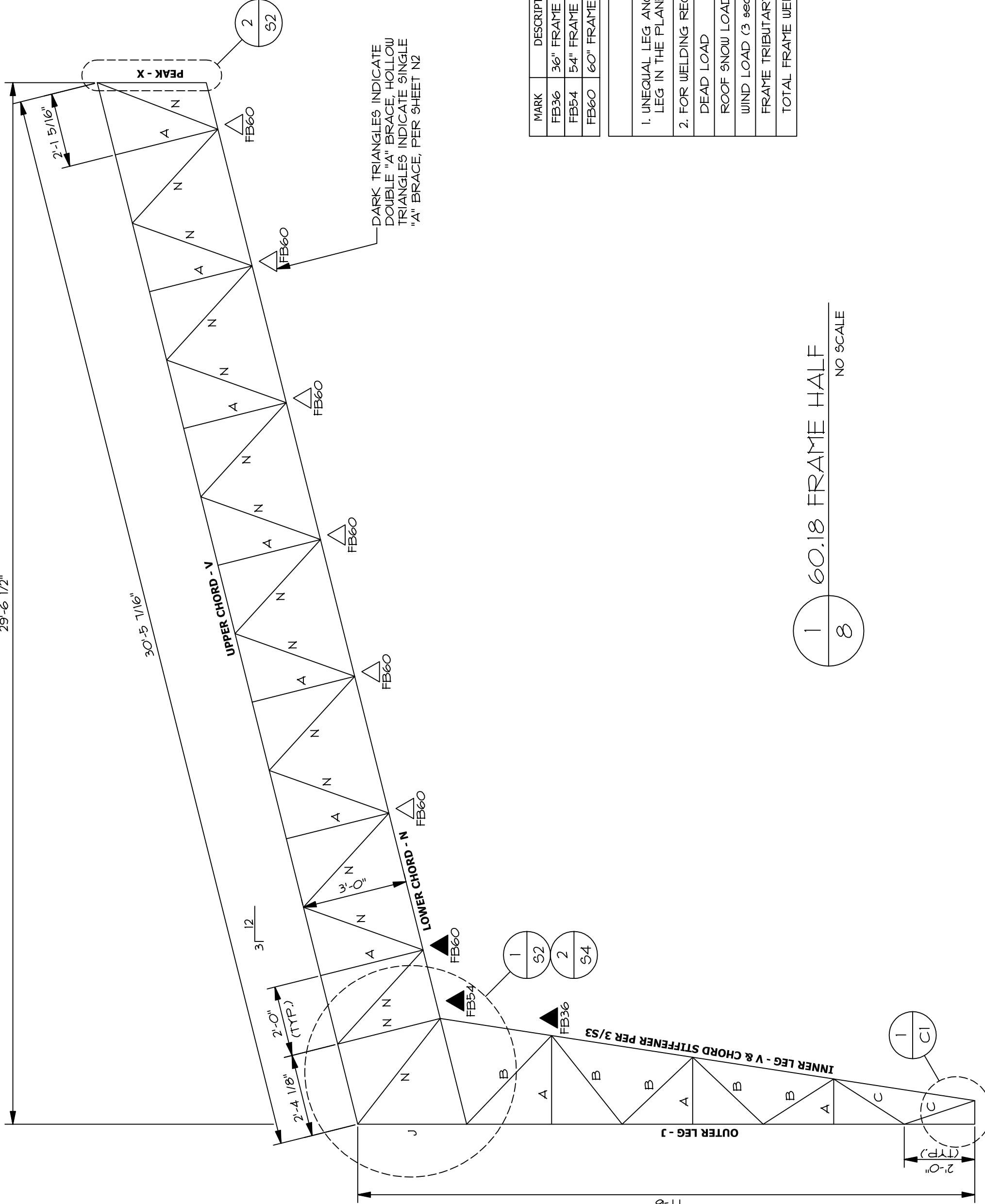
29'-6 1/2"

30'-5 1/16"

UPPER CHORD - V

LOWER CHORD - N

PEAK - X



DARK TRIANGLES INDICATE DOUBLE "A" BRACE, HOLLOW TRIANGLES INDICATE SINGLE "A" BRACE, PER SHEET N2

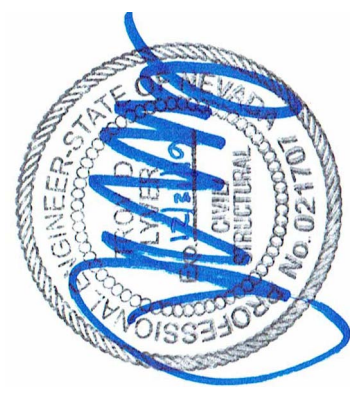
KEY	
UPPER CHORD	L 4x4x.25
LOWER CHORD	L 3x3x.25
INNER LEG	L 4x4x.25
OUTER LEG	L 3x2x.25
KEY	
A	L 1x1x.125
B	L 1.5x1.5x.125
C	L 2x2x.125
D	L 2x2x.18 1/5
E	L 2x2x.25
G	L 2x2x.3 1/5
H	L 3x2x.18 1/5
J	L 3x2x.25
L	L 3x2x.3 1/5
M	L 3x3x.18 1/5
N	L 3x3x.25
Q	L 3x3x.3 1/5
R	L 3x3x.5
S	L 4x3x.25
U	L 4x3x.3 1/5
V	L 4x4x.25
X	L 4x4x.3 1/5
Y	L 4x4x.5
Z	L 6x4x.3 1/5

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

- UNEQUAL LEG ANGLES TO BE PLACED WITH LONG LEG IN THE PLANE OF THE FRAME.
 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

1 / 8 60.18 FRAME HALF
NO SCALE



DRAWN: NSC	DATE: 4/27/2020	JOB NO: V20-013
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29'-6 1/2"

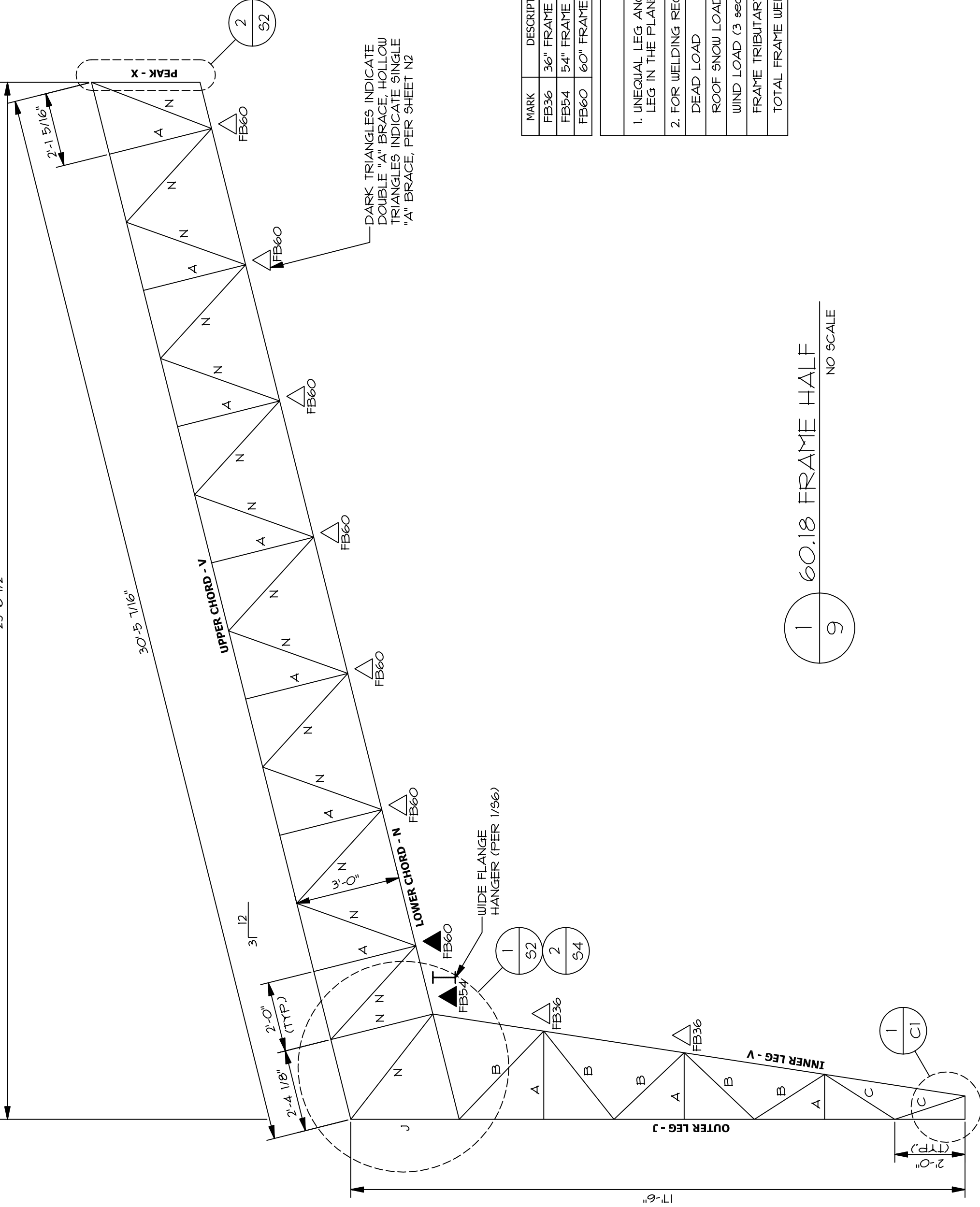
30'-5 1/16"

UPPER CHORD - V

LOWER CHORD - N

OUTER LEG - J

INNER LEG - V



KEY	MEMBER	QTY
UPPER CHORD	L 4x4x.25	2
LOWER CHORD	L 3x3x.25	2
INNER LEG	L 4x4x.25	2
OUTER LEG	L 3x2x.25	2
KEY		
A	L 1x1x.125	
B	L 1.5x1.5x.125	
C	L 2x2x.125	
D	L 2x2x.18 1/5	
E	L 2x2x.25	
G	L 2x2x.3 1/5	
H	L 3x2x.18 1/5	
J	L 3x2x.25	
L	L 3x2x.3 1/5	
M	L 3x3x.18 1/5	
N	L 3x3x.25	
Q	L 3x3x.3 1/5	
R	L 3x3x.5	
S	L 4x3x.25	
U	L 4x3x.3 1/5	
V	L 4x4x.25	
X	L 4x4x.3 1/5	
Y	L 4x4x.5	
Z	L 6x4x.3 1/5	

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
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NOTES:

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 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

1 60.18 FRAME HALF
NO SCALE



DRAWN: NSC	DATE: 4/27/2020	JOB NO: V20-013
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FRAME HALF
60'-0" WIDE x 18'-0" EAVE
AT F6 & F5
SHEET **6**

29'-6 1/2"

30'-5 1/16"

UPPER CHORD - V

101 LB. REZTOR ATTACHED TO FRAME (BY OTHER)

3'-12"

3'-0"

LOWER CHORD - N

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

FB60

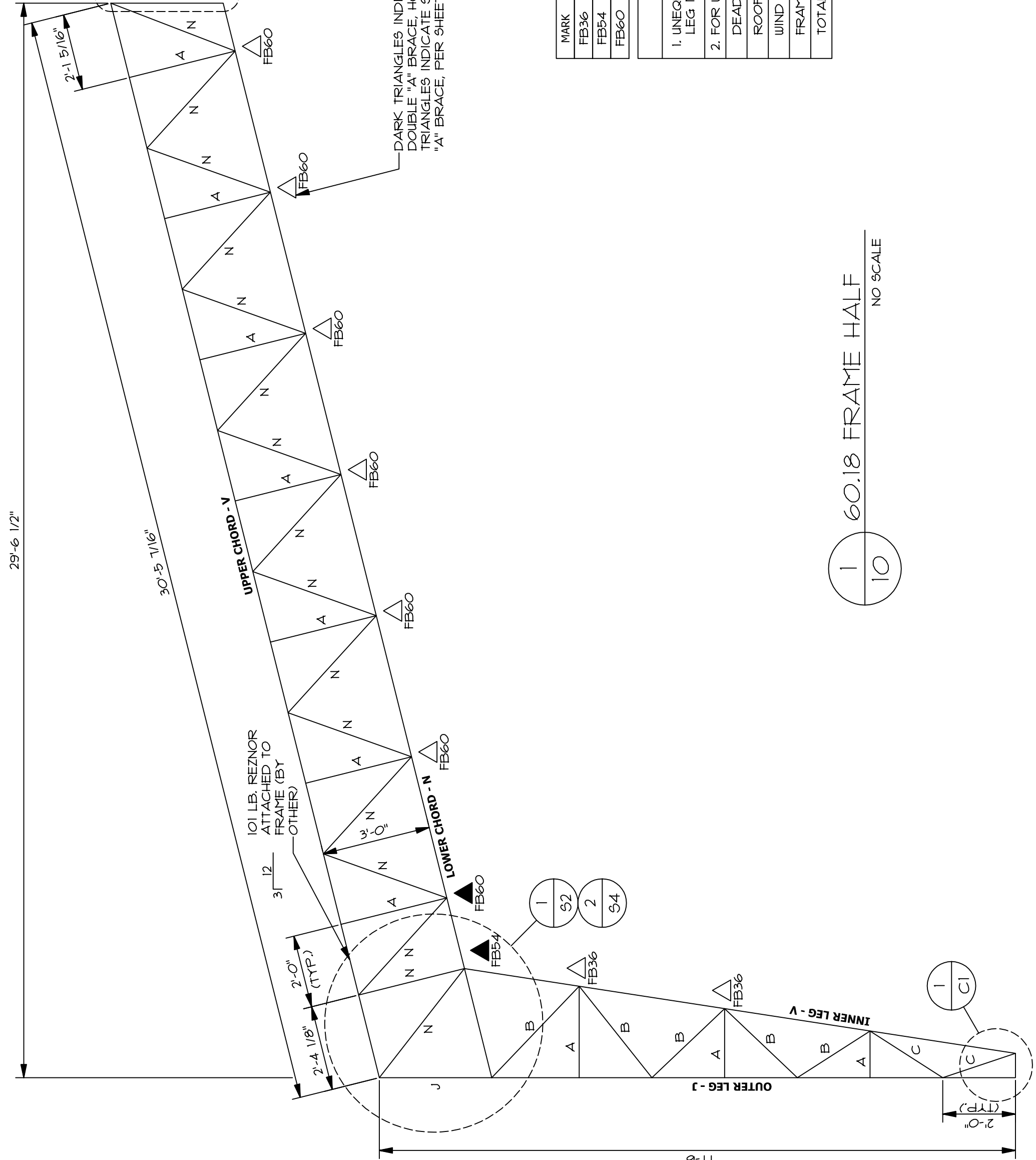
FB60

FB60

FB60

FB60

FB60



KEY

UPPER CHORD	L 4x4x.25
LOWER CHORD	L 3x3x.25
INNER LEG	L 4x4x.25
OUTER LEG	L 3x2x.25
KEY	
A	L 1x1x.125
B	L 1.5x1.5x.125
C	L 2x2x.125
D	L 2x2x.18 15
E	L 2x2x.25
G	L 2x2x.3 15
H	L 3x2x.18 15
J	L 3x2x.25
L	L 3x2x.3 15
M	L 3x3x.18 15
N	L 3x3x.25
Q	L 3x3x.3 15
R	L 3x3x.5
S	L 4x3x.25
U	L 4x3x.3 15
V	L 4x4x.25
X	L 4x4x.3 15
Y	L 4x4x.5
Z	L 6x4x.3 15

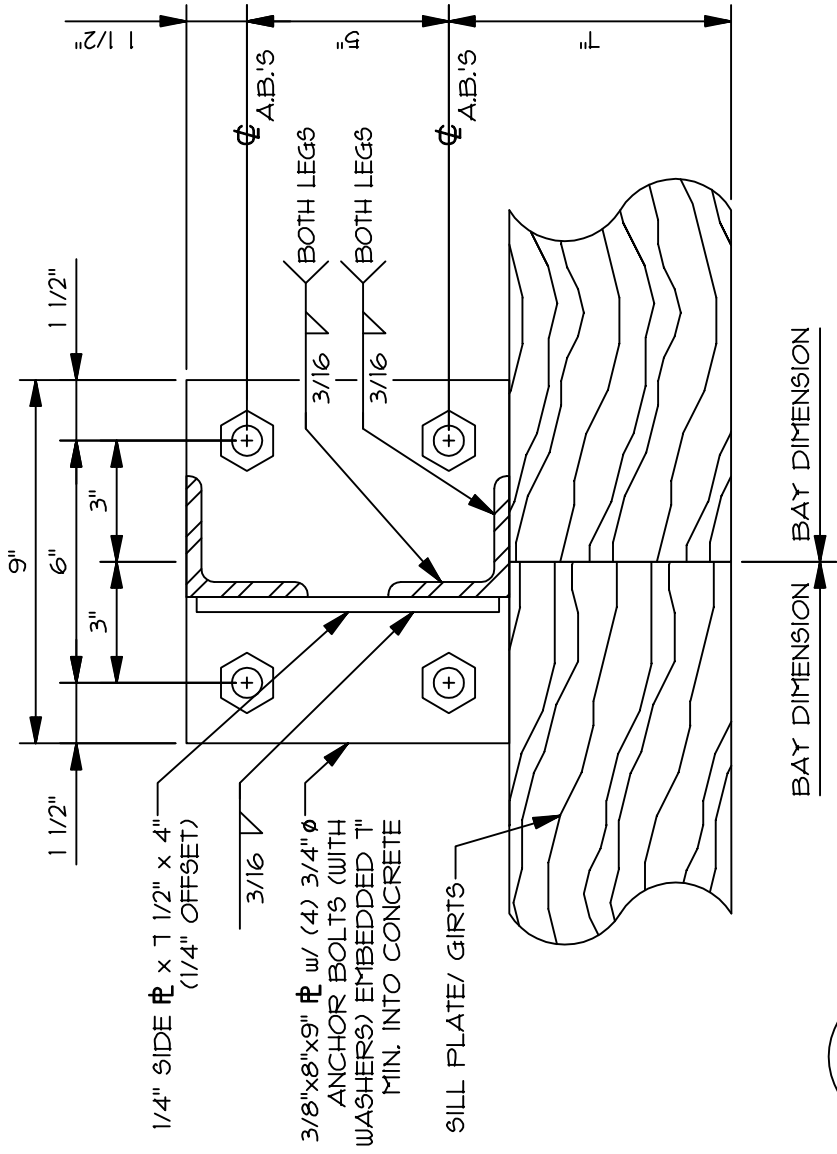
MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

- UNEQUAL LEG ANGLES TO BE PLACED WITH LONG LEG IN THE PLANE OF THE FRAME.
 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

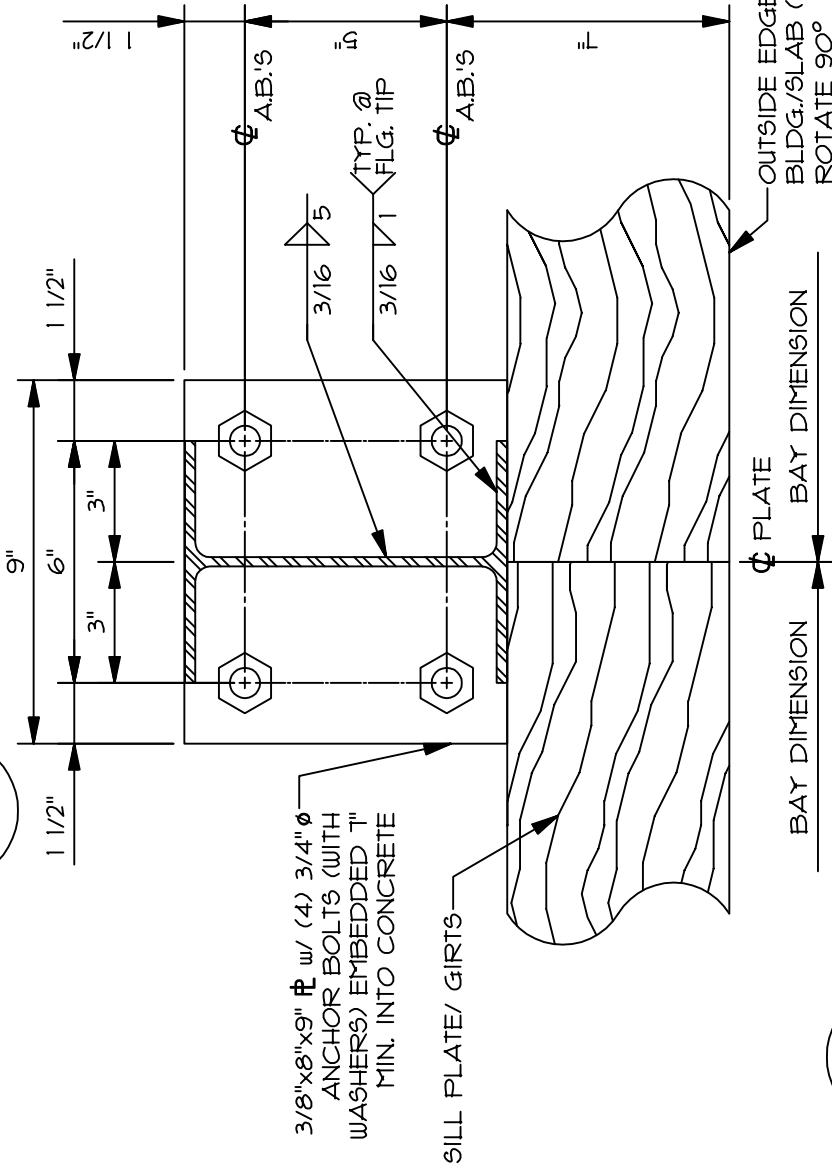


1 / 10 60.18 FRAME HALF
NO SCALE



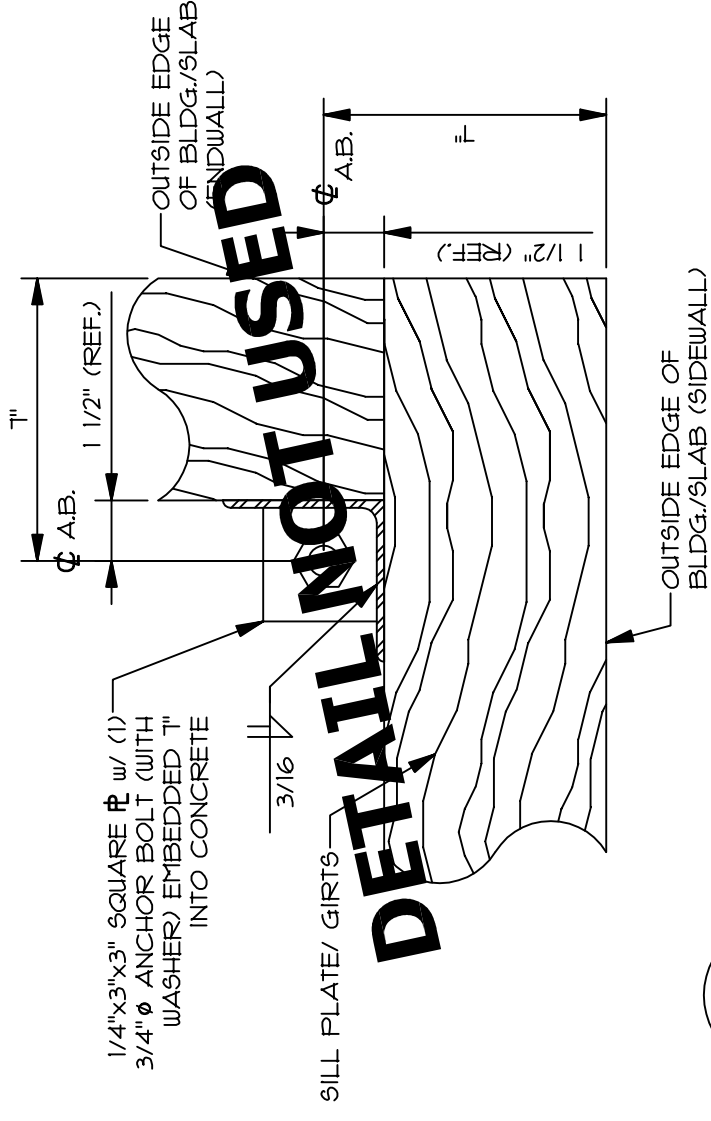
1 FRAME BASE PLATE DETAIL
C1

NO SCALE



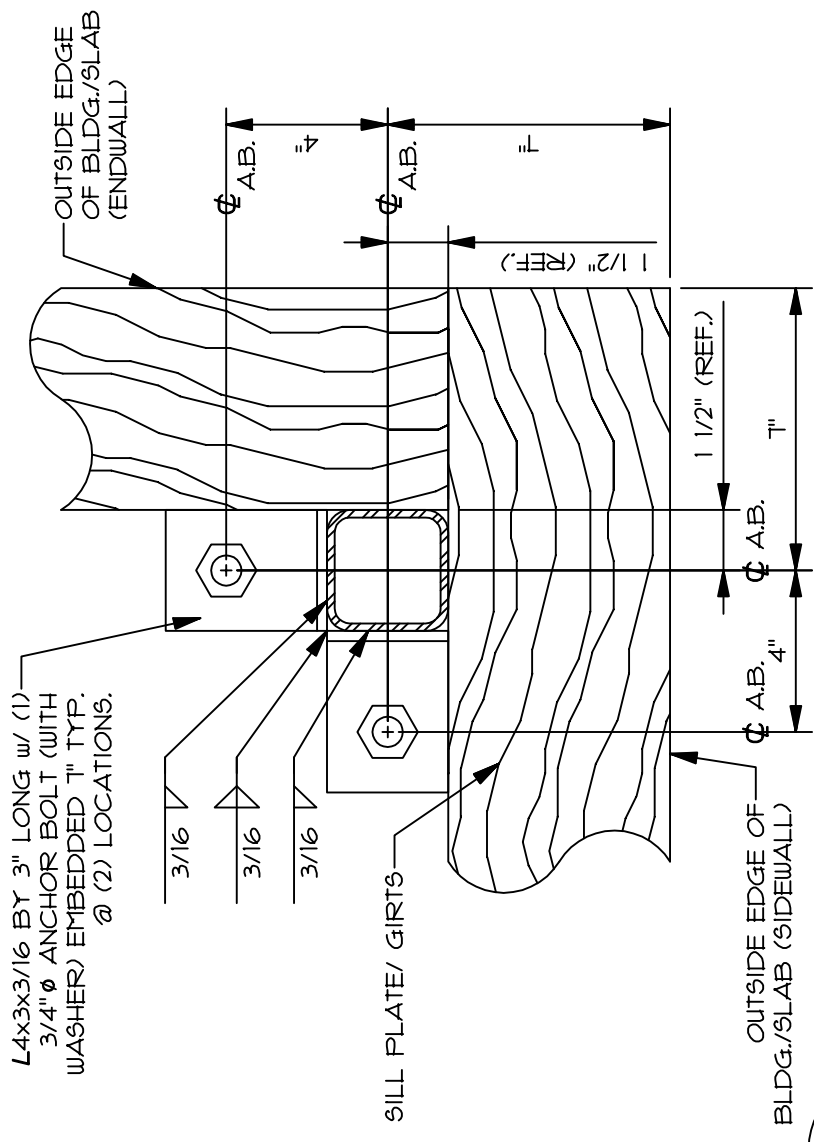
2 ENDWALL BASE PLATE DETAIL
C1

NO SCALE



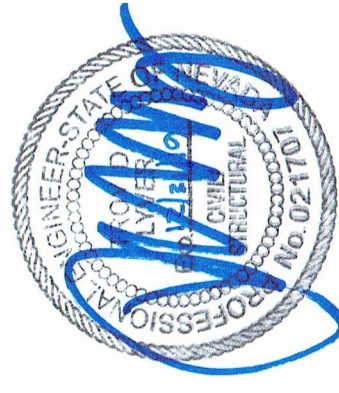
3 ANGLE CORNER COLUMN DETAIL
C1

NO SCALE



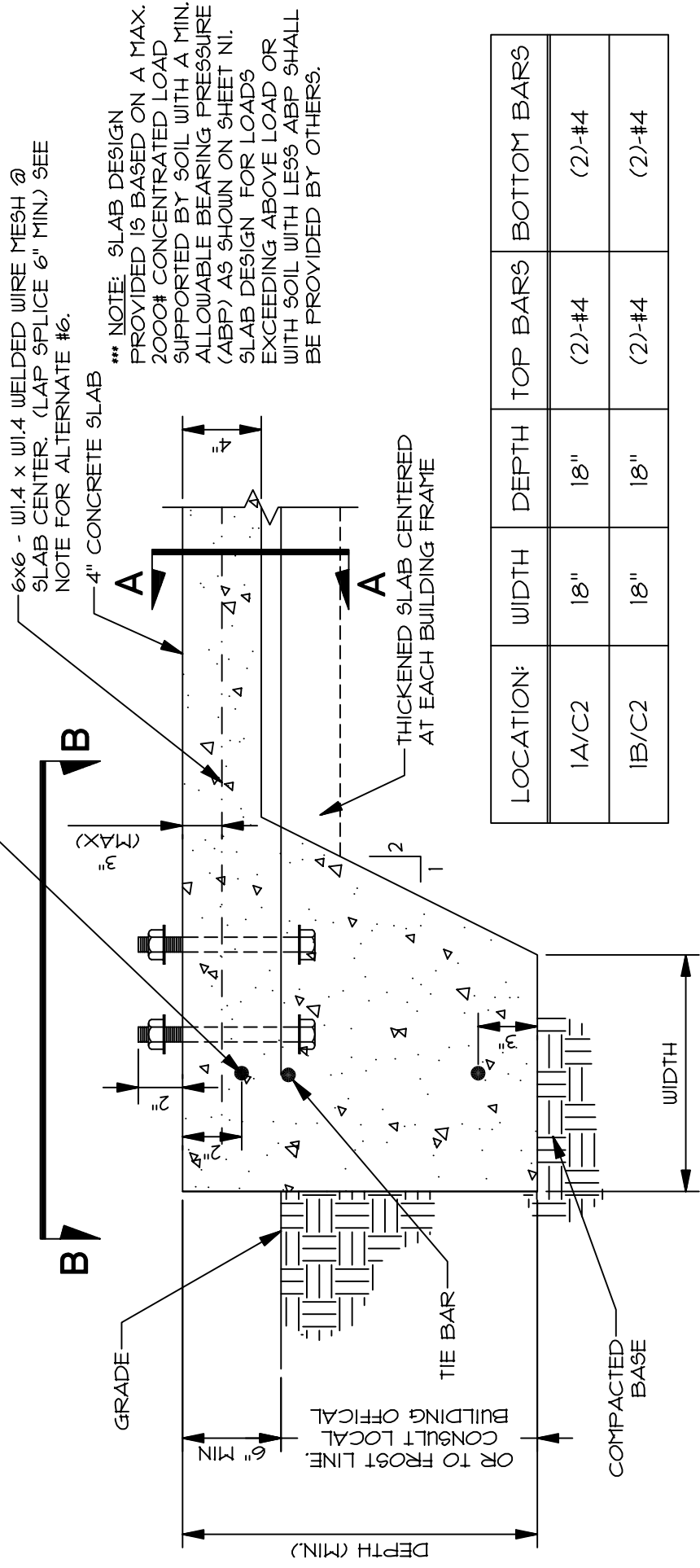
4 HSS3x3x3/16 CORNER COLUMN DETAIL
C1

NO SCALE



ANCHOR BOLT DETAILS

REINFORCING BARS (SEE SCHEDULE BELOW FOR SIZE AND NUMBER OF BARS WHICH MAY DIFFER FROM THOSE SHOWN). PLACE AT LEAST ONE TOP BAR TO OUTSIDE OF ANCHOR BOLTS AT FRAME AND COLUMN BASES. EXTEND BARS 24" MIN. AROUND CORNERS.)



6x6 - W1.4 x W1.4 WELDED WIRE MESH @ SLAB CENTER. (LAP SPLICE 6" MIN.) SEE NOTE FOR ALTERNATE #6.

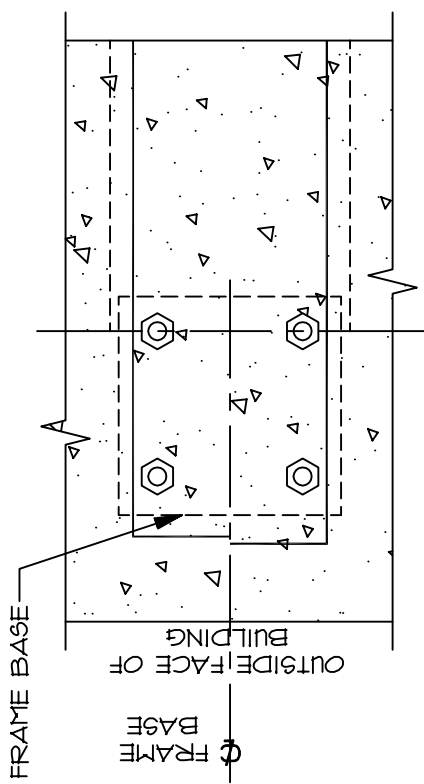
4" CONCRETE SLAB

*** NOTE: SLAB DESIGN PROVIDED IS BASED ON A MAX. 2000# CONCENTRATED LOAD SUPPORTED BY SOIL WITH A MIN. ALLOWABLE BEARING PRESSURE (ABP) AS SHOWN ON SHEET NI. SLAB DESIGN FOR LOADS EXCEEDING ABOVE LOAD OR WITH SOIL WITH LESS ABP SHALL BE PROVIDED BY OTHERS.

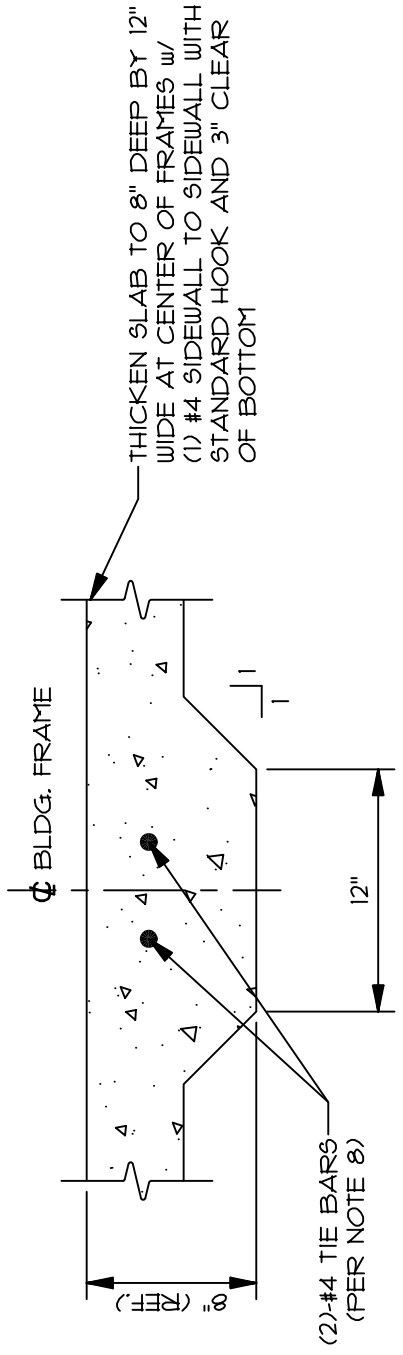
THICKENED SLAB CENTERED AT EACH BUILDING FRAME

LOCATION:	WIDTH	DEPTH	TOP BARS	BOTTOM BARS
1A/C2	18"	18"	(2)-#4	(2)-#4
1B/C2	18"	18"	(2)-#4	(2)-#4

1 TYPICAL SLAB EDGE DETAIL
1 1/2" = 1'-0"



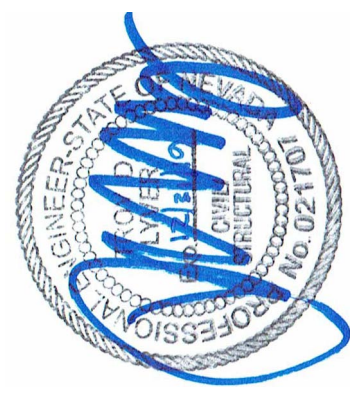
SECTION B-B



SECTION A-A


NOTES:

- FOUNDATION AND SLAB DESIGN IS BASED UPON 1500 PSF ALLOWABLE FOUNDATION PRESSURE.
- MATERIAL SUPPORTING FOUNDATION SHALL BE A DRY GRANULAR WELL DRAINING MATERIAL.
- GROUND LOCATIONS THAT DO NOT MEET MINIMUM DESIGN REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH COMPACTED MATERIAL DESIGNED BY OTHERS, TO PROVIDE A UNIFORM SUBGRADE.
- FOUNDATION DRAINAGE, DAMP PROOFING, AND CONCRETE FINISH ARE BY OTHERS.
- CONTRACTOR TO PROVIDE SAW CUT JOINTS, AS RECOMMENDED BY LOCAL INDUSTRY ACI OR PCA STANDARDS, FOR SURFACE CRACK CONTROL. ENSURE SPECIFIED REINFORCING RUNS CONTINUOUSLY THROUGH ALL JOINTS. FILL JOINTS WITH SEMI-RIGID FILLER.
- FIBROUS REINFORCING WITH A CURRENT ICC EVALUATION REPORT, MAY BE USED FOR SURFACE CRACK CONTROL. MANUFACTURER'S SPECIFICATIONS SHALL BE FOLLOWED.
- THE BARS, IF SPECIFIED, SHALL RUN CONTINUOUSLY THE FULL WIDTH OF THE STRUCTURE AND TERMINATE AT EACH SIDEWALL FOUNDATION WITH A STANDARD HOOK AND 3" OF COVER.
- SEE SHEET NI GENERAL NOTES FOR ADDITIONAL INFORMATION.

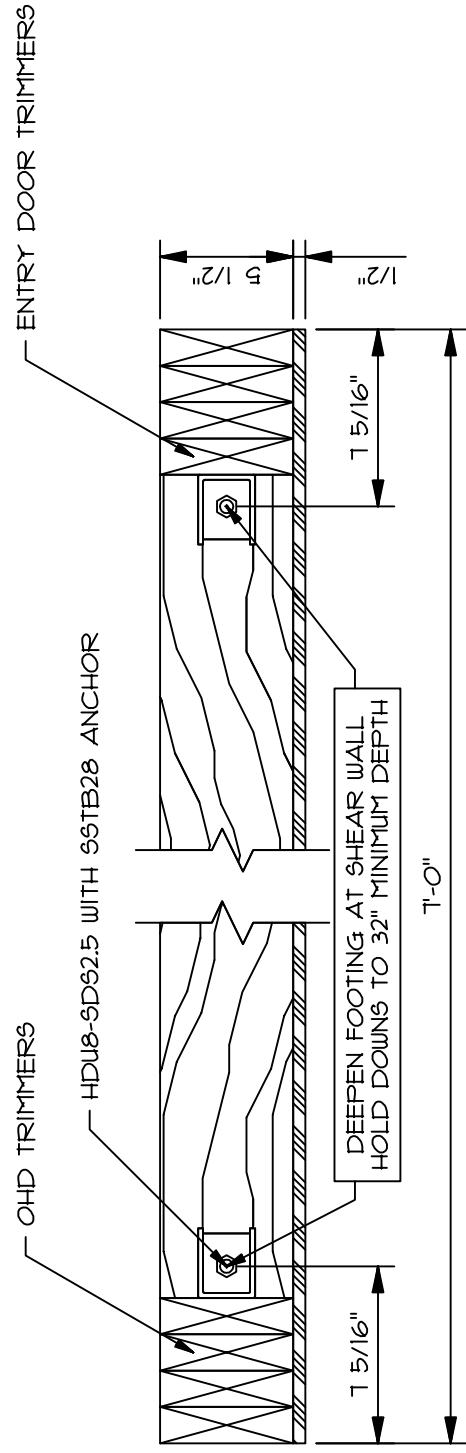


FOUNDATION DETAILS

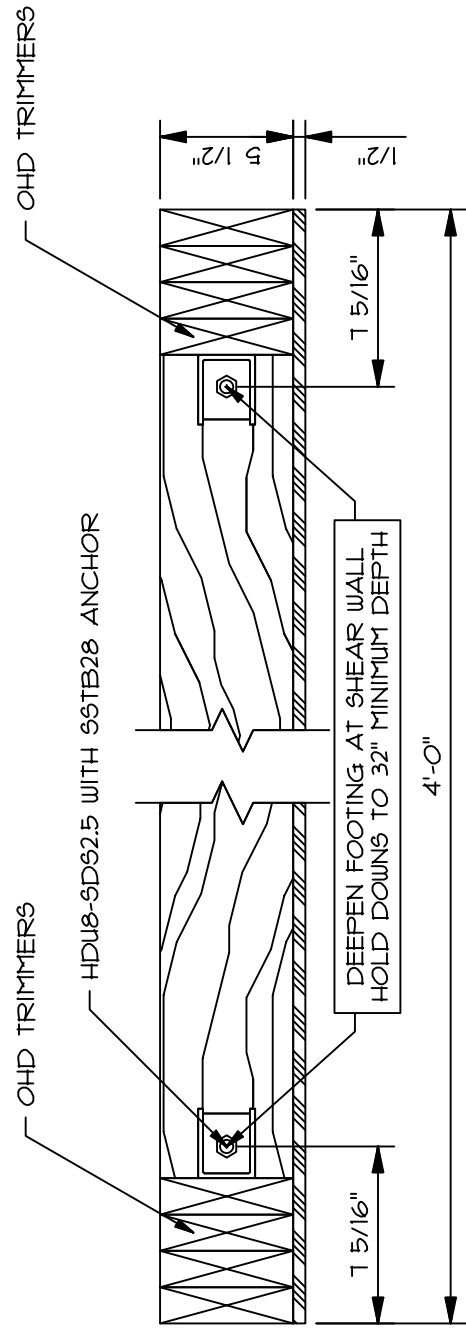
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DATE: 4/27/2020	


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SHEAR WALL ANCHORS



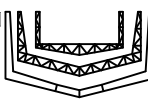
2 SHEAR WALL ANCHOR DETAIL
AT FRONT SIDEWALL



1 SHEAR WALL ANCHOR DETAIL
AT FRONT SIDEWALL

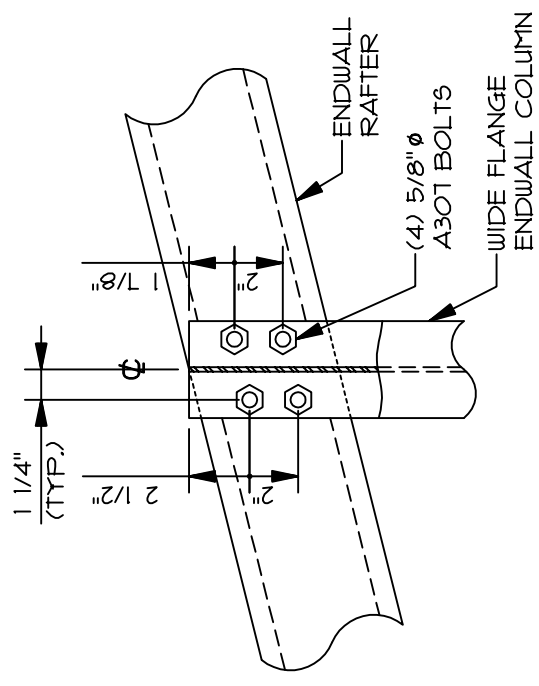
- NOTES:
1. SHEATH ENTIRE WALL w/ 1/2" PLYWOOD (PROVIDED BY CUSTOMER)
 2. FRAME AND/OR COLUMNS NOT SHOWN FOR CLARITY

JOB NO: V20-013	DRAWN: NSC
DATE: 4/27/2020	

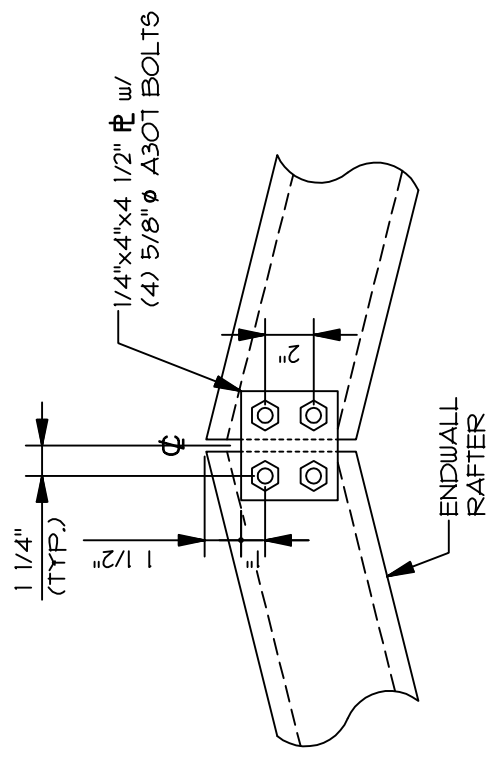

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RAFTER CONNECTION DETAILS

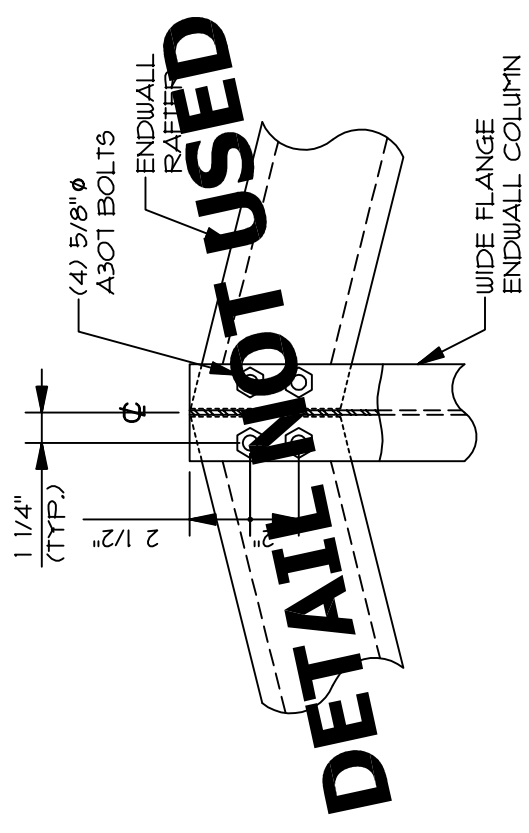
SHEET **S1**



3 ENDWALL RAFTER TO COLUMN DETAIL
 S1 VIEWED FROM INSIDE THE BUILDING 1 1/2" = 1'-0"



1 ENDWALL PEAK DETAIL
 S1 VIEWED FROM INSIDE THE BUILDING 1 1/2" = 1'-0"



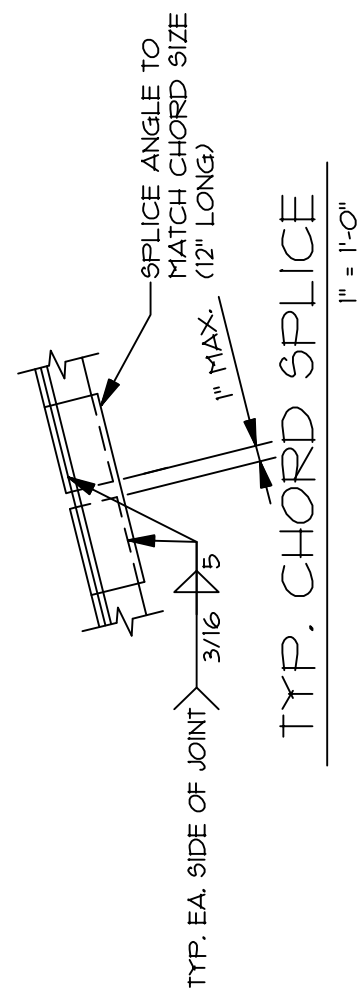
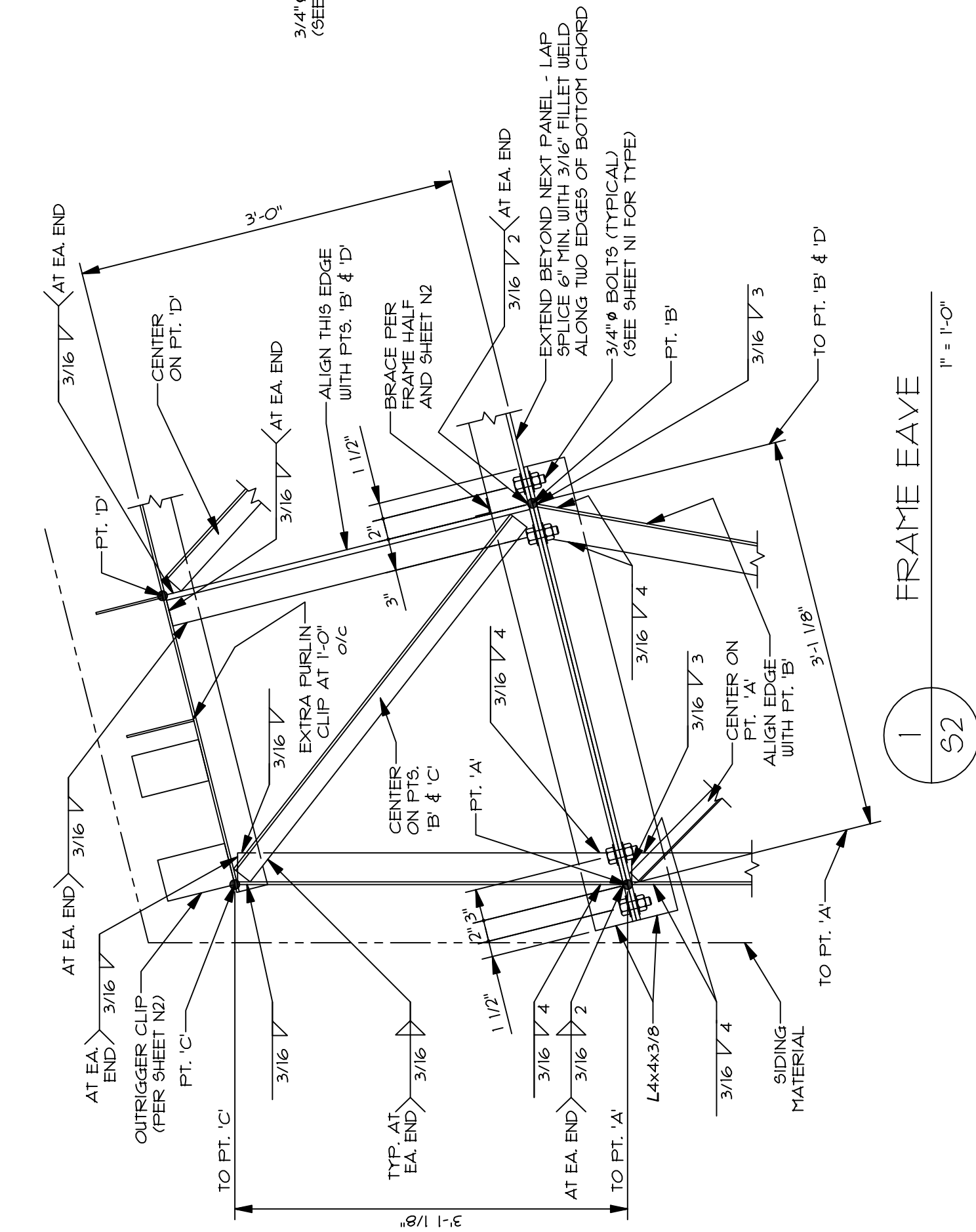
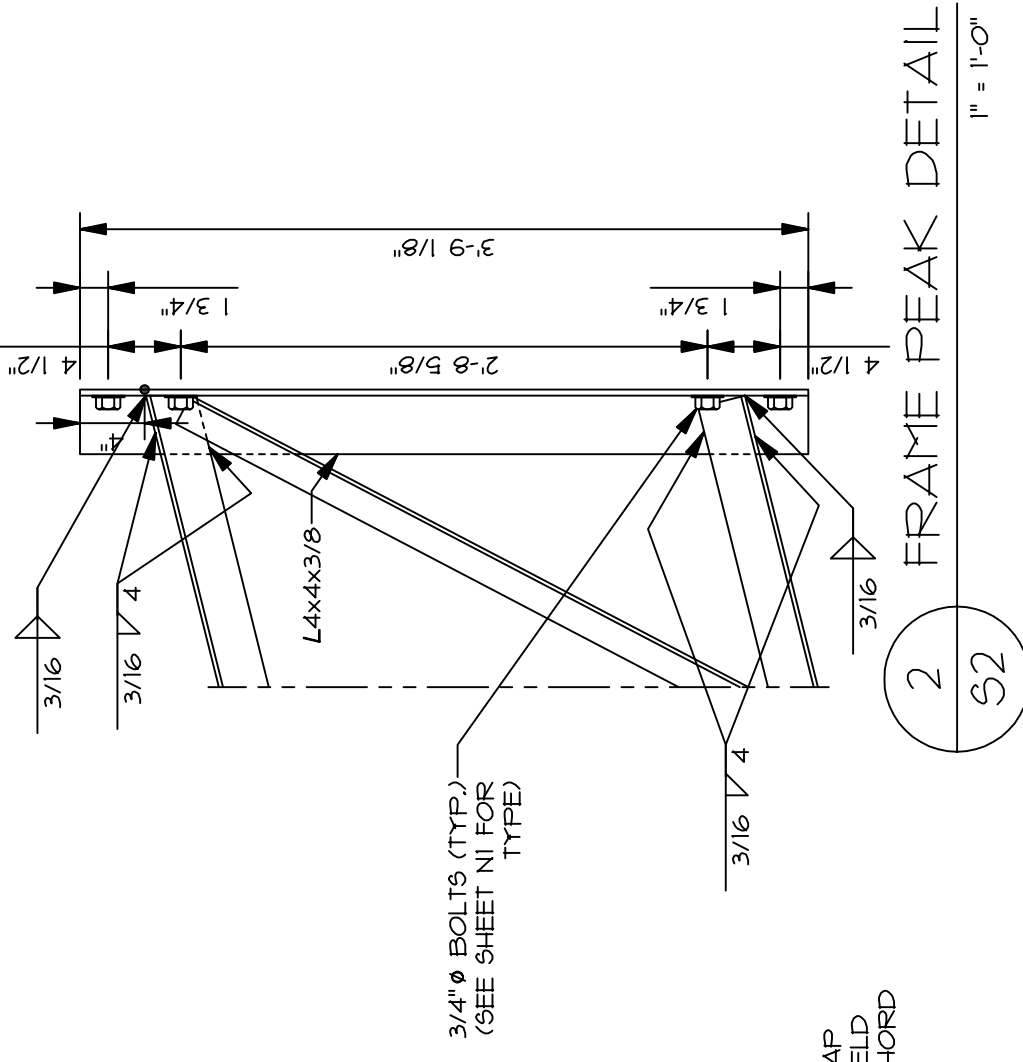
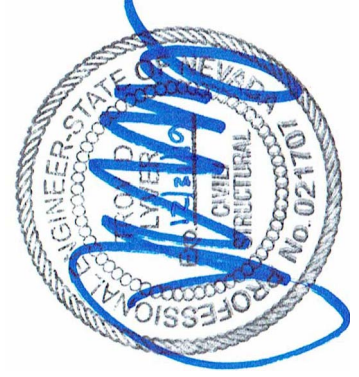
2 ENDWALL PEAK DETAIL @ COLUMN
 S1 VIEWED FROM INSIDE THE BUILDING 1 1/2" = 1'-0"

FABRICATION DETAILS

3'-0" TRUSS

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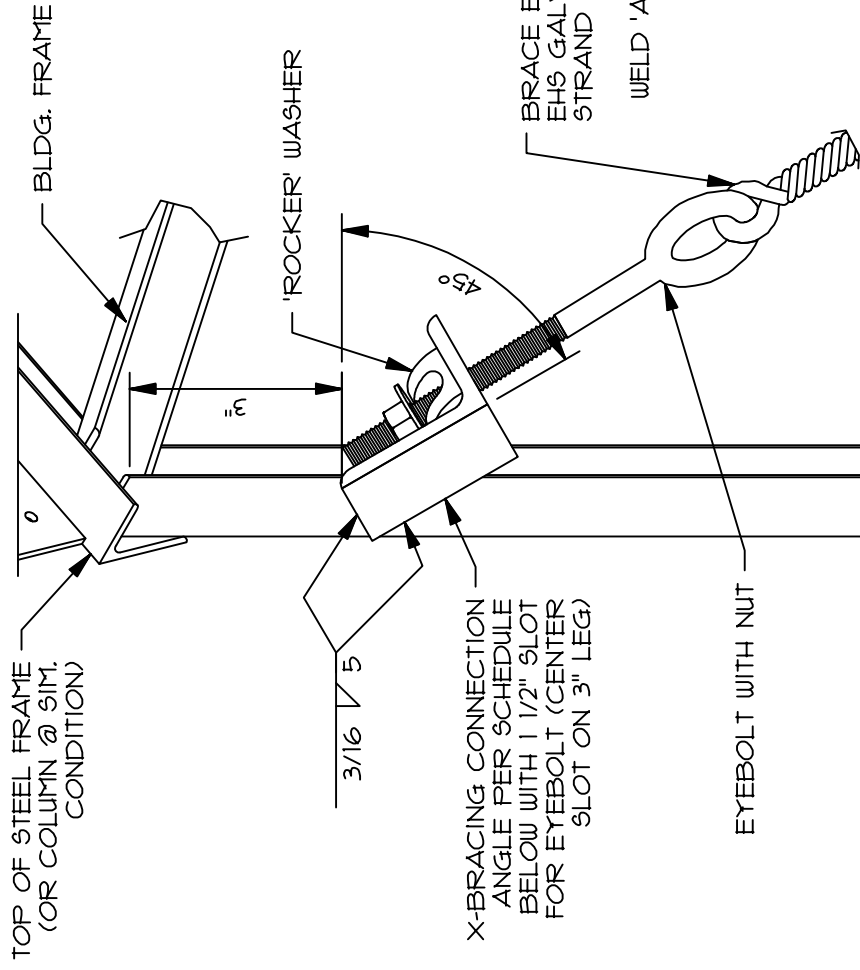
- NOTES:
- SEE SHEET S3 FOR MEMBER WELDING NOT SHOWN.
 - USE 3/4" BOLTS AT LOCATIONS SHOWN.
 - IF SPECIFIED WELD LENGTHS ARE NOT ALL POSSIBLE ON FRONT SIDE SHOWN, PLACE REMAINDER ON BACK SIDE.

2 FRAME PEAK DETAIL
S2
1" = 1'-0"

1 FRAME EAVE
S2
1" = 1'-0"

NOTE:
DURING INITIAL X-BRACE INSTALLATION, TIGHTEN CABLE SUCH THAT NO SAG OCCURS, THEN TURN NUT AT ONE END AN ADDITIONAL (2) FULL TURNS.

CUSTOMER SHALL PERFORM PERIODIC INSPECTION OF ALL X-BRACING CABLES TO ENSURE TAUTNESS. IF CABLES HAVE LOOSENED, REPEAT INSTALLATION PROCEDURE ABOVE.



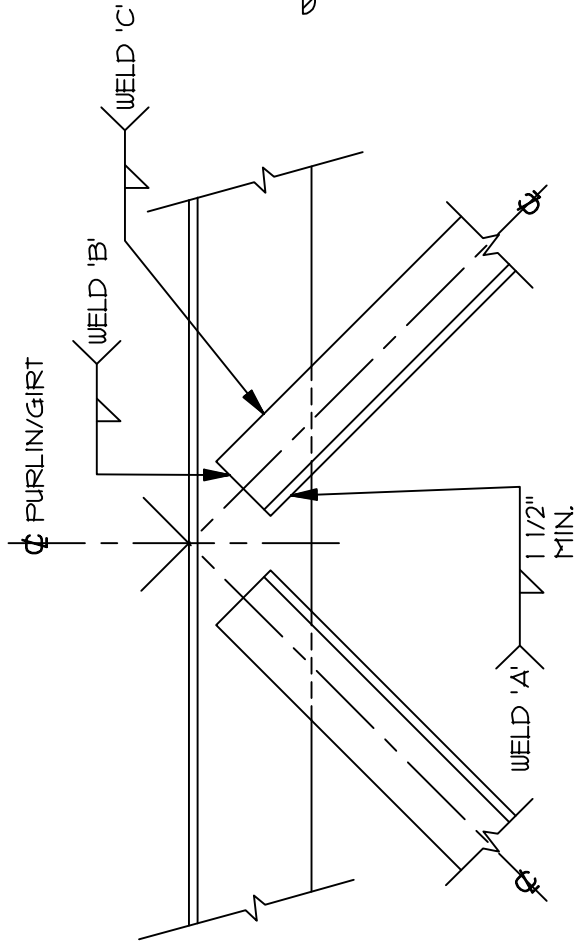
NOTE: ATTACH AT BASE OF COLUMN AND AT ROOF X-BRACING IN SIMILAR MANNER.

LOCATION	ASSEMBLY DESIGNATION			
	EYEBOLT	GRIP LENGTH	CABLE	CONN. ANGLE
ENDWALLS	1/2" ϕ	19 1/2" LONG	1/4" ϕ	L5x3x3/8 x 2 1/2"
	5/8" ϕ	30" LONG	3/8" ϕ	L5x3x1/2 x 3"
ROOF	1/8" ϕ	36" LONG	1/2" ϕ	L6x4x1/2 x 3 1/2"
	5/8" ϕ	30" LONG	3/8" ϕ	L5x3x1/2 x 3"
SIDEWALL	1/8" ϕ	36" LONG	1/2" ϕ	L6x4x1/2 x 3 1/2"
	5/8" ϕ	30" LONG	3/8" ϕ	L5x3x1/2 x 3"

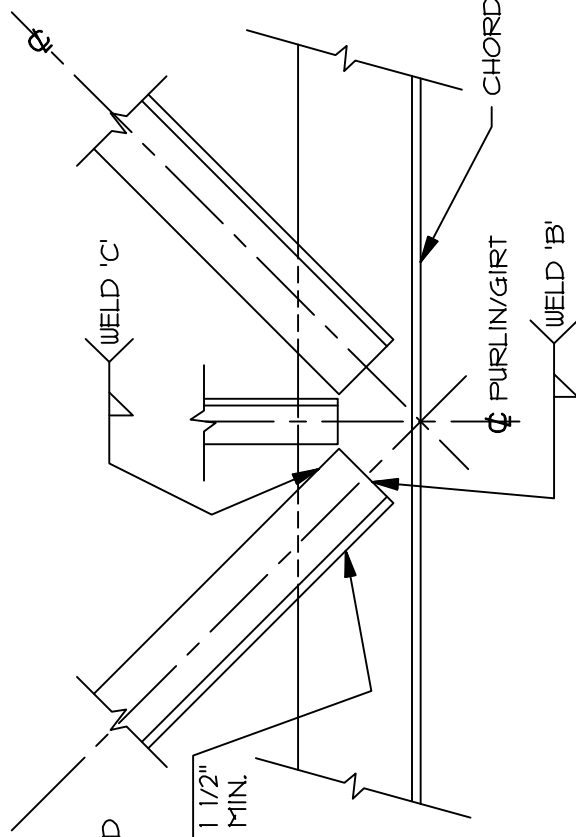
1 X-BRACING CONN. DETAILS

NO SCALE

S3



FRAME JOINT AT 2-MEMBER CONN.

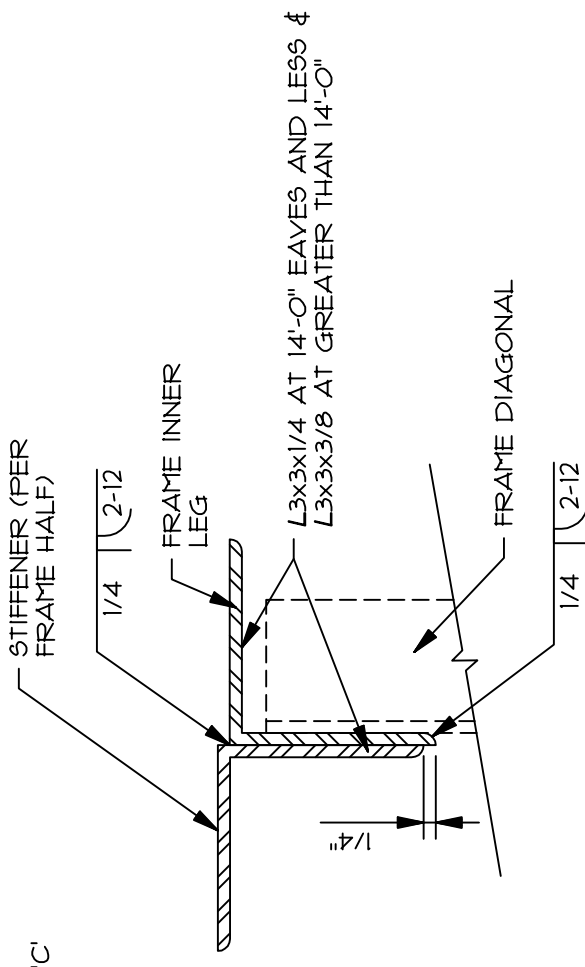


FRAME JOINT AT 3-MEMBER CONN.

2 FRAME WELD CONNECTION

NO SCALE

S3



3 CHORD STIFFENER WELDING

NO SCALE

STIFFENER NOTES:

1. WELD LEG SIZE TO MATCH STIFFENER THICKNESS.
2. TOTAL WELD LENGTH AT THE ENDS IS THE SAME AS NOTE 3 OF WELDING REQUIREMENT, DET. 2/53.
3. AT INNER LEG STIFFENERS, EXTEND TO WITHIN 6" OF HAUNCH CONNECTION AT TOP ANGLE AND WITHIN 6" OF BASE PLATE AT BOTTOM.

WELDING REQUIREMENTS (DET. 2/53)

1. CENTERLINES OF WEB MEMBERS SHALL ALIGN AT COMMON POINT AS SHOWN.
2. FILLET WELD LEG SIZE TO MATCH WEB MEMBER THICKNESS.
3. MIN. TOTAL WELD LENGTH AT EA. END OF MEMBER:
4" FOR L 1 x 1
5 1/2" FOR L 1.5 x 1.5
7" FOR L 2 x 2
10" FOR L 3 x 3
4. WELDING SEQUENCE: WELD 'A' FIRST, WELD 'B' SECOND, THEN WELD 'C'.
CLIP CORNER OF WEB MEMBER AS REQ'D TO ATTAIN SPECIFIED WELD. WELD ON BACK IF MIN. WELD NOT POSSIBLE ON FRONT.
- 5.



X-BRACE DETAILS


SHEET

S3

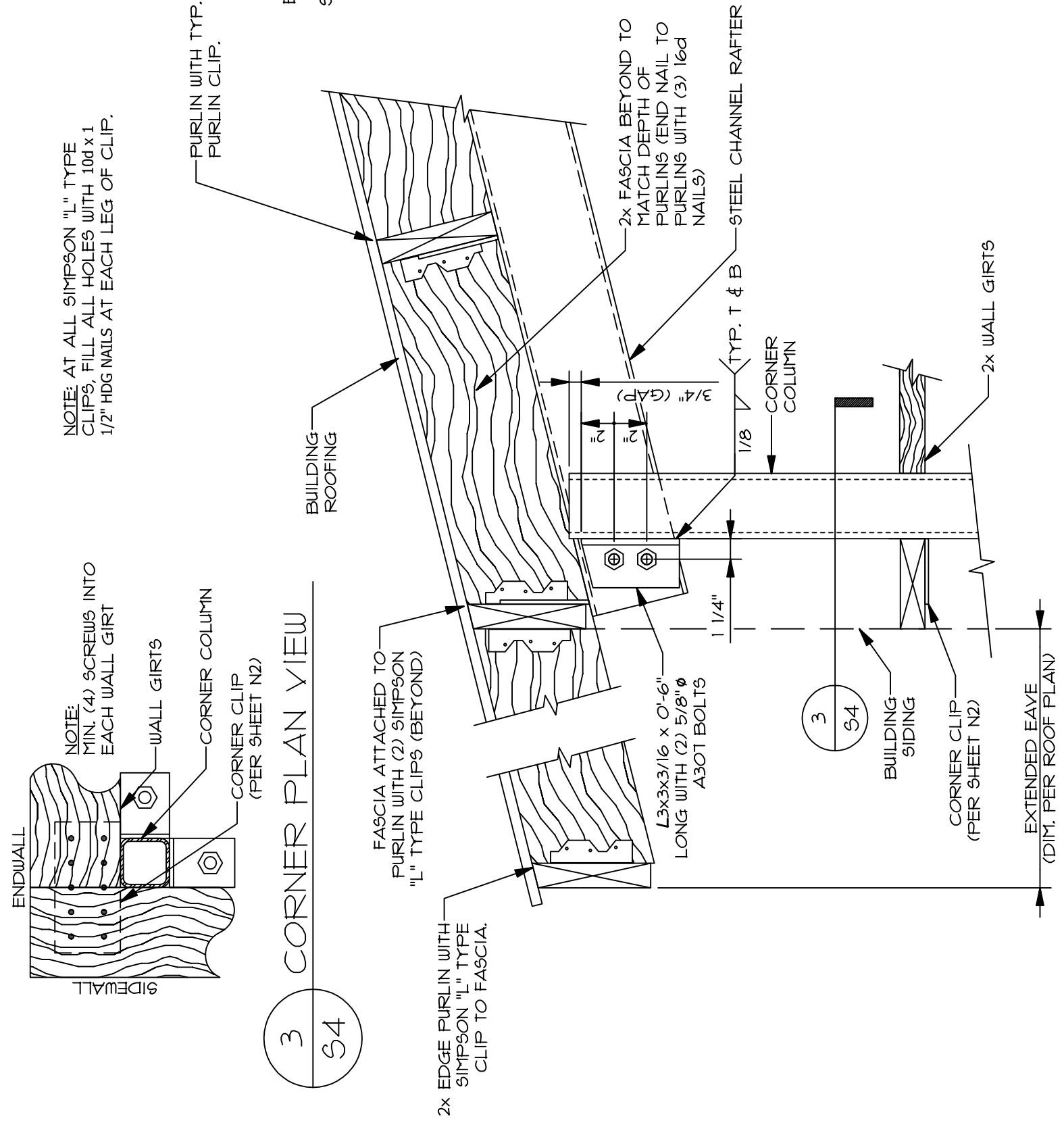
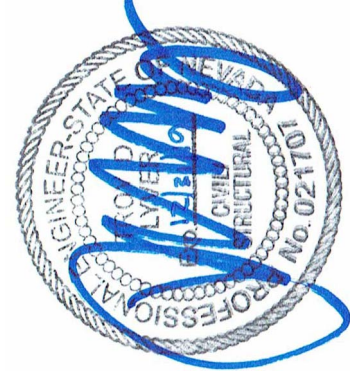
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SANDY, OR, 97055
OFFICE: (503)-668-7211 FAX: (503)-668-9026

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EXTENDED EAVE DETAILS

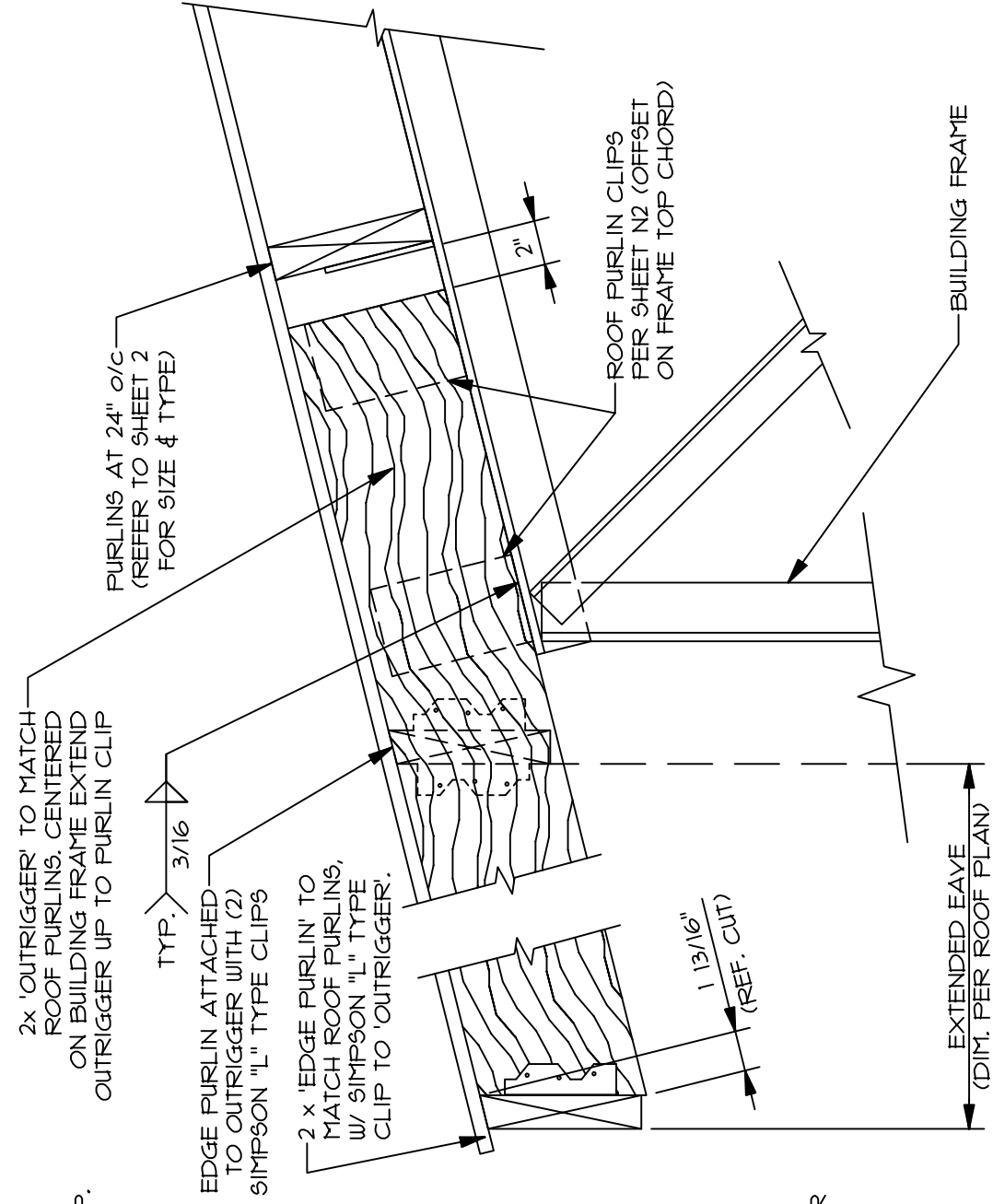


3 CORNER PLAN VIEW
S4

1 EXTENDED EAVE AT ENDWALL
VIEWED FROM INSIDE THE BUILDING
S4
1 1/2" = 1'-0"

NOTE: WHERE SIMPSON "L" TYPE ANGLES ARE NOTED ON PLAN, USE THE FOLLOWING:
 FOR 2x8 PURLINS - SIMPSON **L50** ANGLE
 FOR 2x10 PURLINS - SIMPSON **L70** ANGLE
 FOR 2x12 PURLINS - SIMPSON **L90** ANGLE

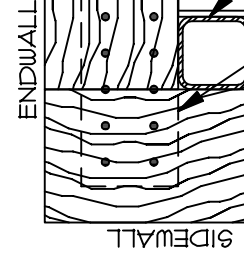
NOTE: WORK THIS SHEET WITH PLAN VIEW - EXTENDED EAVES AT SIDEWALLS AND ENDWALLS ON SHEET 55.



2 EXTENDED EAVE AT BLDG. FRAME
S4
1 1/2" = 1'-0"

NOTE: AT ALL SIMPSON "L" TYPE CLIPS, FILL ALL HOLES WITH 10d x 1 1/2" HDG NAILS AT EACH LEG OF CLIP.

NOTE: MIN. (4) SCREWS INTO EACH WALL GIRT



2x 'OUTRIGGER' TO MATCH ROOF PURLINS. CENTERED ON BUILDING FRAME EXTEND OUTRIGGER UP TO PURLIN CLIP

PURLINS AT 24" o/c (REFER TO SHEET 2 FOR SIZE & TYPE)

EDGE PURLIN ATTACHED TO OUTRIGGER WITH (2) SIMPSON "L" TYPE CLIPS

2 x 'EDGE PURLIN' TO MATCH ROOF PURLINS, W/ SIMPSON "L" TYPE CLIP TO 'OUTRIGGER'.

ROOF PURLIN CLIPS PER SHEET N2 (OFFSET ON FRAME TOP CHORD)

EXTENDED EAVE (DIM. PER ROOF PLAN)

BUILDING FRAME

S4

EXTENDED EAVE AT BLDG. FRAME

1 1/2" = 1'-0"

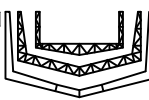
EXTENDED EAVE (DIM. PER ROOF PLAN)

S4

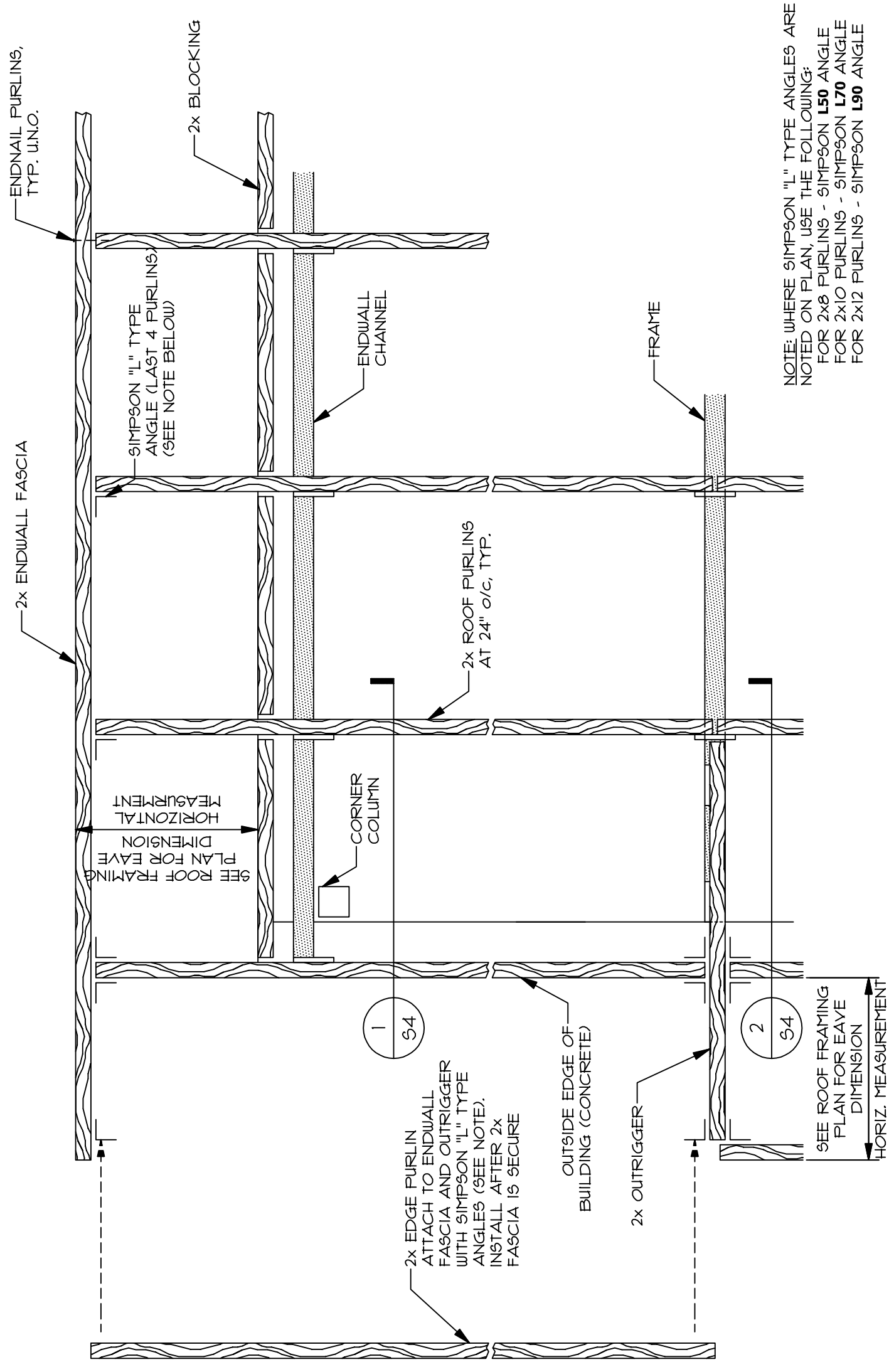
EXTENDED EAVE AT ENDWALL

1 1/2" = 1'-0"

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EAVE FRAMING DETAILS
 PLAN VIEW AT EXTENDED EAVES AND EXTENDED GABLES



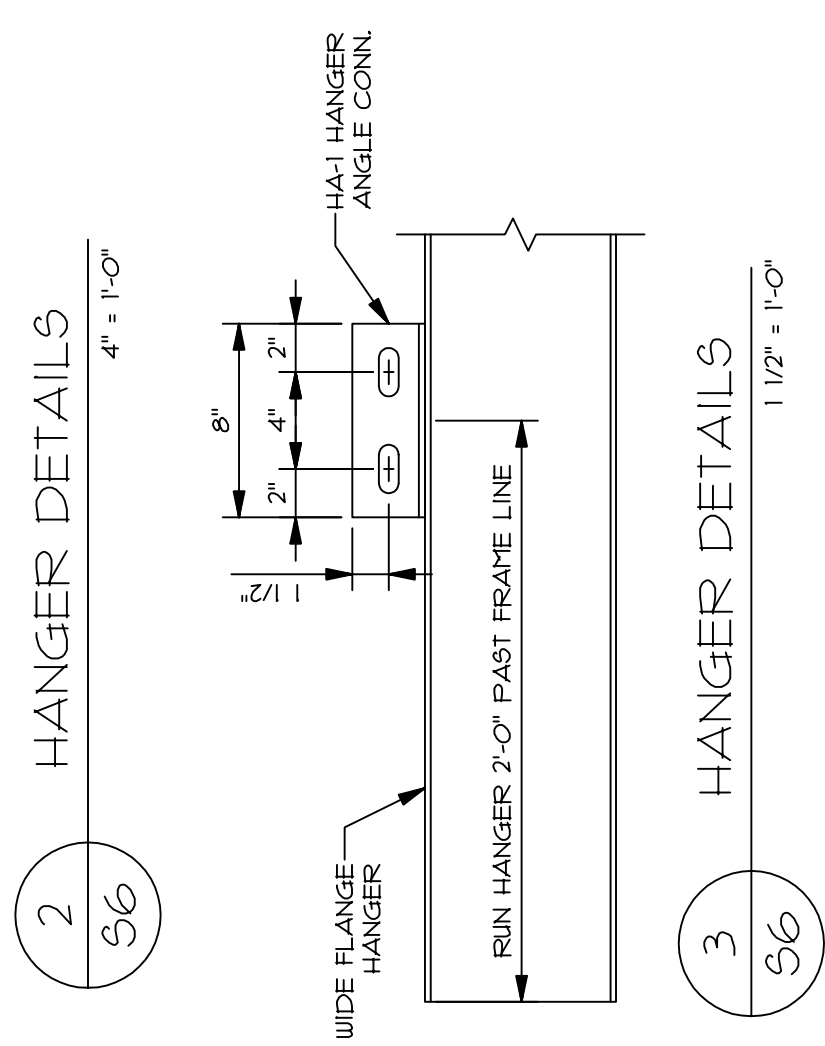
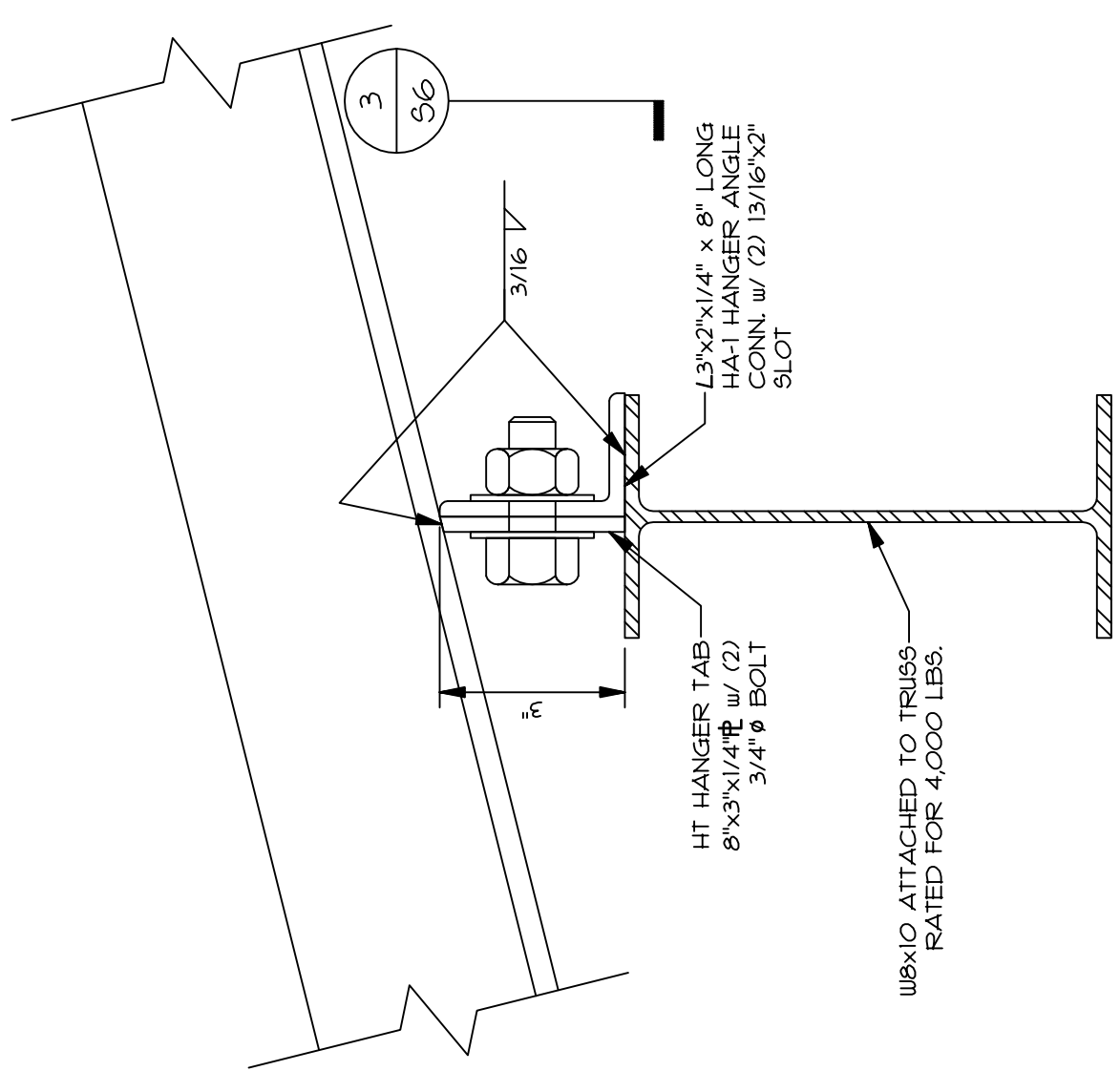
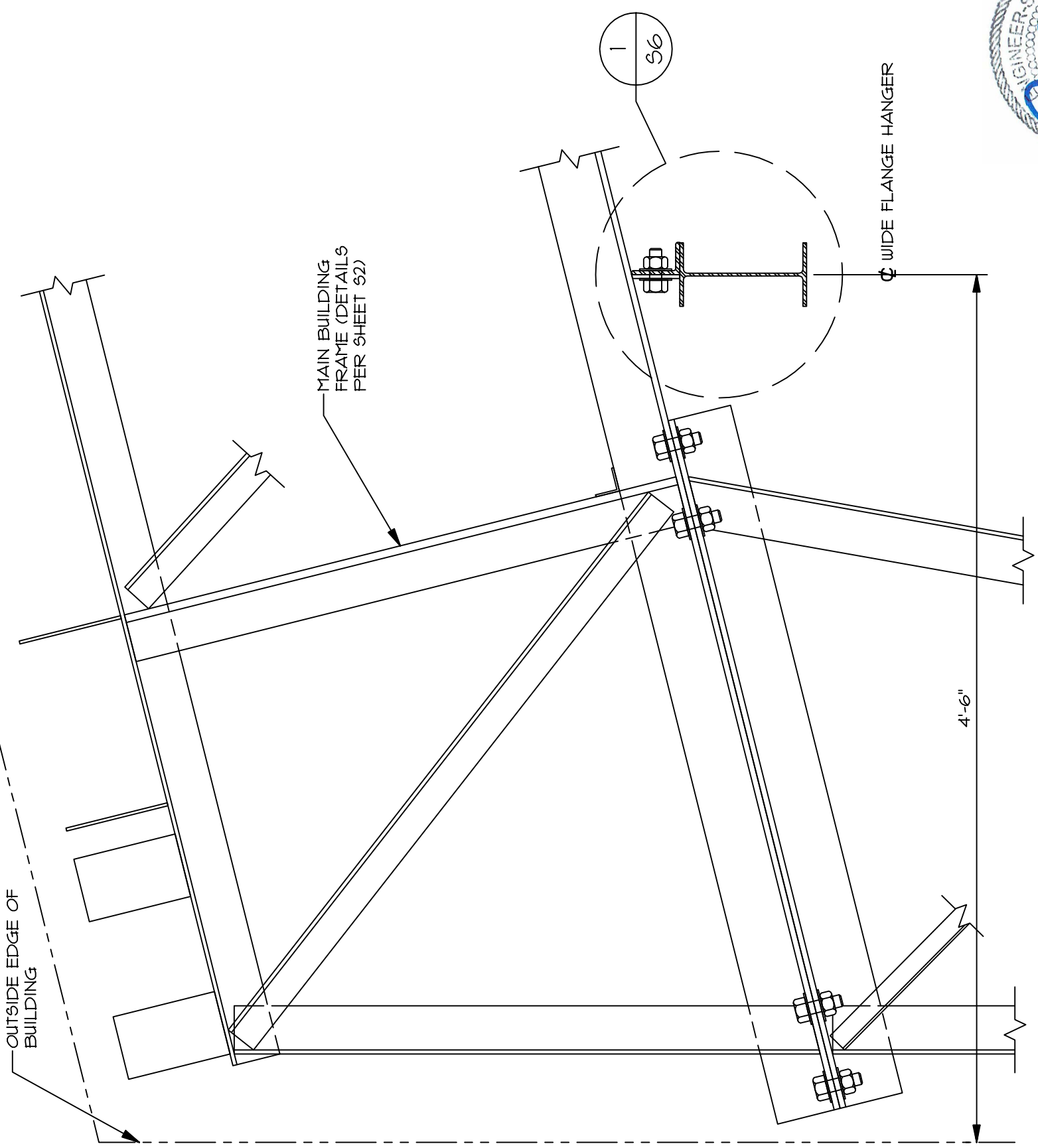
NOTE: WHERE SIMPSON "L" TYPE ANGLES ARE NOTED ON PLAN, USE THE FOLLOWING:
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 FOR 2x10 PURLINS - SIMPSON L70 ANGLE
 FOR 2x12 PURLINS - SIMPSON L90 ANGLE

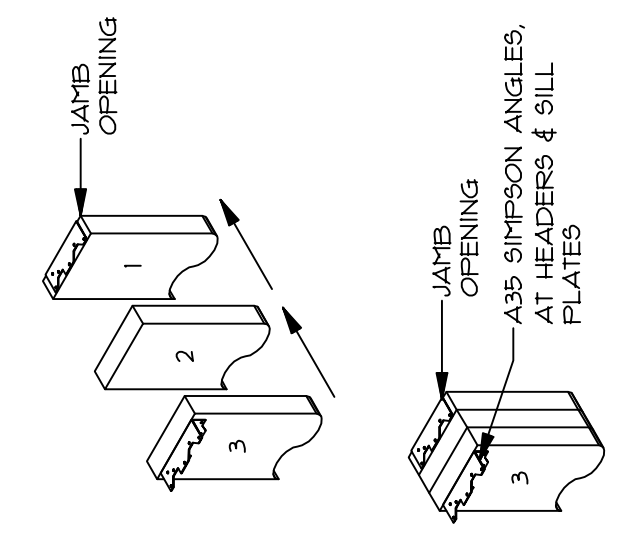
1 PLAN VIEW - EXTENDED EAVES AT SIDEWALLS AND ENDWALLS
 NO SCALE
S5

JOB NO:	V20-013
DATE:	4/27/2020
DRAWN:	NSC

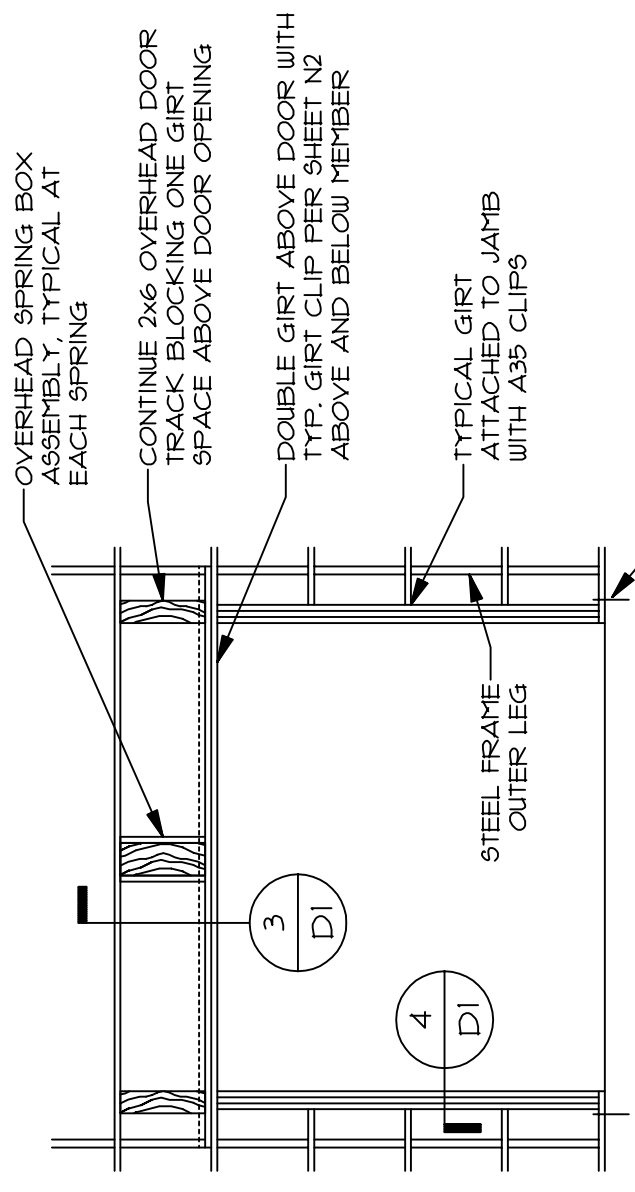
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WIDE FLANGE HANGER DETAILS

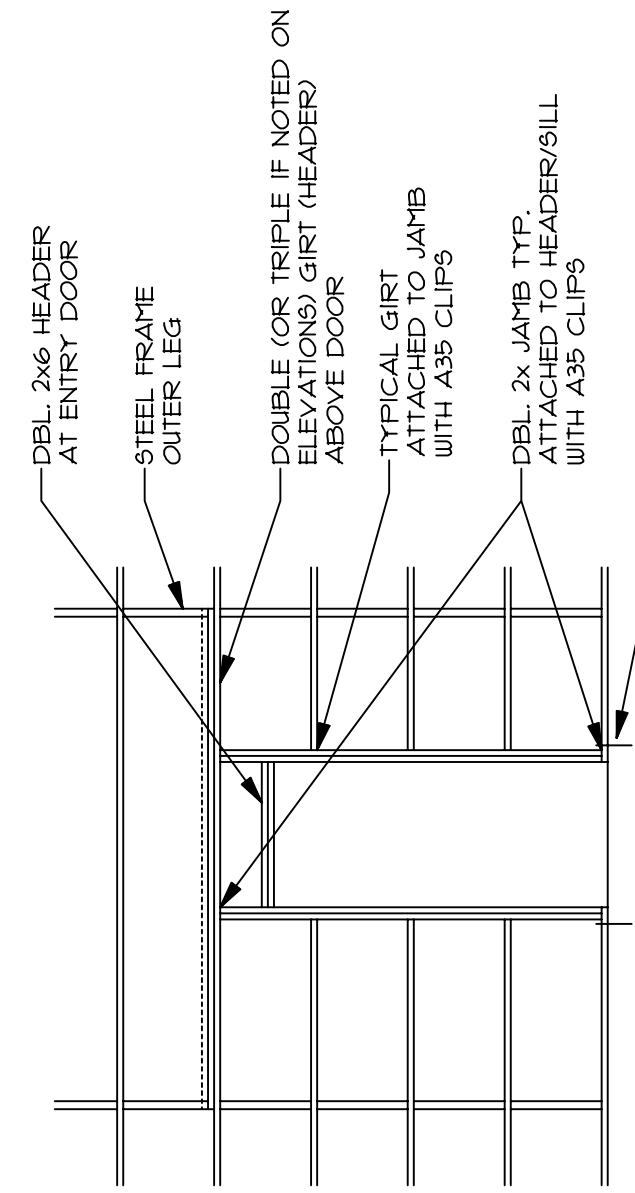




5 JAMB DETAIL
 NO SCALE



2 OHD FRAMING DETAIL
 NO SCALE

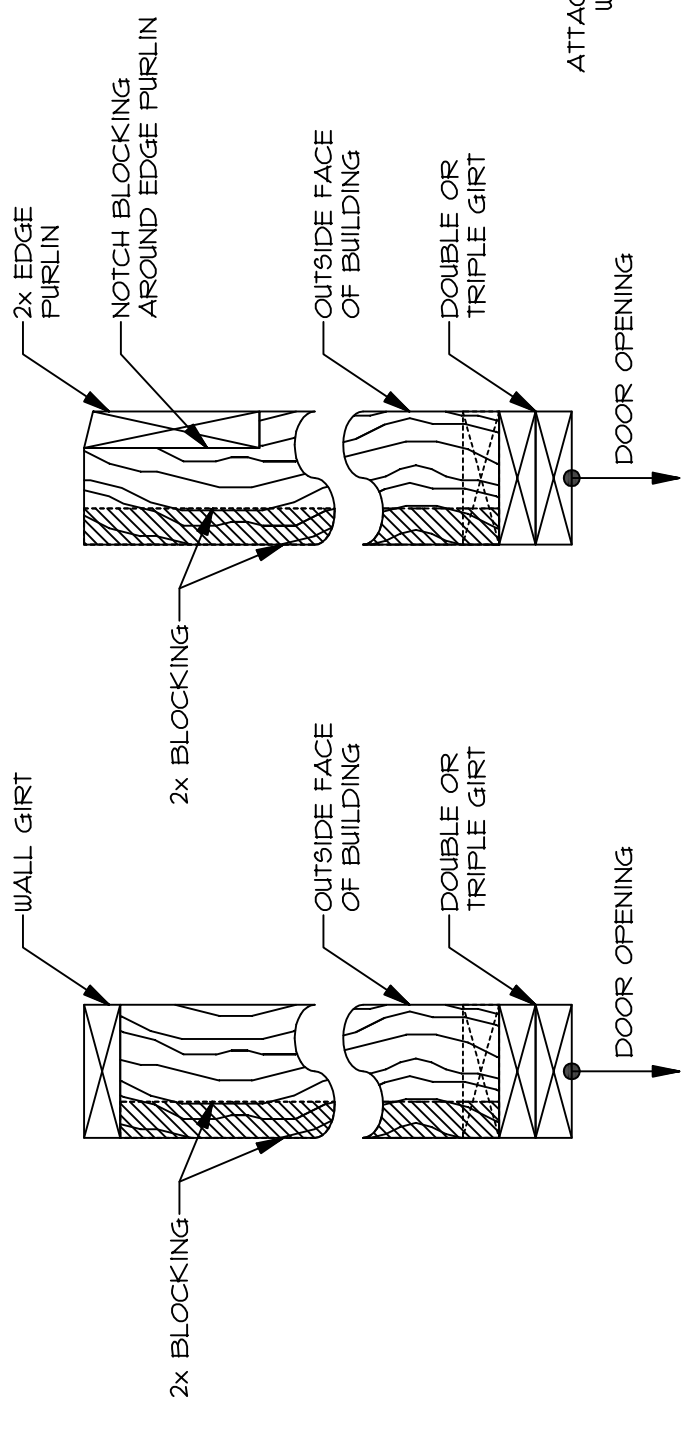


1 ENTRY DOOR FRAMING DETAIL
 NO SCALE

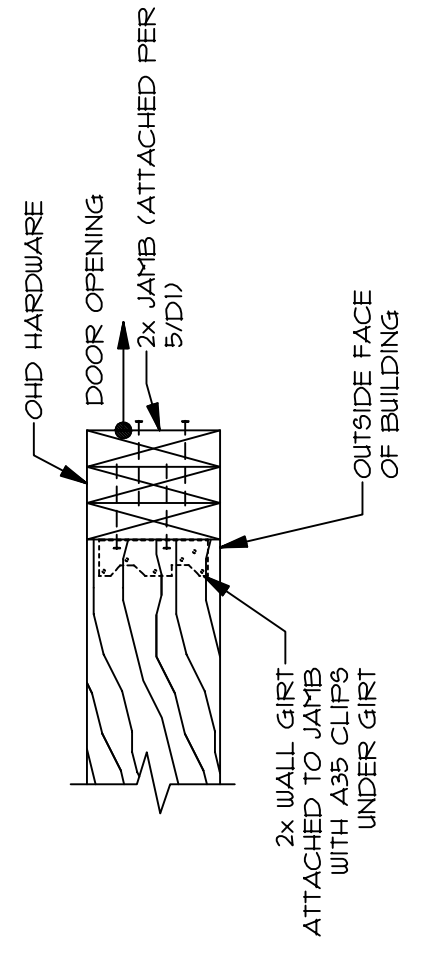
HEADER & JAMB CONNECTION SCHEDULE

(2) 2x6: (2) ROWS 16d NAILS AT 8" oc
 (3) 2x6: (2) ROWS 16d NAILS AT 8" oc ON EACH FACE
 (4) 2x6: SDS25600 SCREWS AT 8" oc (STAGGERED)

-1/4" MAY BE REMOVED FROM THE 2X FACE AT ANGLE LOCATIONS



3 OHD SPRING BOX
 1 1/2" = 1'-0"



4 OHD JAMB SECTION
 NO SCALE

