

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: De Martini Garage			
Project Description: A new Garage to house for antique car collection. 9000 sqft			
Project Address: 2400 Kinney Lane, Reno, Nevada			
Project Area (acres or square feet): 5.083 Acres - 9000 SF. structure			
Project Location (with point of reference to major cross streets AND area locator): Near Kinney Lane and Lakeside			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
222-073-03	5.083		
Lot B, Pm 1710			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). NA			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Mrs. James De Martini		Name: John C. Matetich	
Address: 2400 Kinney Lane		Address: 3610 Salerno Dr.	
Reno, NV. Zip: 89511		Reno, NV. Zip: 89509	
Phone: 209-531-4659 Fax:		Phone: 775-846-1223 Fax:	
Email:		Email: JCmatetich@AOL.com	
Cell: Other:		Cell: 775-852-4027 Other: ☺	
Contact Person:		Contact Person: John Matetich	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: Cell # 775-846-1223	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the type of project or use being requested?

Residential Accessory Building - Garage

2. What section of the Washoe County code requires the Administrative permit required?

3. What currently developed portions of the property or existing structures are going to be used with this permit?

None

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New structure & adjacent site work as noted on the drawings. one year or less from approval of permit.

5. Is there a phasing schedule for the construction and completion of the project?

No Phasing. Completion in 1 year from start.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Little or no impact. New structure is screened by existing landscape on Kinney Drive.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

New structure will match existing residence in color and Architecture.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There will be no anticipated negative impact on adjacent properties.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

None

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

All Parking will be inside new garage to protect the Antique Car Collection.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Existing landscape and irrigation.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No Pole or Wall lighting. Only recessed waterproof down lights at garage doors and Porches.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	Existing service - no change
b. Water Service	Existing service - no change

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N.A.

Property Owner Affidavit

Applicant Name: ANNE DEMARTINI

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, ANNE DEMARTINI
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 222-073-03

Printed Name ANNE DEMARTINI

Signed Anne DeMartini

Address 5013 JENNINGS RD
MODESTO, CA 95358

Subscribed and sworn to before me this _____ day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

See CA Attachment # 2201700

Acknowledgement
 Jurat

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

Subscribed and sworn to (or affirmed) before me on this 24th
day of June, 2019, by Anne Brainard
DeMartini,
proved to me on the basis of satisfactory evidence to be the
person who appeared before me.



(Seal)

Signature

Karin Fuller

Property Owner Affidavit

Applicant Name: JAMES R DeMARTINI

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, JAMES R DeMARTINI
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 222-073-03

Printed Name JAMES R DeMARTINI

Signed James R DeMarti

Address 5013 JENKINS RD
MODESTO, CA 95358

Subscribed and sworn to before me this
day of _____

(Notary Stamp)

See attached Certificate
Notary Public in and for said county and state

My commission expires: march 11, 2022

See CA Attachment
2057575
 Acknowledgement
 Jurat

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

Subscribed and sworn to (or affirmed) before me on this 17th
day of June, 2019, by James R. Demartini

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)-

Signature

A handwritten signature in blue ink, appearing to read 'J. Demartini', written over a horizontal line.

Property Owner Affidavit

Assessor parcel # 222-073-03

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 22207303
 AIN:

Balance Good Through:	07/08/2019
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO
 :9535810:

JAMES R DEMARTINI TRUST
 5013 JENNINGS RD
 MODESTO CA 95358

Description:

Situs: 2400 KINNEY LN
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
22207303	2018	2018104241	1	08/20/2018	5,458.41	0.00	0.00	5,458.41	0.00
22207303	2018		2	10/01/2018	5,419.73	0.00	0.00	5,419.73	0.00
22207303	2018		3	01/07/2019	5,419.73	0.00	0.00	5,419.73	0.00
22207303	2018		4	03/04/2019	5,419.72	0.00	0.00	5,419.72	0.00
Current Year Totals					21,717.59	0.00	0.00	21,717.59	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 22207303
 AIN:

Balance Good Through:	07/08/2019
Current Year Balance:	\$22,778.22
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$22,778.22

AUTO
 :9535810:

JAMES R DEMARTINI TRUST
 5013 JENNINGS RD
 MODESTO CA 95358

Description:

Situs: 2400 KINNEY LN
 WCTY

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Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
22207303	2019	2019112729	1	08/19/2019	5,723.60	0.00	0.00	0.00	5,723.60
22207303	2019		2	10/07/2019	5,684.88	0.00	0.00	0.00	5,684.88
22207303	2019		3	01/06/2020	5,684.87	0.00	0.00	0.00	5,684.87
22207303	2019		4	03/02/2020	5,684.87	0.00	0.00	0.00	5,684.87
Current Year Totals					22,778.22	0.00	0.00	0.00	22,778.22

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Development Application Submittal
for Administrative Permit

Proposed DeMartini Garage

2400 Kinney Lane, Reno, Nevada

(A new Garage to house Antique Car Collection)

Submitted by

John Charles Matetich, AIA, NCARB

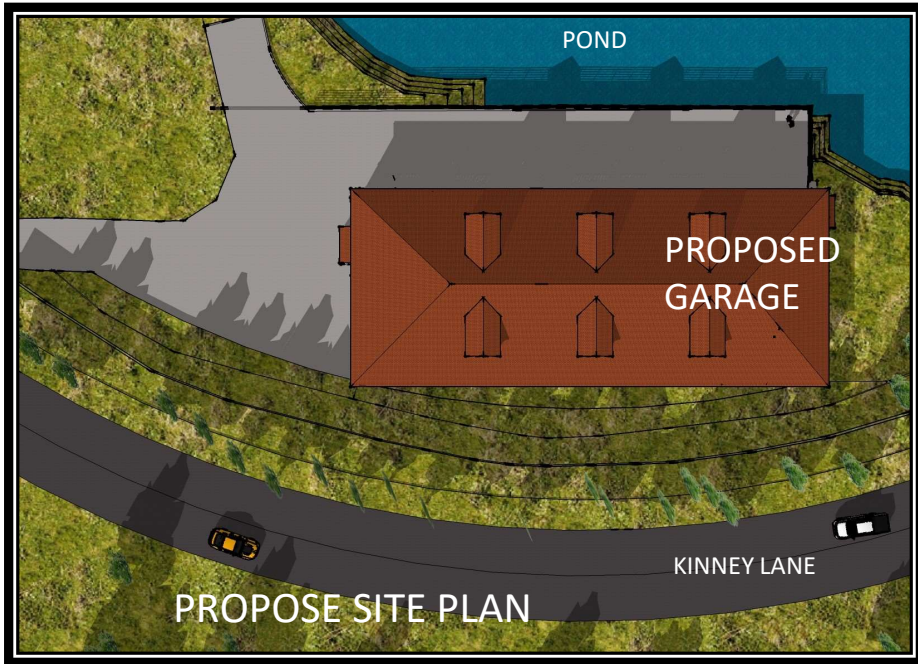
Architect

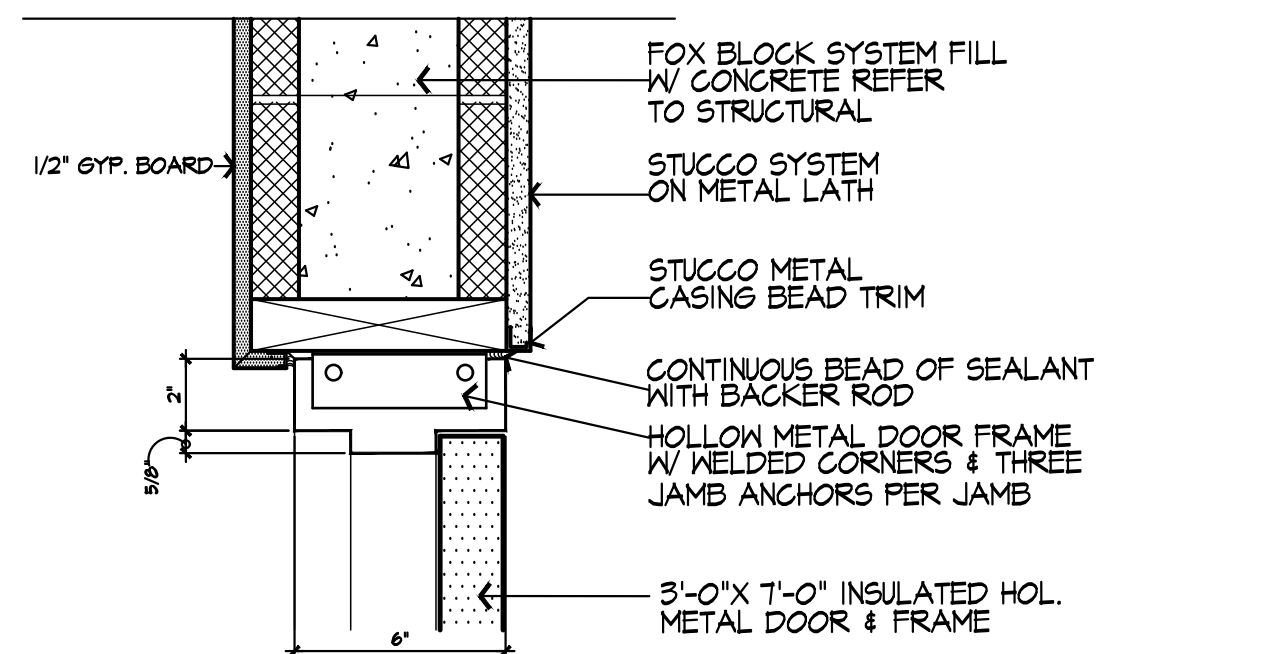
July 11, 2019



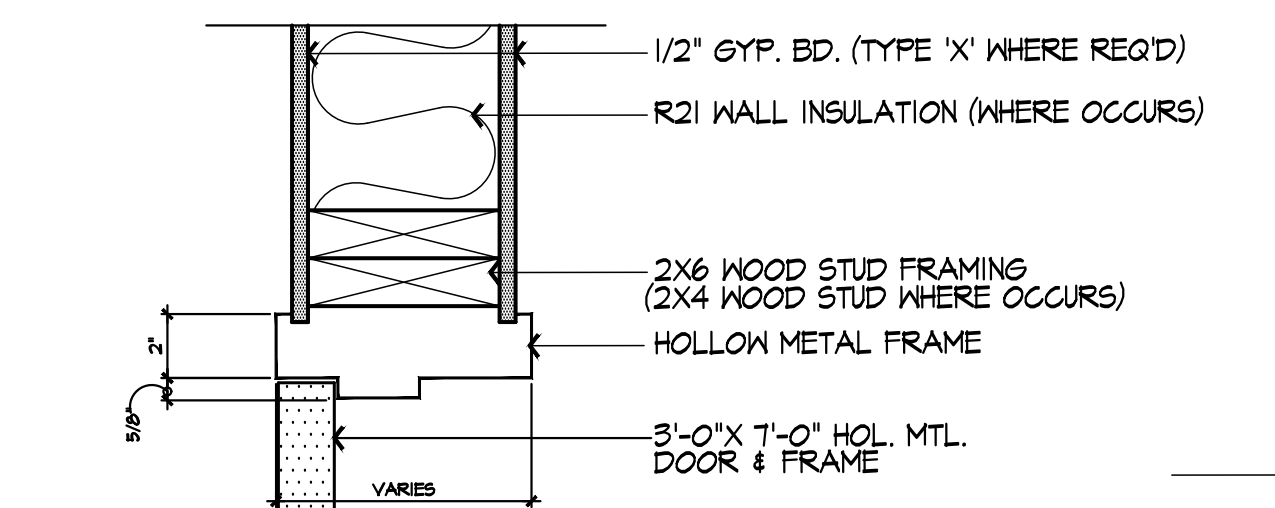


Proposed:
De Martini Garage
2400 Kinney Lane
Reno, Nevada

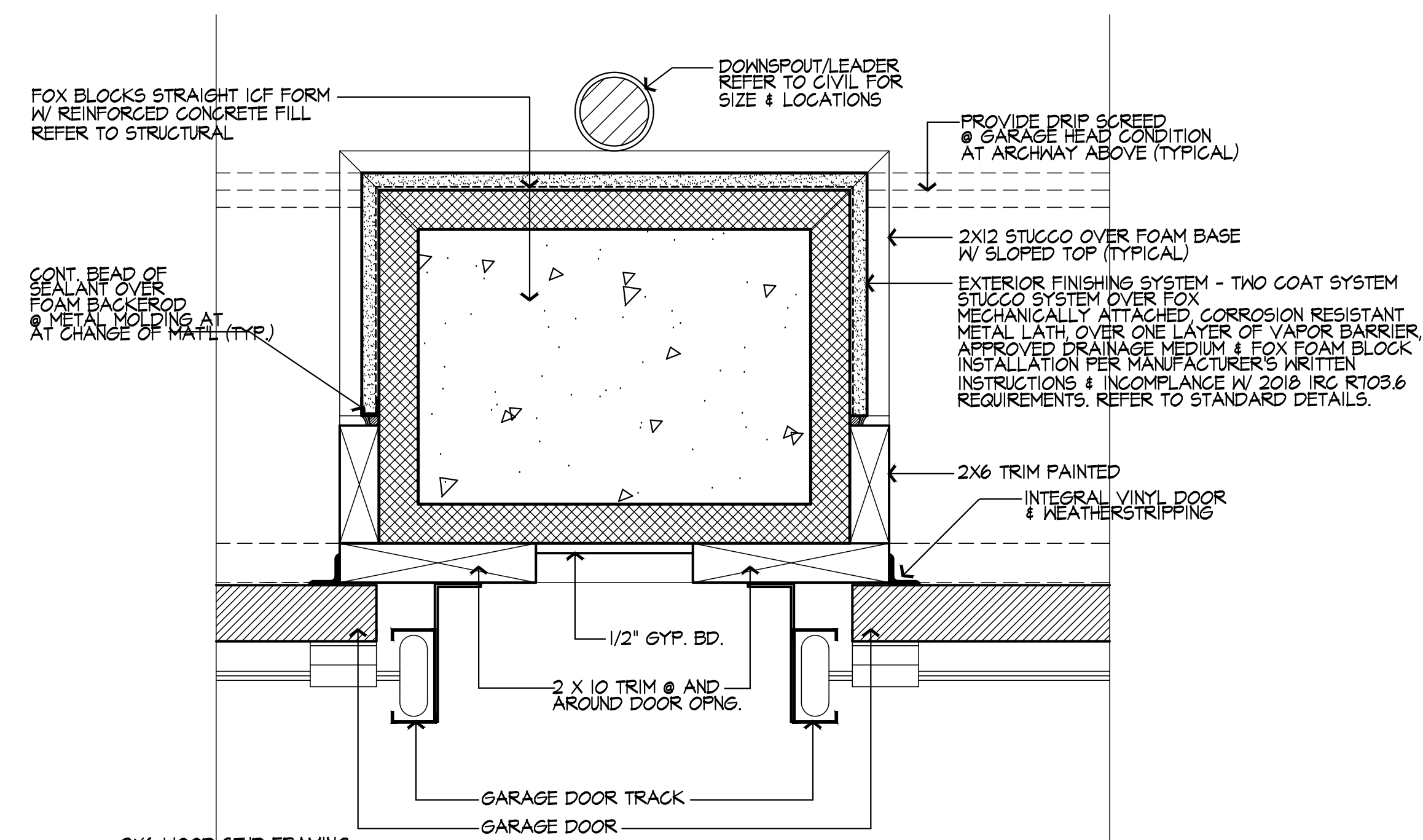




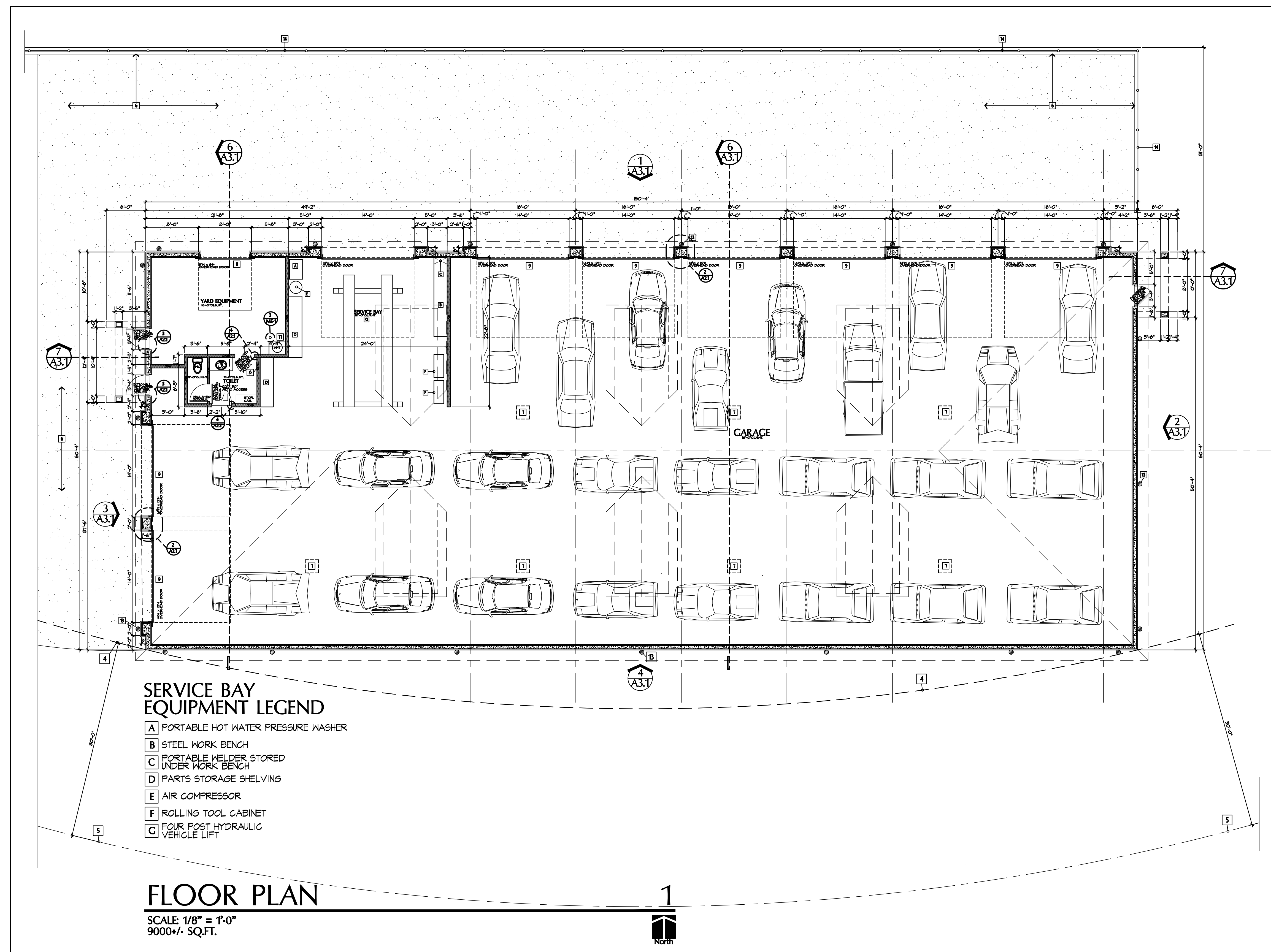
Typ. Jamb @ Exterior Wall 3



Typ. Jamb @ Interior Wall 4



Typ. Jamb @ Garage Door 2
No Scale



GENERAL PLAN NOTES:

- 1 CONVENIENCE OUTLET MOUNTED 2'-0" AFF. FOR NEON SIGNAGE @ 20'-0" O.C. VERIFY W/ OWNER.
- 2 WALL MOUNTED AIR REEL & CONVENIENCE OUTLET. REFER TO DTL. S-10E1.
- 3 FROST PROOF HOSE BID. REFER TO ME-11
- 4 30'-0" BUILDING LINE SETBACK. REFER TO CIVIL.
- 5 PROPERTY LINE. REFER TO CIVIL.
- 6 NEW CONCRETE APRON & RETAINING WALL. REFER TO CIVIL.
- 7 VELUX SUN TUNNELS - SKYLIGHT KIT MODEL TGF (RE: T-A2.2) (PITCHED FLASHING DOME KIT W/ FLEXIBLE TUNNEL).
- 8 BROAN P10 ELECTRIC WALL HEATER. RE: ME-11
- 9 CANYON RIDGE collection ULTRA-GRAIN series BY 'CLOPAY' CONSTRUCTION OVERVIEW 4-LAYER STEEL CARRIAGE-HOUSE GARAGE DOORS WITH A FAUX-WOOD FINISH 2" INTELLIGORE POLYURETHANE INSULATION WITH A THERMAL BREAK. THIS GARAGE DOOR HAS AN U-4 R-VALUE. FEATURES CLOPAY SAFE-T-BRACKET A PATENTED GARAGE DOOR SAFETY FEATURE. MINICODE REINFORCEMENT PRODUCT AVAILABLE FOR HIGH WIND LOAD APPLICATIONS. LEARN MORE ABOUT CANYON RIDGE COLLECTION ULTRA-GRAIN SERIES CONSTRUCTION.
- 10 WALL AREAS ABOVE HAVING INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH IRC SECTION S071.2 OR MAY BE OF OTHER NON-PERMEABLE MATERIALS TO A HEIGHT OF NOT LESS THAN 12-INCHES ABOVE THE TUB OR SHOWER FINISHED FLOOR. IF CERAMIC TILE IS SELECTED, INSTALL PER IRC SECTION T02.4.
- 11 PROVIDE 18" MIN HEIGHT PLATFORM FOR HVAC UNIT, HOT WATER TANK & CIRCULATION SYSTEM IN GARAGE. VERIFY SIZE REQ'TS W/ HVAC & PLUMBING SUB-CONTRACTORS.
- 12 WHERE A GAS-FIRED FORCED-AIR FURNACE OR WATER HEATER IS TO BE INSTALLED IN THE INTERIOR AREA OF A RESIDENCE OR GARAGE, PROVIDE COMBUSTION & VENT HOOD DILUTION AIR IN ACCORDANCE WITH IRC SECTION G2401. PROVIDE TWO-PERMANENT OPENINGS AS NOTED ON PLANS PER IRC G2401.6.1 (304.6.1). REFER TO NOTE # 27 DWG ME-11
- 13 APPROXIMATE LOCATIONS OF ALUMINUM OUTLET & DOWNSPOUTS. REFER TO CIVIL FOR LOCATION OF STORM DRAINAGE LEADERS.
- 14 36-INCH HEIGHT GUARD RAILING SYSTEM. REFER TO CIVIL.



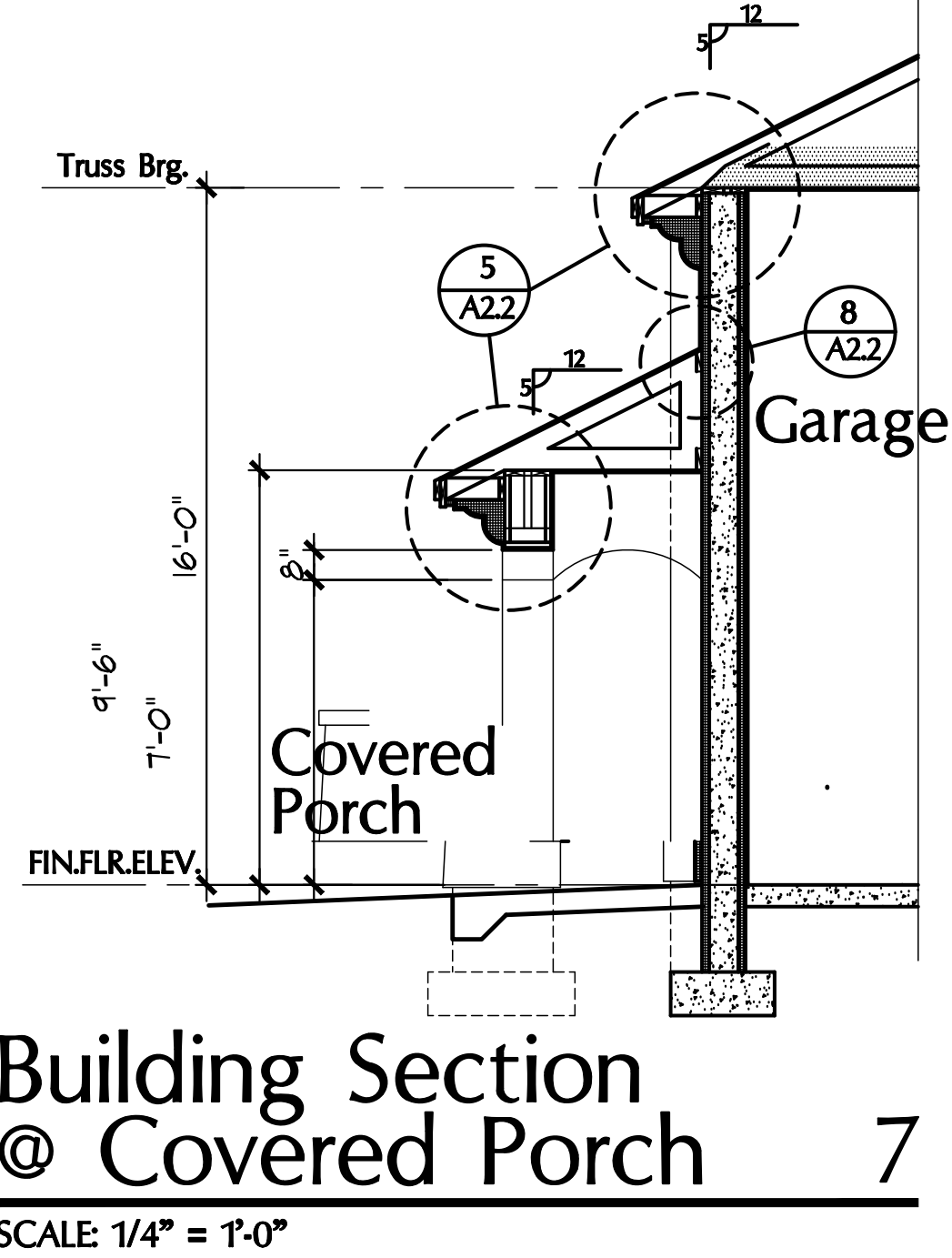
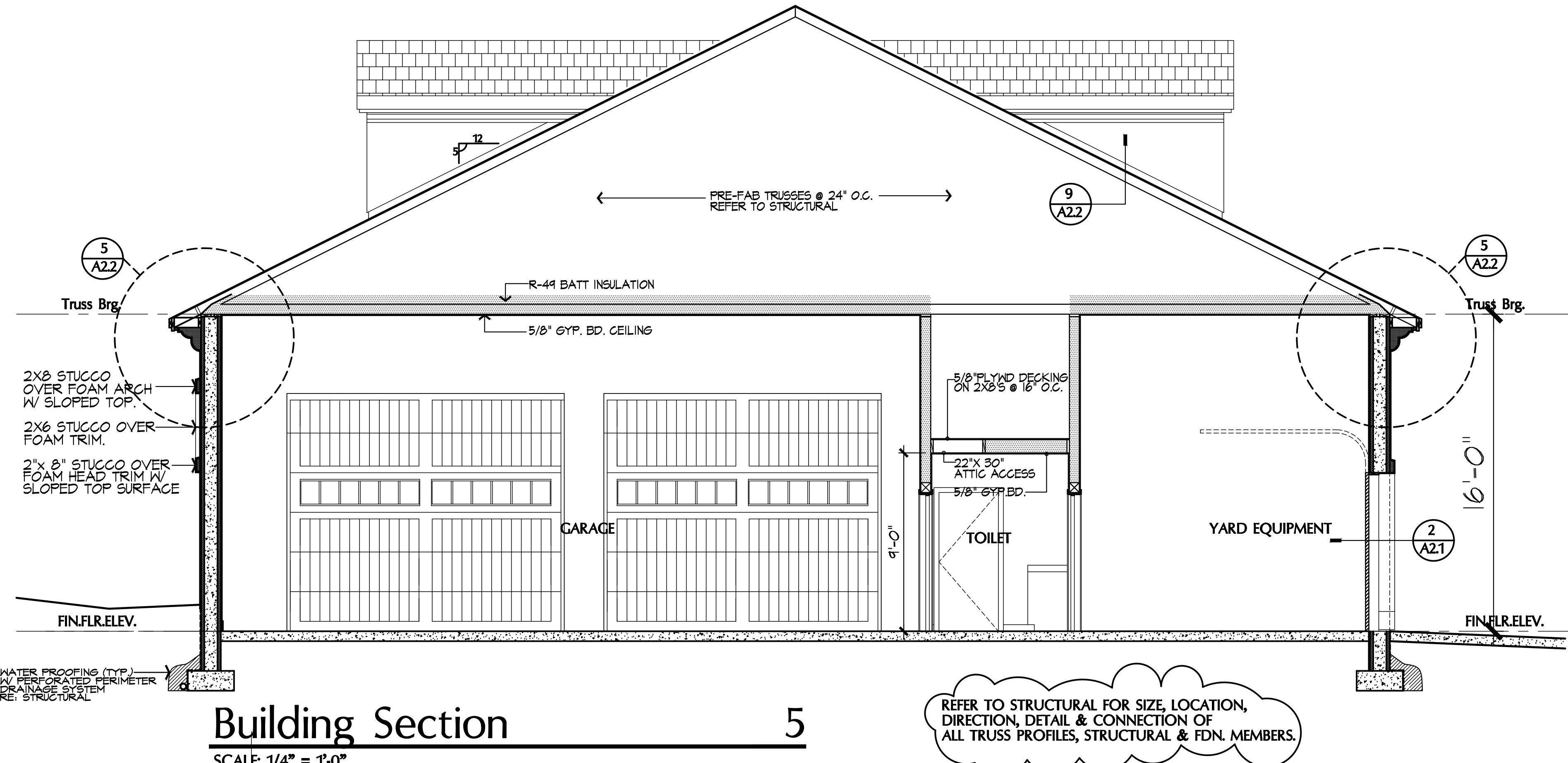
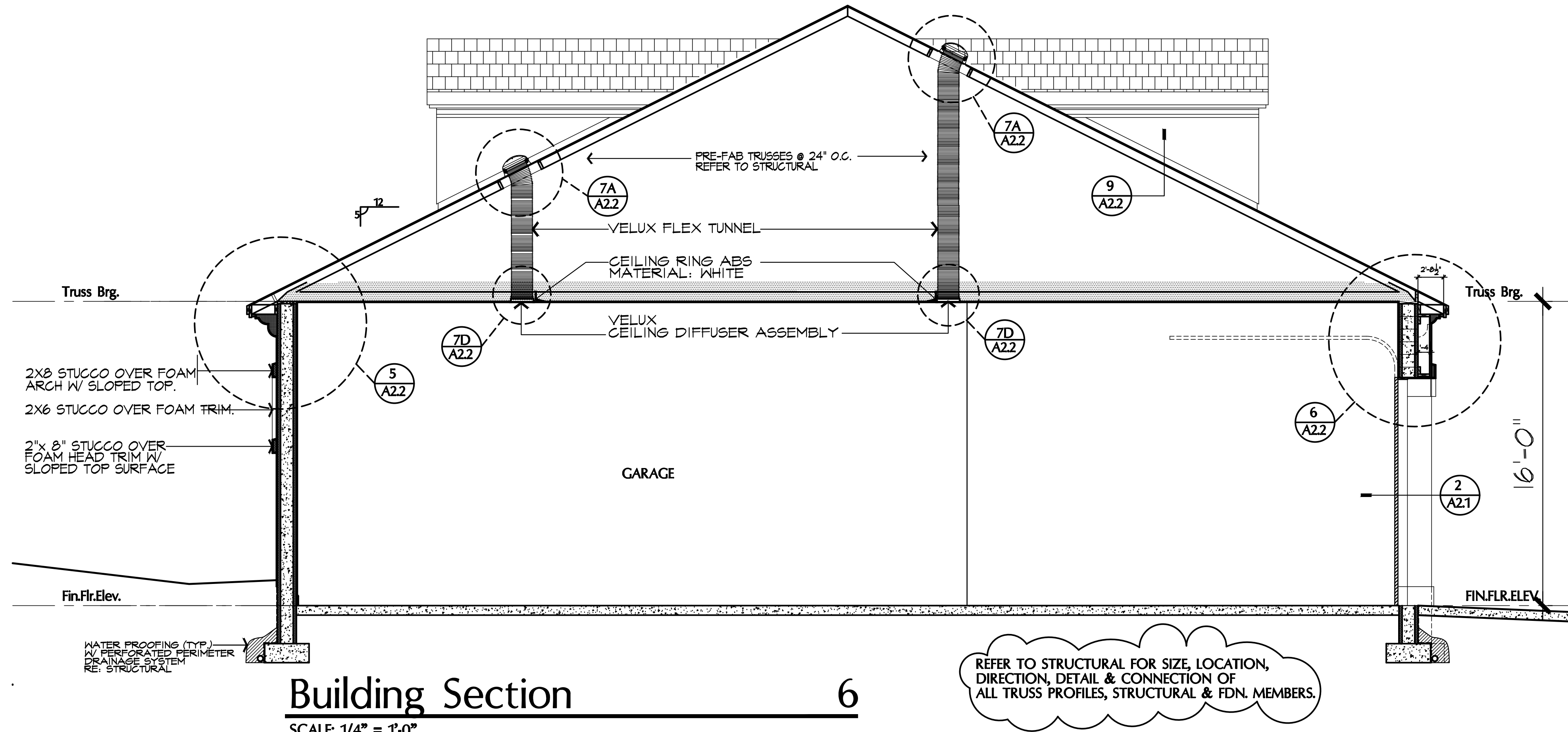
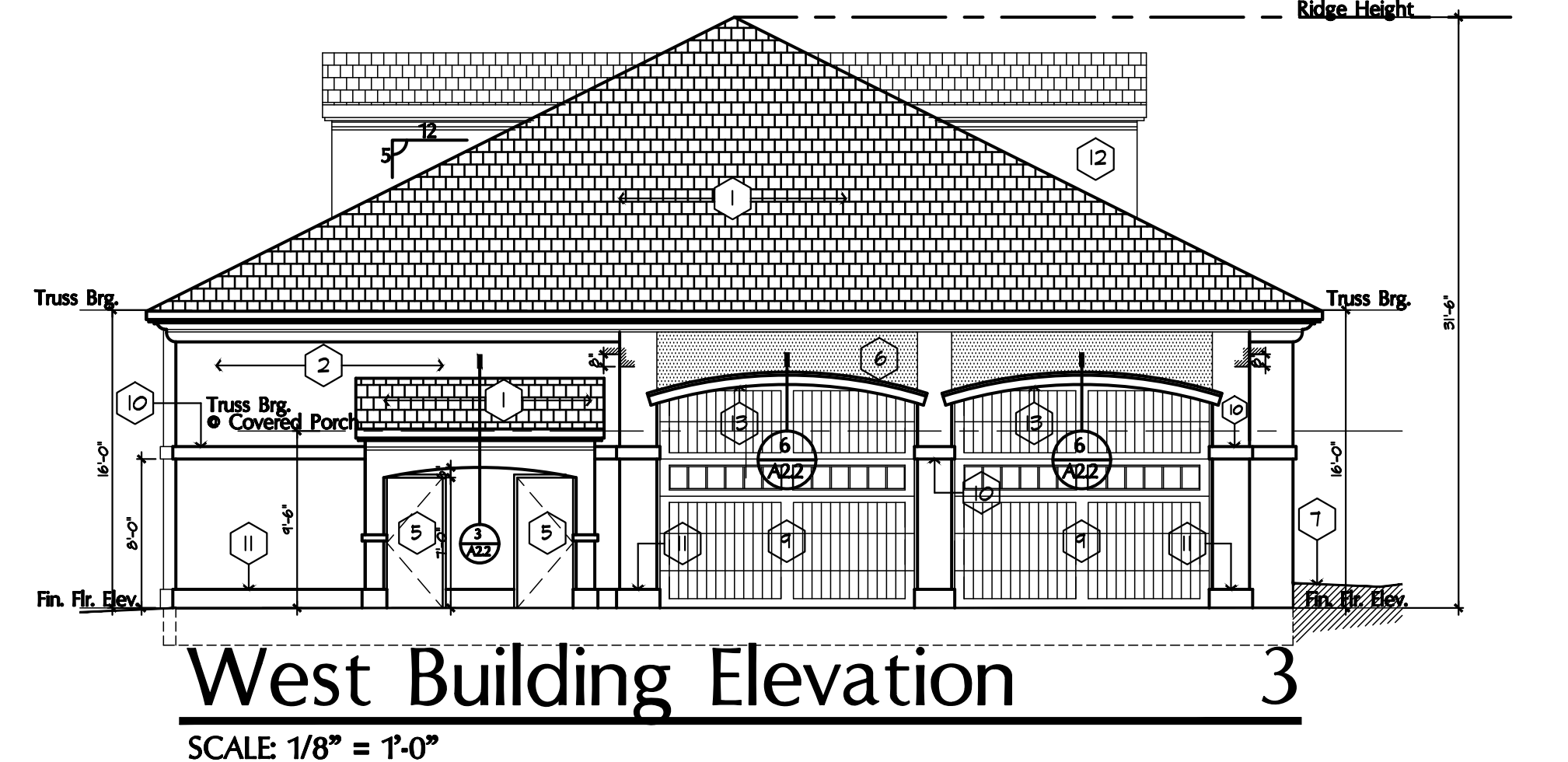
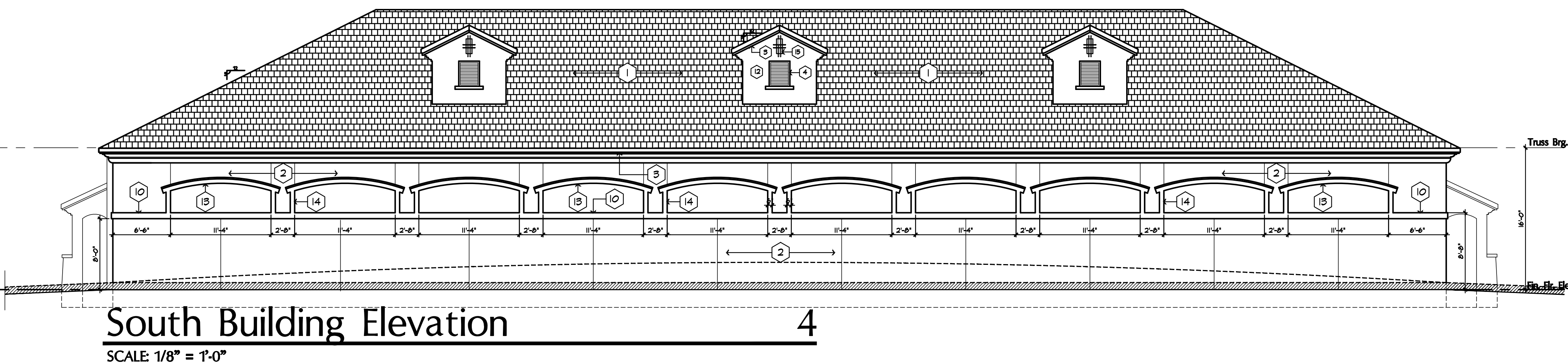
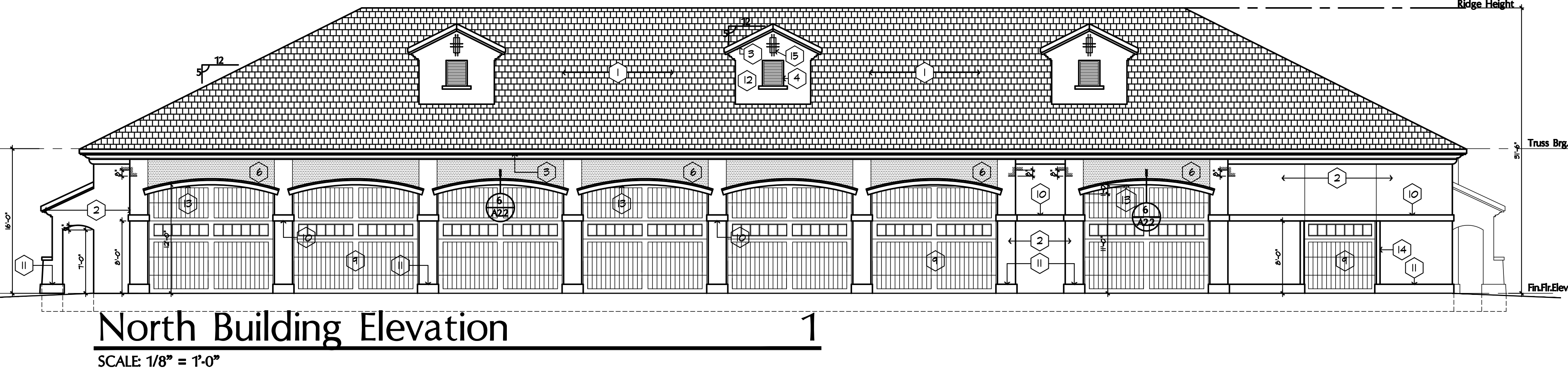
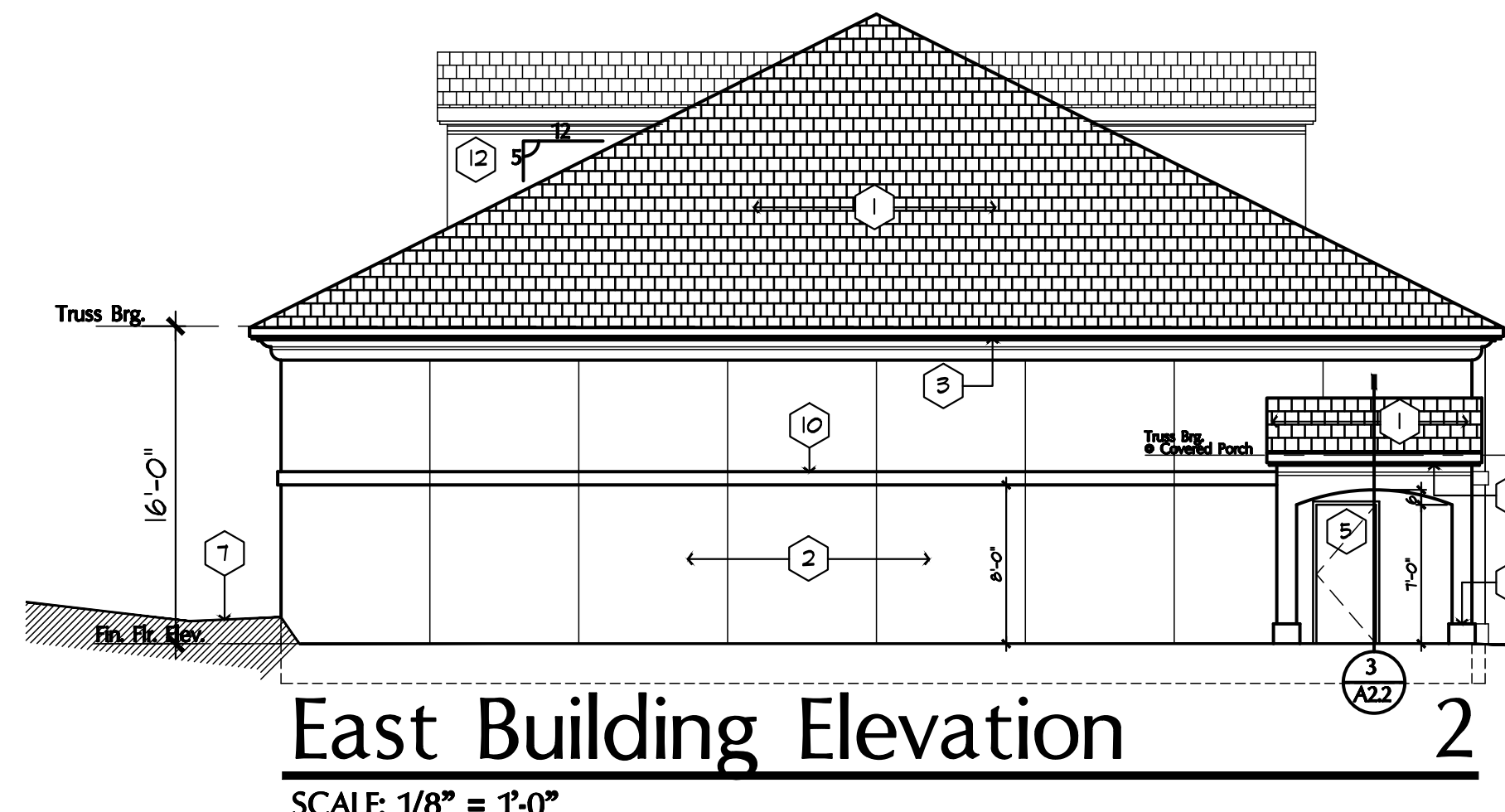
DeMartini Garage

2400 Kenney Lane, Reno, Nevada

	DATE	JULY 9, 2019
	SCALE	AS NOTED
	DESIGNED BY:	JCM
	DRAWN BY:	JCM
	APPROVED BY:	JCM
	PROJECT NUMBER:	KLG2019-01
FLOOR PLAN		
SHEET NUMBER:	A2.1	REVISION:
		0

EXTERIOR FINISHES

- 1 BAR TILE - LEGENDARY COTTAGE SLATE CONCRETE TILE ROOFING OVER ROOFER SELECT ASTM D6751 ROOFING FELT LAYED PERPENDICULAR TO SLOPE OF ROOF & LAPPED 4" MIN. OVER EAVE PROTECTION FOR ICE DAMMING USE GARAGE COMPANY PRODUCT ICE & WATER SHIELD UNDERLAYMENT @ ROOF EDGES, VALLEY RIDGES, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS & PUBLISHED SPECIFICATION
- 2 EXTERIOR FINISHING SYSTEM - TWO COAT SYSTEM STUCCO SYSTEM OVER FOX BLOCK INSULATED FOAM BLOCK SYSTEM W/ CONCRETE FILL. (RE: STRUCTURAL) MECHANICALLY ATTACHED, CORROSION RESISTANT MET LATH OVER ONE LAYER OF VAPOR BARRIER, APPROVED DRAINAGE MEDIUM INSTALLED PER INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS & IN COMPLIANCE W/ 2019 IRC R703.6 REQUIREMENTS REFER TO STD. DETAILS ON SHEET A2.1
- 3 2X6 ON 2X8 FASCIA TYPICAL W/ METAL GUTTERS @ HIP EAVES. REFER TO DETAILS 546-A5
- 4 ALUMINUM SCREENED VENT HAVING 2.5 SF FREE VENT AREA W/ 2X6 STUCCO OVER FOAM SILL
- 5 3" O" X 1/2" INSULATED METAL MAN DOORS PAINTED. W/ POL. METAL DOOR FRAME, WEATHER SEALED.
- 6 2X8 OVER FRAMING BETWEEN CONCRETE PILASTER AT GARAGE DOORS. REFER TO 6-A2.2
- 7 FINISH GRADE. SLOPE AWAY FROM FOUNDATION A MINIMUM OF 5%. REFER TO CIVIL PLANS.
- 8 NOT USED
- 9 CUSTOM METAL GARAGE DOORS - EXT. STAINED FINISH. W/ REFER TO JAMB DETAIL 2-A2.1. CANYON RIDGE COLLECTION ULTRA-GRAIN SERIES BY CLOPAY CONSTRUCTION OVERVIEW 4-LAYER STEEL CARRIAGE-HOUSE GARAGE DOORS WITH A FAUX-WOOD FINISH 2" INTELICORE POLYURETHANE INSULATION WITH A THERMAL BREAK. THIS GARAGE DOOR HAS AN 18.4 R-VALUE. FEATURES CLOPAY SAFE-T-BRACKET, A PATENTED GARAGE DOOR SAFETY FEATURE. WINDCODE REINFORCEMENT PRODUCT AVAILABLE FOR HIGH WIND LOAD APPLICATIONS. LEARN MORE ABOUT CANYON RIDGE COLLECTION ULTRA-GRAIN SERIES CONSTRUCTION. 2 1/2" X 8" STUCCO OVER FOAM HEAD TRIM W/ SLOPED TOP SURFACE & DRIP SCREED.
- 10 2X12 BASE TRIM W/ MITRED EDGES & SLOPED TOP.
- 11 DORMER W/ 24" X 30" ALUM. SCREENED VENT (PAINTED). REFER TO DTLS: 481A2.2, DTL. 2-A2.2 SIM.
- 12 2X8 STUCCO OVER FOAM ARCH W/ SLOPED TOP.
- 13 2X6 STUCCO OVER FOAM TRIM.
- 14 DORMER ELEMENT REFER TO DETAIL 10-A2.2



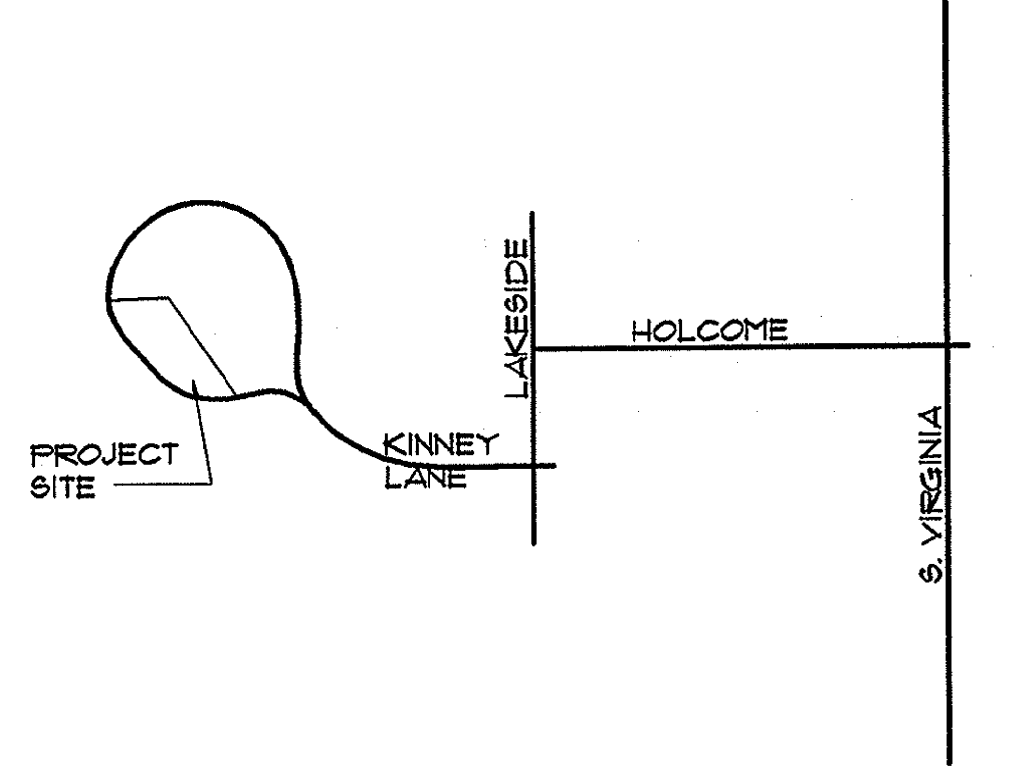
DeMartini Garage

2400 Kenney Lane, Reno, Nevada

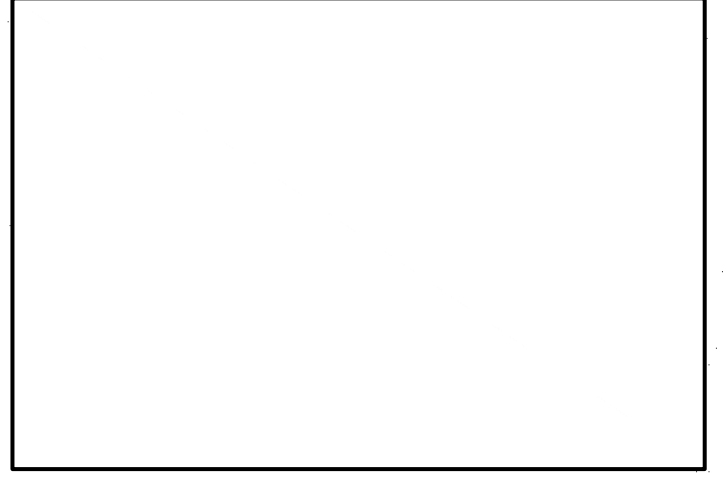
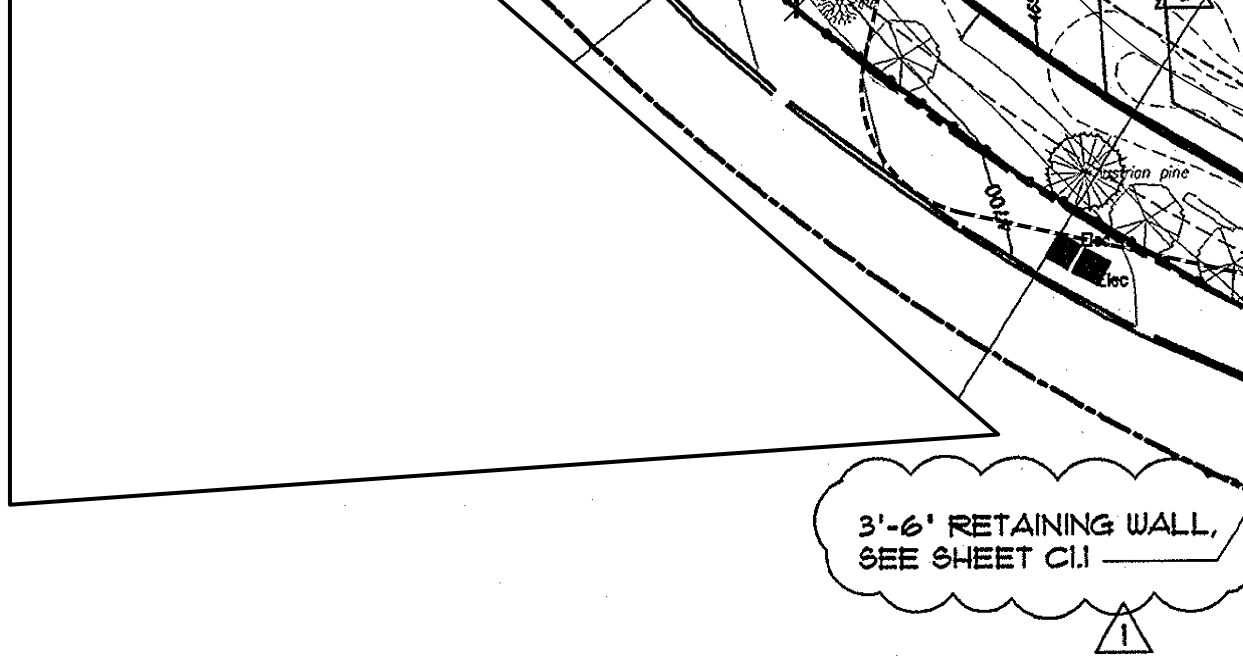
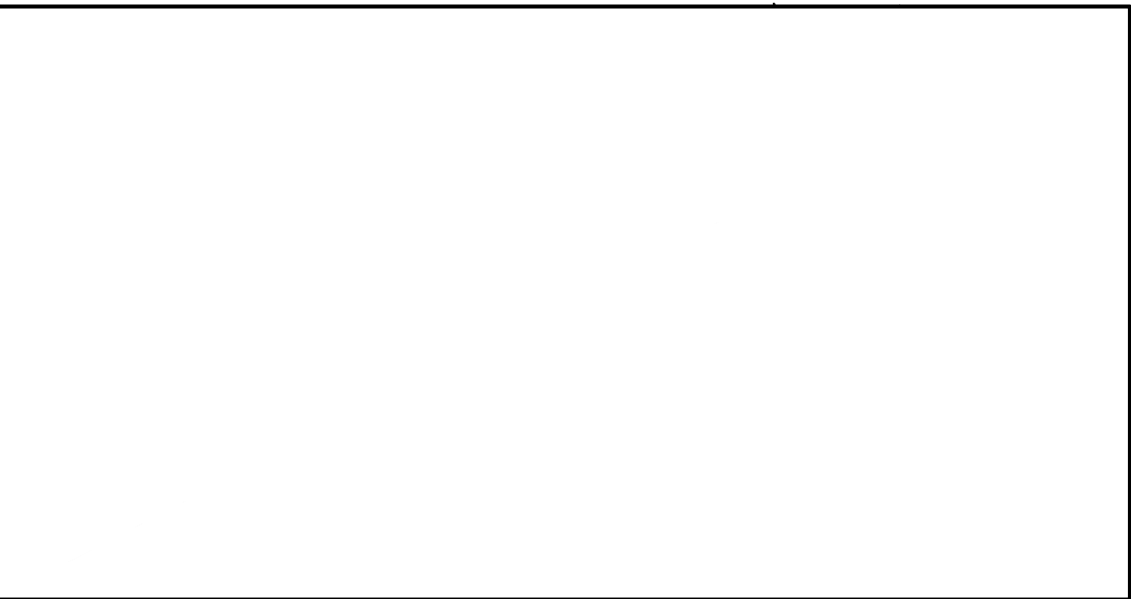
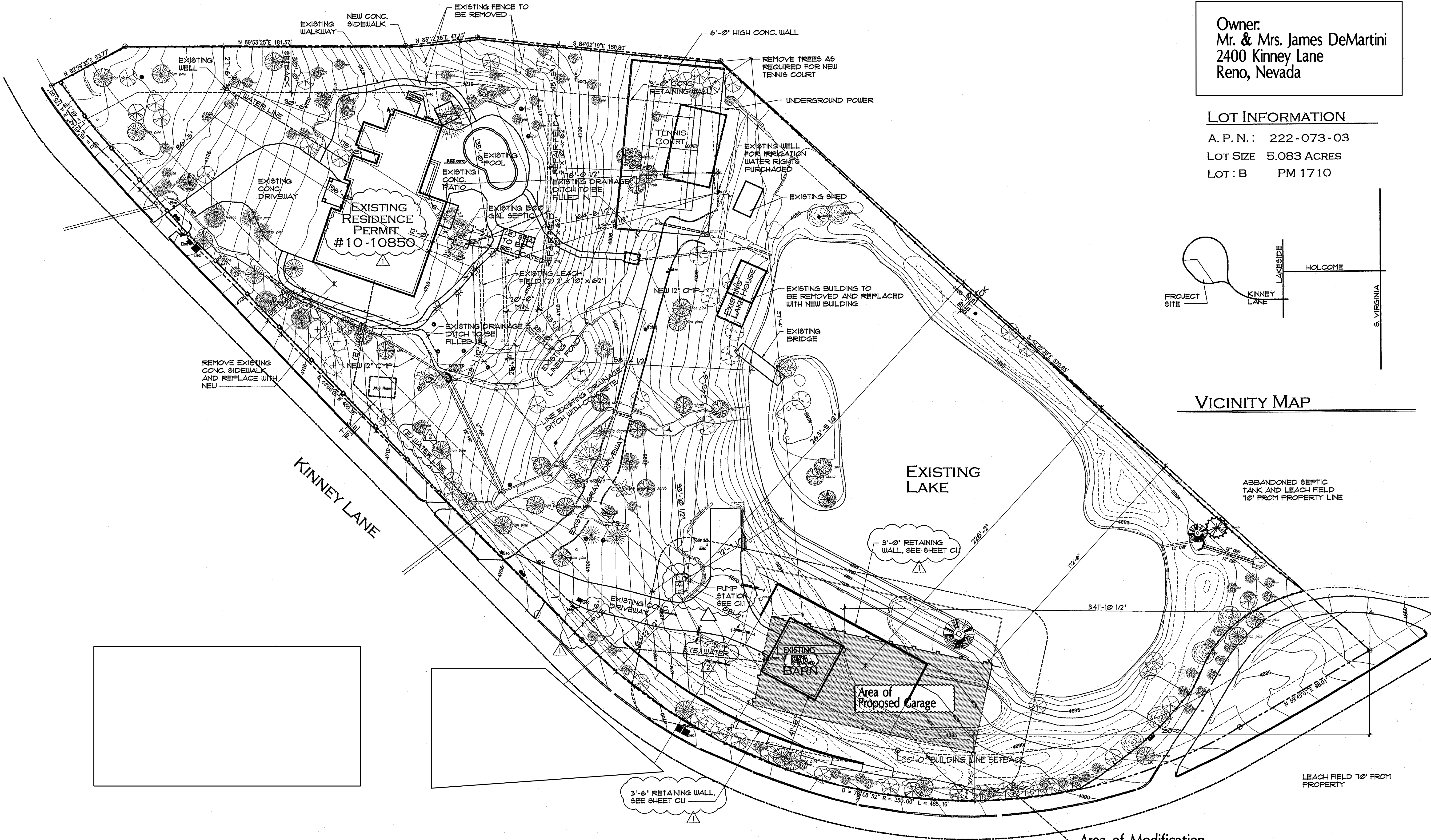
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	SCALE	AS NOTED	
	DESIGNED BY:	JCM	
	DRAWN BY:	JCM	
	APPROVED BY:	JCM	
	PROJECT NUMBER:	KLG2019-01	
	BUILDING ELEVATIONS		
SHEET NUMBER:	A3.1	REVISION:	0

Owner:
Mr. & Mrs. James DeMartini
2400 Kinney Lane
Reno, Nevada

LOT INFORMATION
A. P. N. : 222-073-03
LOT SIZE 5.083 ACRES
LOT : B PM 1710



VICINITY MAP



EXISTING SITE PLAN
(For as Built Information Only)
Refer to Attached Civil Drawings for Modification/Additions

1"=30'-0"

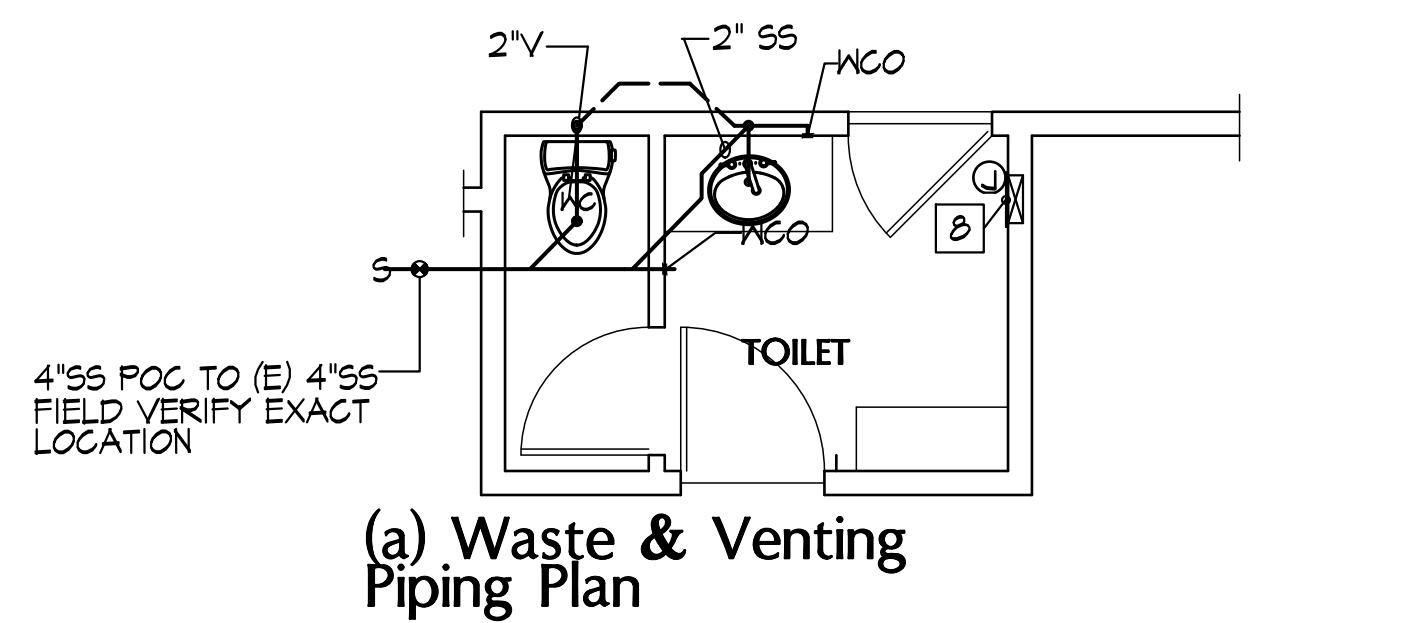
Area of Modification
Refer to Attached Drawings



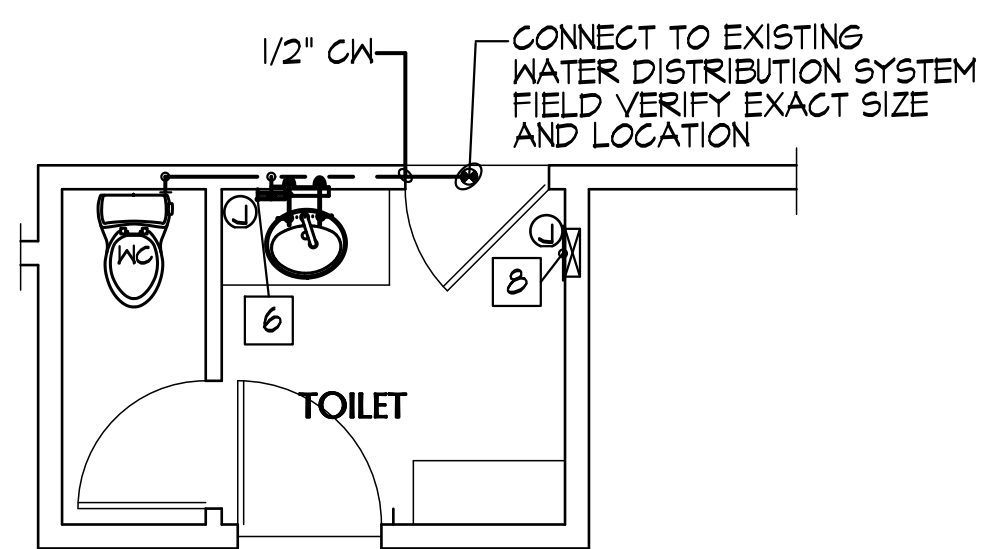
DeMartini Garage

2400 Kenney Lane, Reno, Nevada

DATE:	JULY 9, 2019
SCALE:	3/4" = 1'-0"
DESIGNED BY:	JCM
DRAWN BY:	JCM
APPROVED BY:	JCM
PROJECT NUMBER:	ELC2019-01
EXISTING SITE PLAN	REVISION:
SHEET NUMBER:	A1.1
	0



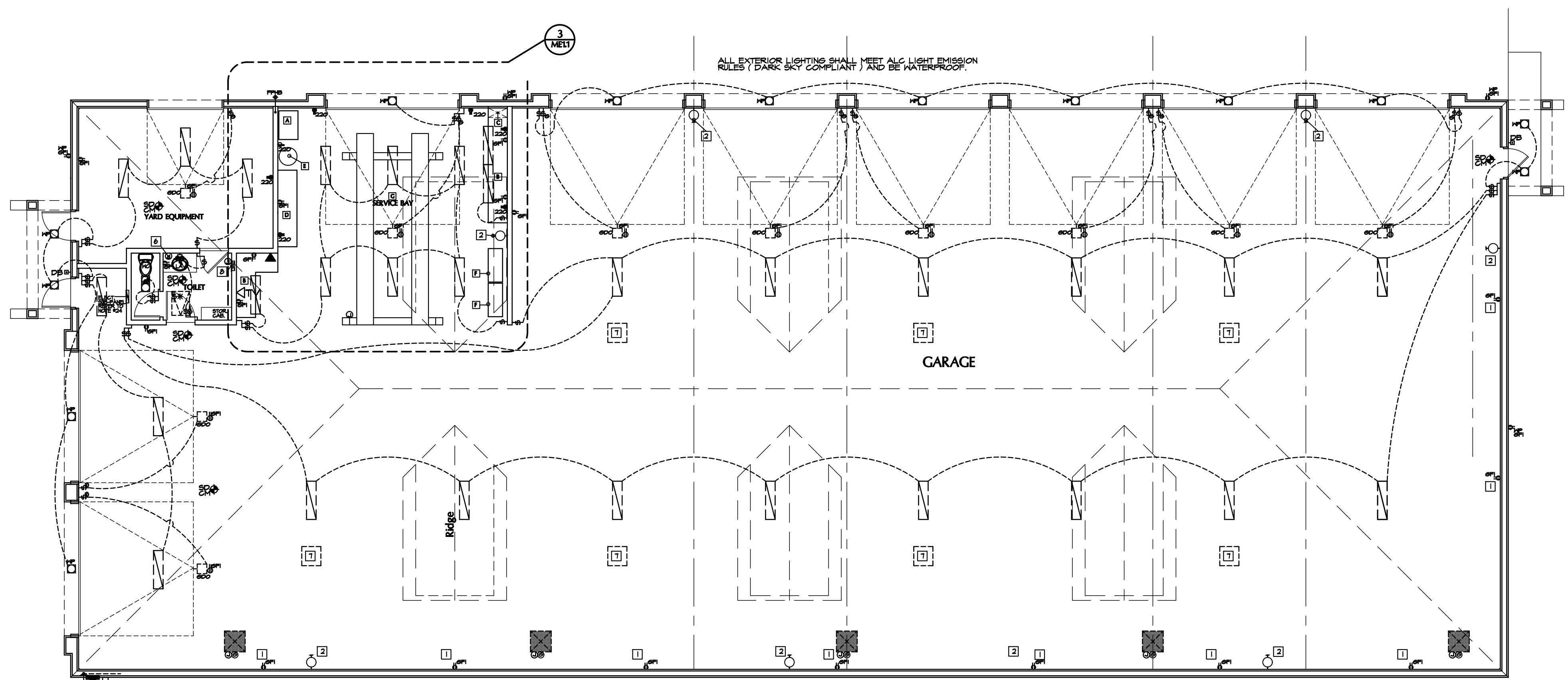
(a) Waste & Venting Piping Plan



(b) Piping Plan Partial Toilet Plumbing Plans
Not to Scale

Electrical Symbols

- RECESSED LIGHT
- ⊕ WATER PROOF RECESSED EXTERIOR LIGHT
- ⊙ WALL FIXTURE
- I X 4 FLUORESCENT FIXTURE
- ⊙ INCANDESCENT LIGHT (CEILING MOUNTED)
- ▶ TELEPHONE (CAT-5)
- TV ▽ CABLE TELEVISION W/ IR66 CABLE & IR66 SATELLITE
- ⊙ EXHAUST FAN PER 2012 IRC M1907
- SD ⊕ SMOKE CARBON MONOXIDE DETECTOR COMBINATION UNIT
- DB ⊕ DOOR CHIMES/INTERCOM SYSTEM
- TS ⊕ THERMOSTAT
- GF ⊕ DUPLEX OUTLET W/ GROUND-FULT PROTECTION PER 2012 IRC 4002.1
- WP/GF ⊕ WATER PROOF GROUND-FULT OUTLET PER 2012 IRC 4002.1 & 4002.2
- ⊕ WATER SUPPLY W/ VALVE
- ⊕ ELECTRIC WALL HEATER BROAN 170
- ⊕ DUPLEX OUTLET
- ⊕ 220 OUTLET
- ⊕ TOGGLE SWITCH REFER TO PLAN TO DETERMINE NO. OF SWITCH LEGS REQUIRED.
- ⊕ GARAGE DOOR SWITCH
- ⊕ VANITY LIGHTS
- ⊕ J-BOX
- ⊕ DISCONNECT
- ⊕ NATURAL GAS
- FF ⊕ HOSE BIB OUTLETS ARE TO BE FIELD PROVIDED
- ⊕ GARAGE DOOR OPENER W/ 220V GFI DUPLEX OUTLET EQUAL TO LIFTMASTER ELITE SERIES
- ⊕ ATTIC ACCESS PROVIDE LIGHT, SWITCH, & PLUG TO ATTIC AREA (IF REQUIRED) 22\"/>



ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"
9000/- SQ.FT.



SERVICE BAY EQUIPMENT LEGEND

- A PORTABLE HOT WATER PRESSURE WASHER
- B STEEL WORK BENCH
- C PORTABLE WELDER STORED UNDER WORK BENCH
- D PARTS STORAGE SHELVING
- E AIR COMPRESSOR
- F ROLLING TOOL CABINET
- G FOUR POST HYDRAULIC VEHICLE LIFT

GENERAL PLAN NOTES:

- 1 CONVENIENCE OUTLET MOUNTED 8'-0" AFF. FOR NEON SIGNAGE @ 20'-0" O.C. VERIFY W/ OWNER
- 2 WALL MOUNTED AIR REEL & CONVENIENCE OUTLET REFER TO DETAIL 2-ME-1
- 3 FROST PROOF HOSE BID.
- 4 30'-0" BUILDING LINE SETBACK. REFER TO CIVIL.
- 5 PROPERTY LINE. REFER TO CIVIL.
- 6 AMERHOT ELECTRIC (10KW) TANKLESS HOT WATER HEATER RE. 3B-ME-1
- 7 VELUX SUN TUNNELS - SKYLIGHT KIT MODEL TGF (RE: T-A2.2) (FITTED FLASHING DOME KIT W/ FLEXIBLE TUNNEL.
- 8 BROAN 170 ELECTRIC WALL HEATER
- 9 REFER TO DETAIL 2-ME-1 FOR HWT PROTECTION.

The Reznor UDAP-45 with

THREE HORIZONTAL LOUVERS.
GENERAL SPECIFICATIONS INFORMATION
PRODUCT LINE UDAP
FUEL TYPE: NATURAL GAS
VENT TYPE: POWER VENT
CONFIGURATION: HORIZONTAL
HEATING CAPACITY: 31000 BTU
MAXIMUM INPUT CAPACITY: 45000 BTU
EFFICIENCY: 83 %
MINIMUM AIR FLOW: 629 CFM
MAXIMUM AIR FLOW: 629 CFM
PRODUCT WEIGHT: 66 POUNDS

REZNOR UDAP-45 GAS FIRED UNIT HEATER IS A 115 VOLT, GAS FIRED UNIT HEATER DESIGNED TO PROVIDE EFFICIENT HEATING. REZNOR UDAP-45 USES A SINGLE BURNER COMBUSTION SYSTEM TO PROVIDE A 31,000 BTU/HR. OUTPUT WITH AN 82-83% THERMAL EFFICIENCY. UDAP-45 PROVIDES A 50-60 F RISE RANGE. UDAP MODELS USE AN INTEGRATED CIRCUIT BOARD WITH DIAGNOSTIC INDICATOR LIGHTS TO CONTROL HEATER OPERATION. EXTERNAL GAS CONNECTION ALLOWS FOR EASY GAS SERVICE CONNECTION. REZNOR UDAP-45 CAN BE SUSPENDED FROM EITHER 2 OR 4 SUSPENSION POINTS OR CEILING MOUNTED WITH AN OPTIONAL HANGER KIT. REZNOR UDAP-45 FEATURES RESIDENTIAL AND COMMERCIAL/INDUSTRIAL CERTIFICATION MULTI-TRY DIRECT SPARK IGNITION WITH 100% LOCKOUT VIBRATION ISOLATED FAN AND VENTER MOTORS 2-PT AND 4-PT SUSPENSION POINTS EXTERNAL GAS CONNECTION

ELECTRICAL DATA VOLTAGE 115 VOLTS
PHASE 1
FREQUENCY 60 Hz
DIMENSIONS:
FLUE CONNECTION SIZE: 4 INCHES
PRIMARY VENT PIPE DIAMETER: 4 INCHES
GAS CONNECTION SIZE: 1/2 INCH
GAS PIPING DIAMETER: 1/2 INCH
PRODUCT HEIGHT: 12 1/8 INCHES
PRODUCT WIDTH: 26 5/8 INCHES
PRODUCT DEPTH: 26 INCHES

Broan 170
Wattage: 1000
Area heated: 150-250 SF.
Amps: 8.3
Voltage: 120
Heat output: 3413 BTUs
Timer: no
Thermostat: yes

Dimensions: 425 x 925 x 121
Other: Automatic shutoff, 14UL Listed, ANSI Certified, can be converted to produce 500 watts at 120 VAC, 750 watts at 208 VAC or 1,000 watts at 240 VAC



Wall Mtd Air Reel 2
Not to Scale
WALL MOUNTED AIR REEL W/ CONVENIENCE OUTLET CONNECTED TO SERVICE BAY AIR COMPRESSOR

Mechanical/Plumbing/Electrical Notes

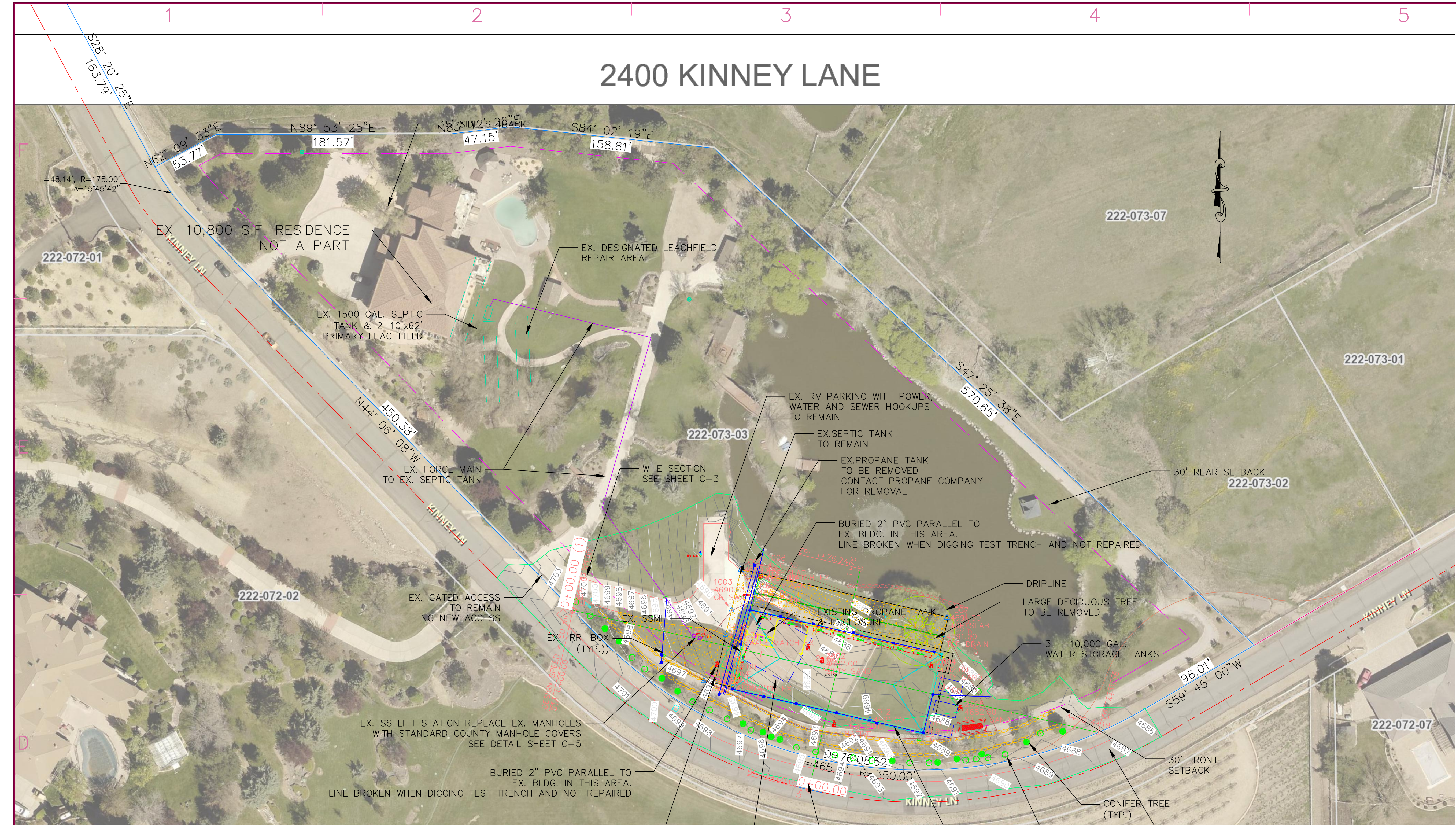
1. PROVIDE SMOKE ALARMS WITH PRIMARY POWER FROM BLDG. WIRING AND SECONDARY POWER FROM BATTERY BACKUP. (2012 IRC R313.3)
2. ALL EXTERIOR LIGHTING SHALL MEET ALC LIGHT EMISSION RULES (DARK SKY COMPLIANT) & SHALL BE WATERPROOF.
3. MECHANICAL VENTILATION SYSTEMS IN BATHTUB OR SHOWER AREAS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE. (2018 IRC R303.3)
4. PROVIDE AN ANTI-SIPHON DEVICE FOR ALL HOSEBIBS - AS REQUIRED PER 2018 IRC-CHAPTER 24.
5. NOT USED
6. NOT USED
7. WATER CLOSETS SHALL BE 1/6 GALLON MAXIMUM SHOWERS AND FAUCETS SHALL NOT EXCEED 2.5 GPM - (2012 IRC P2403.2)
8. PROVIDE A MIN. #4 COPPER GROUNDING ELECTRODE ENCASED IN THE FOOTING - (2012 IRC E3608.1.2)
9. PROVIDE SEISMIC STRAPS FOR THE WATER HEATER - PER 2012 IRC P2801.7 REFER TO DTL. 2-A5.1
10. PROVIDE UFER GROUNDING (SERVICE GROUND) AT MAIN ELECTRICAL SERVICE PANEL WITH THE FOOTING AT THE UFER MUST BE AT LEAST 18" DEEP WITH THE BARS 3" ABOVE THE BASE. BOND WATER PIPES AND ABOVE GROUND METAL GAS PIPING TO THE SERVICE GROUND.
11. NOT USED.
12. ALL ROOMS THAT ARE NOT GFI SHALL HAVE AFCI PROTECTION PER 2018 IRC & 2011 NEC ELECTRICAL REQUIREMENTS. ALL BRANCH CIRCUITS THAT 120-VOLT SINGLE-PHASE 15- & 20-AMPERE OUTLETS INSTALLED IN VARIOUS DESCRIBED ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
13. NOT USED
14. PROVIDE CARBON MONOXIDE DETECTOR REQUIRED AS SHOWN ON PLAN PER 2018 IRC 315.
15. CEILING OUTLET BOXES SHALL BE RATED A MIN. LOAD CAPACITY OF 50# PER 2018 IRC 3405.6.2
16. GROUNDED (NEUTRAL) CONDUCTOR RUN TO LIGHT SWITCH BOXES 2018 IRC 4001.15
17. PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL RECEPTACLES LOCATED UP TO 5'-5" A.F.F. PER 2018 IRC 4002.14.
18. NOT USED.
19. NOT USED.
20. NOT USED.
21. NOT USED.
22. NOT USED.
23. NOT USED.
24. PROVIDE COLD WATER BOND SUB-PANEL TO MAIN SERVICE W/ #8 COPPER WIRE. VERIFY SIZE & LOCATION W/ ELEC. SUB.
25. NOT USED
26. ALL UNDERGROUND NATURAL GAS LINE, CABLE, PHONE, WATER, SEWER AND ELECTRICAL SERVICES SHALL BE INSTALLED PER WASHOE COUNTY AND/OR UTILITY COMPANY REQUIREMENTS.
27. NOT USED.



DeMartini Garage

2400 Kenney Lane, Reno, Nevada

	DATE	JULY 9, 2019
	SCALE	AS NOTED
	DESIGNED BY:	JCM
	DRAWN BY:	JCM
APPROVED BY:	JCM	
PROJECT NUMBER:	KIC2019-01	
ELECTRICAL & MECH PLAN		
SHEET NUMBER:	ME1.1	
REVISION:	0	



1 OVERALL SITE PLAN
1" = 40'

- NOTES:**
- JURISDICTION IS WASHOE COUNTY.
 - ZONING IS HDK.
 - EXISTING DETACHED ACCESSORY BUILDING TO BE REMOVED.
 - FIRE HAZARD ZONE IS MODERATE
 - FEMA FLOOD ZONE IS 'X'
 - FOR NE 1/4 SEC. 34, T. 17 N., R. 19 E., M. D. B. & M.
 - LAT: 39.452966 N, LONG: -119.813364 W
 - AERIAL PHOTO TAKEN FROM WASHOE COUNTY GIS. OBJECT DISTORTION EXISTS DUE TO PARALLAX. PHOTO RECTIFIED TO BOUNDARY. DRAWN OBJECTS BASED ON FIELD SURVEY AND REPRESENT THE TRUE LOCATIONS OF THOSE OBJECTS.
 - ASSUMED BEARING CAPACITY OF NATIVE SOIL IS 2,000 P.S.F.

KINNEY LANE FIRE RATING

2012 International Wildland Urban Interface Code (IWUIC)

Fire Hazzard Zone = Moderate [WC GIS]

Water Supply:
 1. Distance to existing standpipe = 92 feet < 1000 [IWUIC 404.2]
 2. Existing one-acre pond has sufficient capacity [IWUIC 404.5]

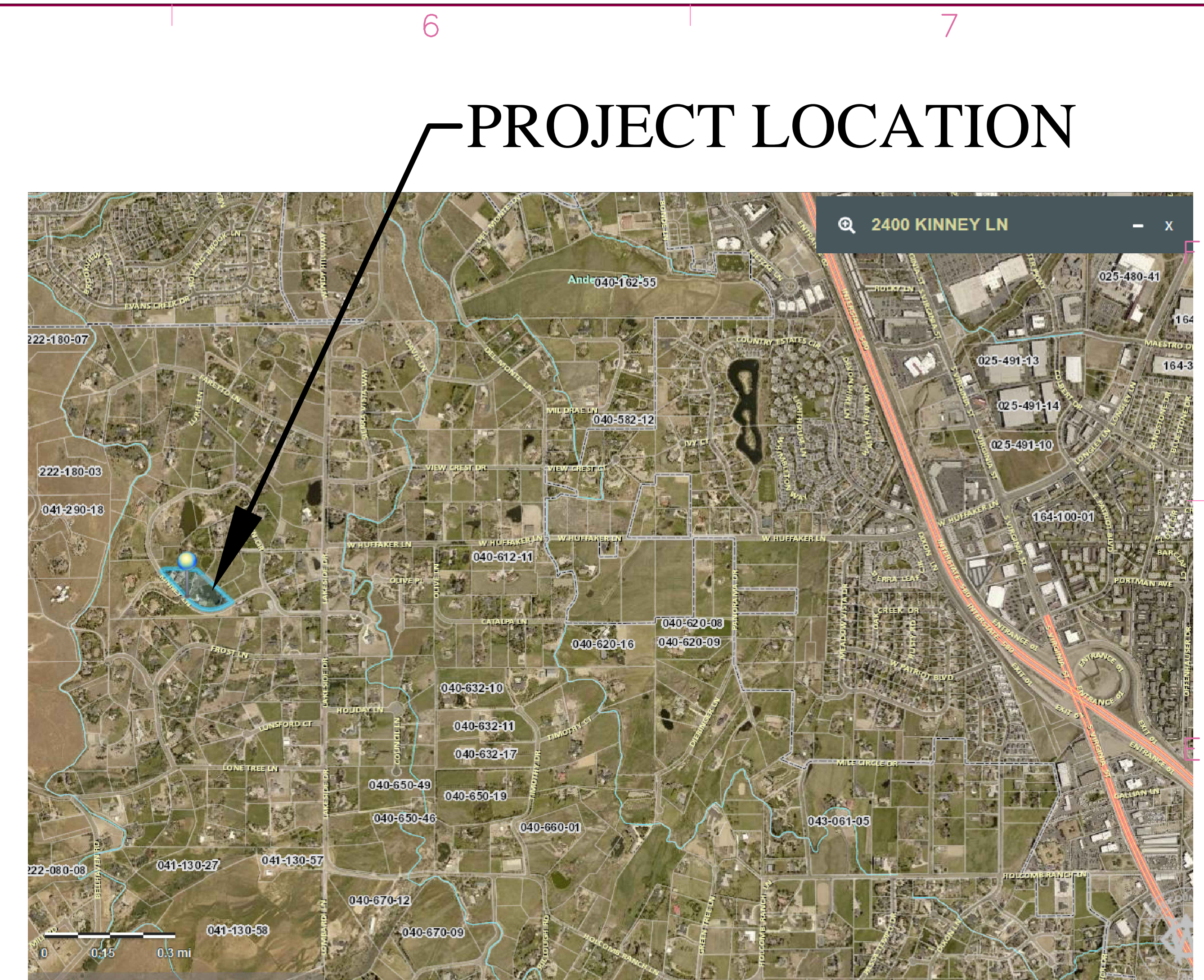
Therefore, conforming

Defensible Space:
 1. Required Defensible Space = 30 feet [IWUIC Tbl. 603.2]
 2. Distance to nearest tree crown = 24 feet > 10 feet [IWUIC 603.2.2]
 3. Least distance between adjacent tree crowns = 7 feet < 10 feet [IWUIC 603.2.2]

Therefore, non-conforming

Per IWUIC Table 503.1, IR-2 construction required.

SECTION 505 CLASS 2 IGNITION-RESISTANT CONSTRUCTION
505.1 General. Class 2 ignition-resistant construction shall be in accordance with Sections 505.2 through 505.1.1.
505.2 Roof covering. Roofs shall have at least a Class B roof assembly or an approved noncombustible roof covering. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be firestopped to preclude entry of flames or embers, or have one layer of 72-pound (32.4 kg) mineral-surfaced, non-perforated cap sheet complying with ASTM D 3909 installed over the combustible decking.
505.2.1 Roof valleys. When provided, valley flashings shall be not less than 0.019 inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 3/8-inch-wide (9.5 mm) underlayment consisting of one layer of 72-pound (32.4 kg) mineral-surfaced, non-perforated cap sheet complying with ASTM D 3909 running the full length of the valley.
505.3 Protection of eaves. Combustible eaves, fascias and soffits shall be enclosed with solid materials with a minimum



2 VICINITY MAP
N. T. S.

- GRADING NOTES:**
- CONTOURS OF EXISTING TOPOGRAPHY SHOWN ON THE DRAWINGS HAVE BEEN DETERMINED BY FIELD MEASUREMENT OR PHOTOGRAMMETRIC METHODS. ACCURACY IS GOVERNED BY THE LIMITATIONS ASSOCIATED WITH THESE METHODS.
 - THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH SECTION 040.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
 - ALL EXISTING AND NEW UTILITIES SUCH AS MANHOLES, DRAIN INLETS, WATER VALVE BOXES, SEWER CLEANOUTS, AND UTILITY BOXES SHALL BE ADJUSTED FLUSH WITH FINISH GRADE UNLESS OTHERWISE NOTED. POWER POLES SHALL BE ADJUSTED AS REQUIRED BY THE UTILITIES. TRAFFIC RATED COVERS SHALL BE PROVIDED FOR ALL NEW AND GRADE ADJUSTED UTILITIES IN ALL PAVED AREAS.
 - THE CONTRACTOR SHALL PROVIDE FOR TEMPORARY STORM DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE OR PUBLIC STORM DRAINAGE SYSTEM. NATURAL VEGETATION SHALL BE MAINTAINED, WHERE POSSIBLE, FOR SILT CONTROL. CONSTRUCTION PROCEDURES SHALL BE PROVIDED TO ELIMINATE EXCESSIVE EROSION OR PONDING AND TO PROTECT ADJACENT IMPROVEMENTS AND OFF-SITE AREAS FROM AN INFILUX OF STORM WATER.
 - THE CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN AND SHALL BE RESPONSIBLE FOR ELIMINATING ALL LOW SPOTS OR PONDING AREAS IN THE PERFORMANCE OF THIS GRADING.
 - A GEOTECHNICAL INVESTIGATION REPORT FOR THE PROJECT HAS BEEN PREPARED BY NORTECH GEOTECHNICAL CONSULTANTS. CONTACT NORTECH AT 775-852-7475 TO OBTAIN A COPY. SLAB REPORT RECOMMENDS OVER EXCAVATION UNDER THE NEW STRUCTURE. APPROXIMATE LIMITS OF OVER EXCAVATION ARE SHOWN ON THE SECTIONS ON SHEET C-3. ASSUMPTIONS FOR ON-SITE SOILS ARE NOTED ON THESE PLANS. IF DIFFERENT CONDITIONS ARE ENCOUNTERED, CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR SHALL MAINTAIN AN ONGOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
 - ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED BY THE APPLICATION OF A DUST PALLIATIVE.
 - LAND GRADING SHALL BE ACCOMPLISHED USING METHOD THAT WILL PREVENT DUST FROM MIGRATING BEYOND THE PROPERTY LINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION AND SHORING PROCEDURES.
 - THE PAVEMENT SURFACE WHEN COMPLETED, SHALL BE SMOOTH, DENSE, WELL BONDED, AND OF UNIFORM TEXTURE AND APPEARANCE. ALL AREAS SHALL DRAIN AND BE FREE OF STANDING WATER.
 - SEE ARCHITECTURAL PLANS FOR EXPANSION JOINT DETAILS AND CONCRETE FINISH REQUIREMENTS.
 - FINISH GRADE (FG) REFERS TO THE FINAL CONSTRUCTED ELEVATION DESIRED FOR THE SPECIFIC POINT REFERENCED (CONCRETE, AC, LANDSCAPING, ETC.).
 - NO FILL MATERIAL SHALL BE PLACED, SPREAD OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS. DURING PERIODS OF UNFAVORABLE CONDITIONS, NORTECH MAY DIRECT THAT THE SURFACE BE SEALED BY ROLLING WITH A SMOOTH WHEELED ROLLER TO HELP PREVENT EXCESSIVE MOISTURE FROM ENTERING OR LEAVING THE FILL. WHEN THE WORK IS INTERRUPTED BY RAINS, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL THE FIELD DENSITY TESTS BY NORTECH INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE PREVIOUSLY PLACED FILL ARE SATISFACTORY.
 - FROZEN FILL MATERIALS SHALL NOT BE USED, NOR SHALL FILL, BASE, OR ASPHALT PAVEMENT BE PLACED ON FROZEN GROUND.
 - ALL PROJECT ENTRANCES SHALL BE STABILIZED WITH DRAIN ROCK PRIOR TO GRADING OPERATIONS IN ORDER TO MINIMIZE THE TRANSPORT OF SEDIMENT. IS A SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION SITE PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CONSULTANTS

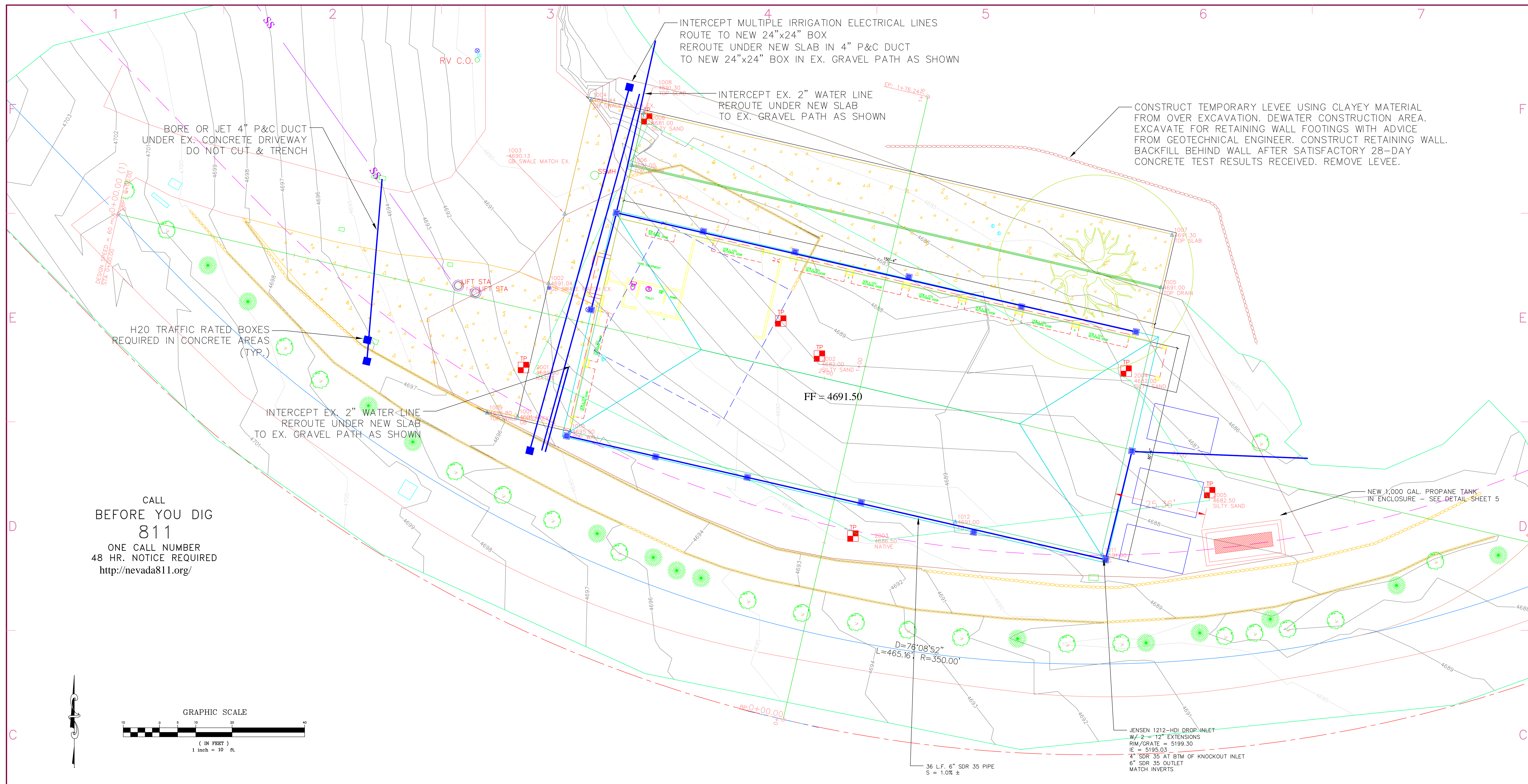
OC ENGINEERING
 P. O. BOX 10307
 RENO, NEVADA 89510
 775-851-7335
 E-MAIL: OEN@OCENG.COM
 RENO OFFICE: 10985 DRYDEN DRIVE

OWNER

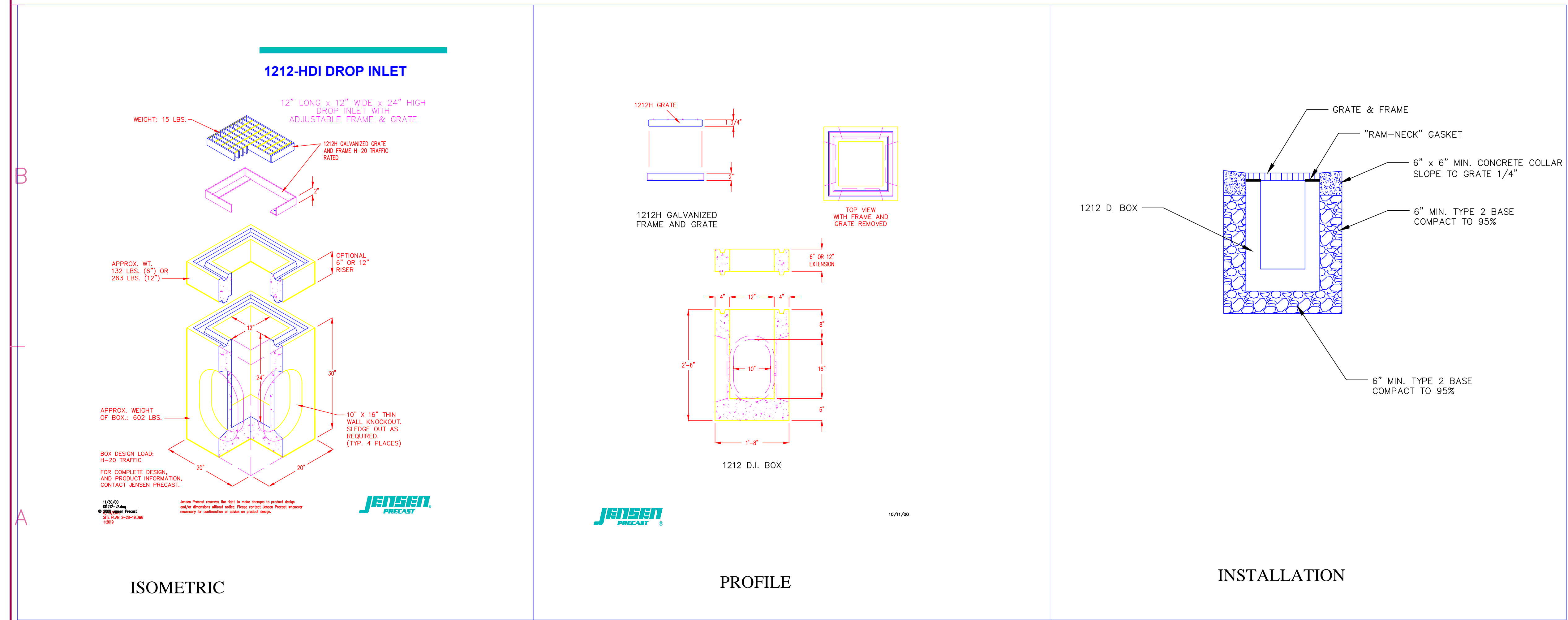
DEMARTINI GARAGE

SITE PLAN FOR DEMARTINI GARAGE
 2400 KINNEY LANE, RENO, NEVADA 89511
 A. P. N. 22-073-03

MARK	DATE	DESCRIPTION
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C-1 ENTIRE PARCEL		
C-1 OF -		



1 DETAILED SITE PLAN 1" = 10'



2 JENSEN 1212 HDI DROP INLET N.T.S.

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775-851-7335
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DEMARTINI GARAGE

NEW 1,000 GAL. PROPANE TANK
IN ENCLOSURE - SEE DETAIL SHEET 5

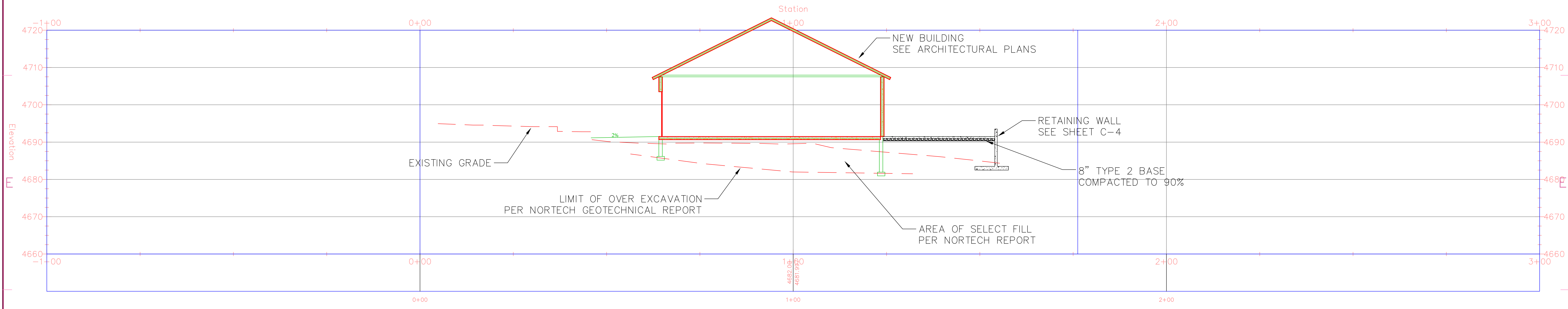
SITE PLAN
FOR
DEMARTINI GARAGE
2400 KINNEY LANE, RENO, NEVADA 89511
A. P. N. 222-073-03

MARK	DATE	DESCRIPTION

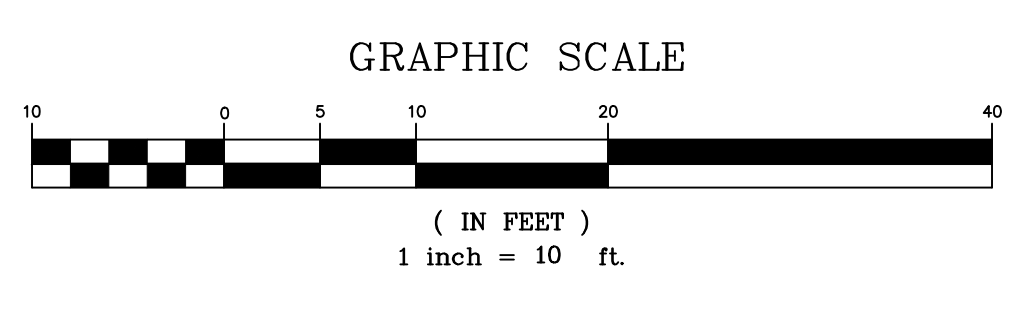
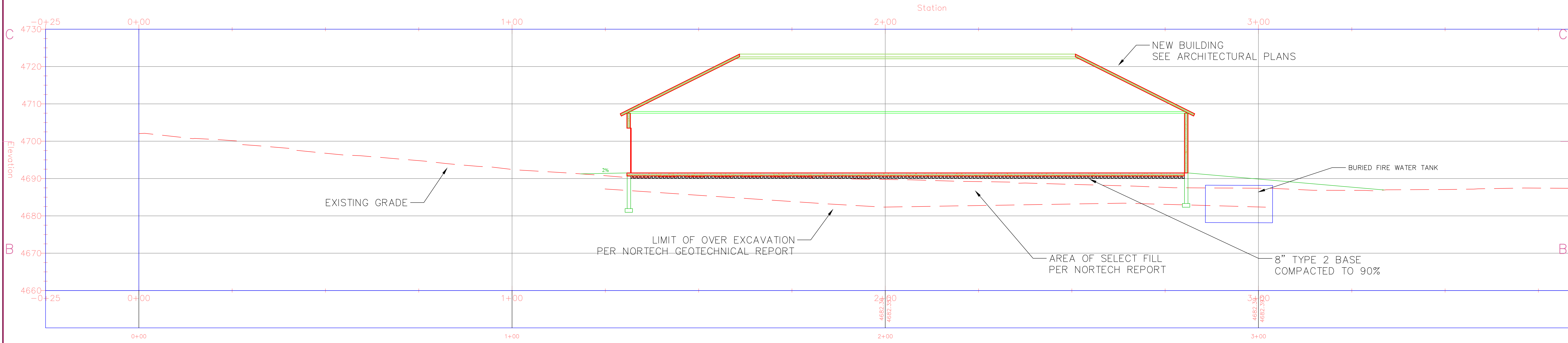
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SHEET	C-2 OF -

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NS SECTION PROFILE



W-E SECTION PROFILE



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DEMARTINI GARAGE

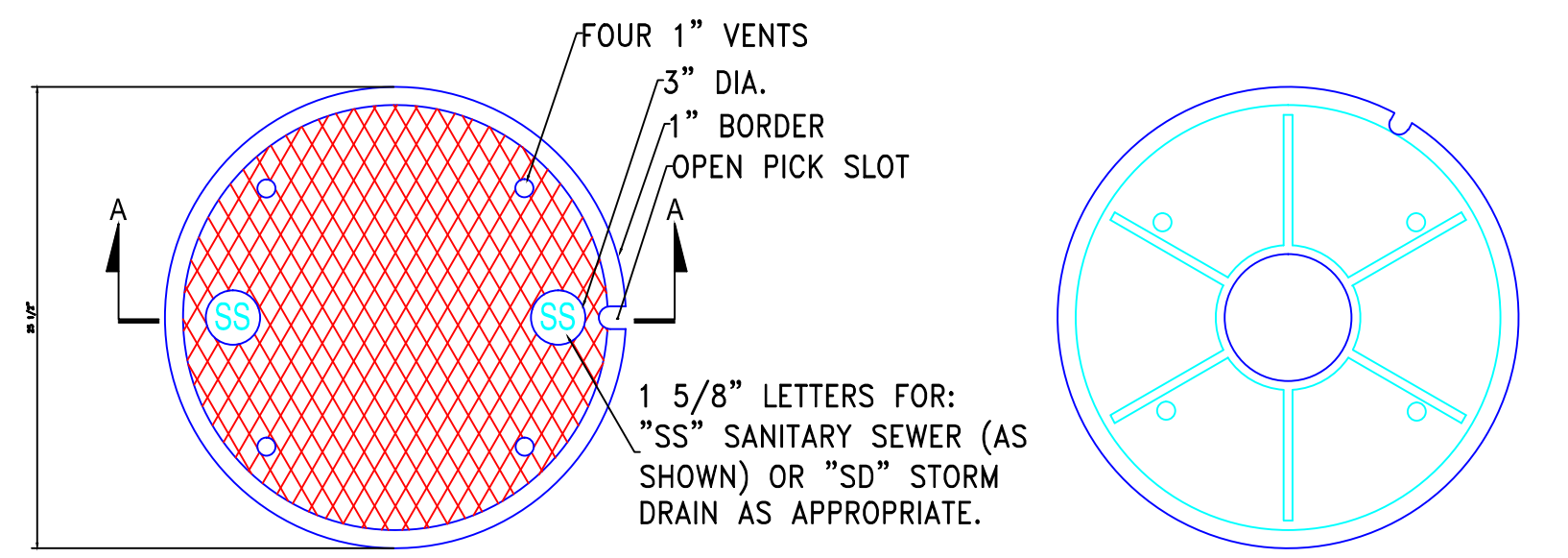
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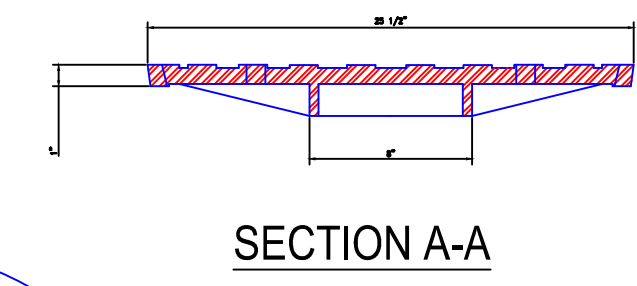
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C-3 - SECTIONS

SHEET - OF -

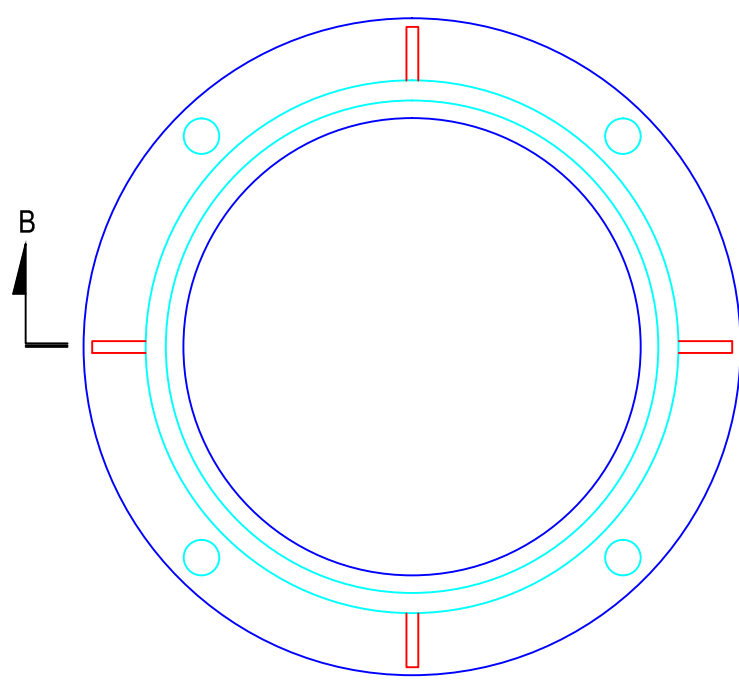


24" COVER PLAN - TOP

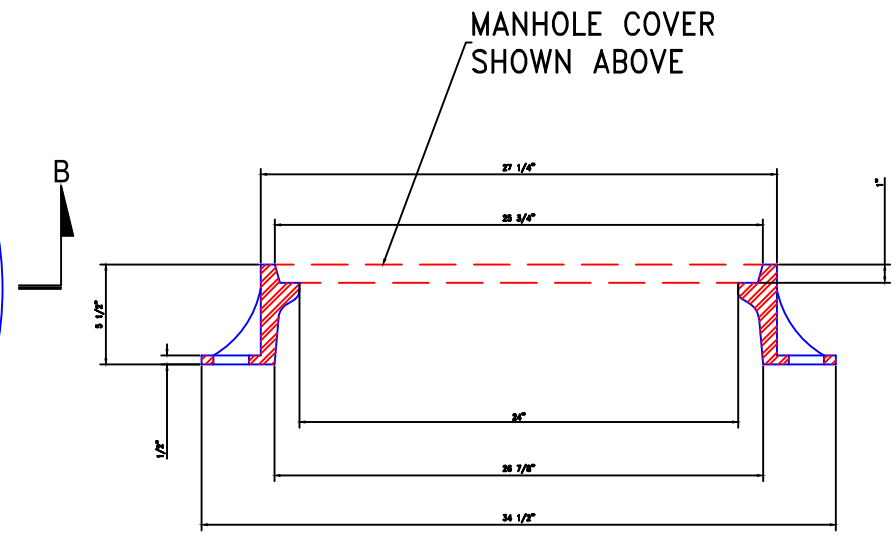
24" COVER PLAN - BOTTOM



SECTION A-A

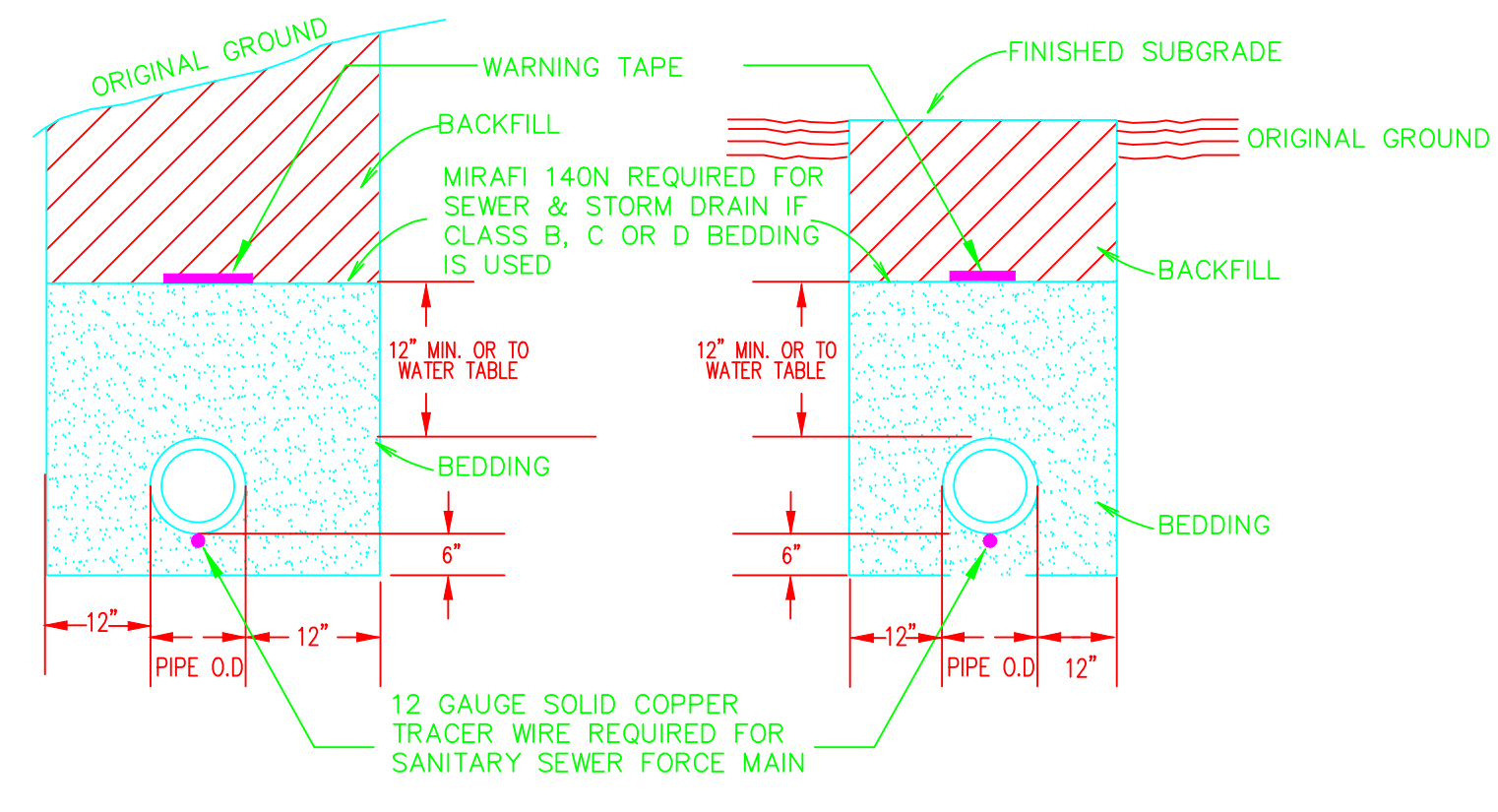


24" MANHOLE FRAME

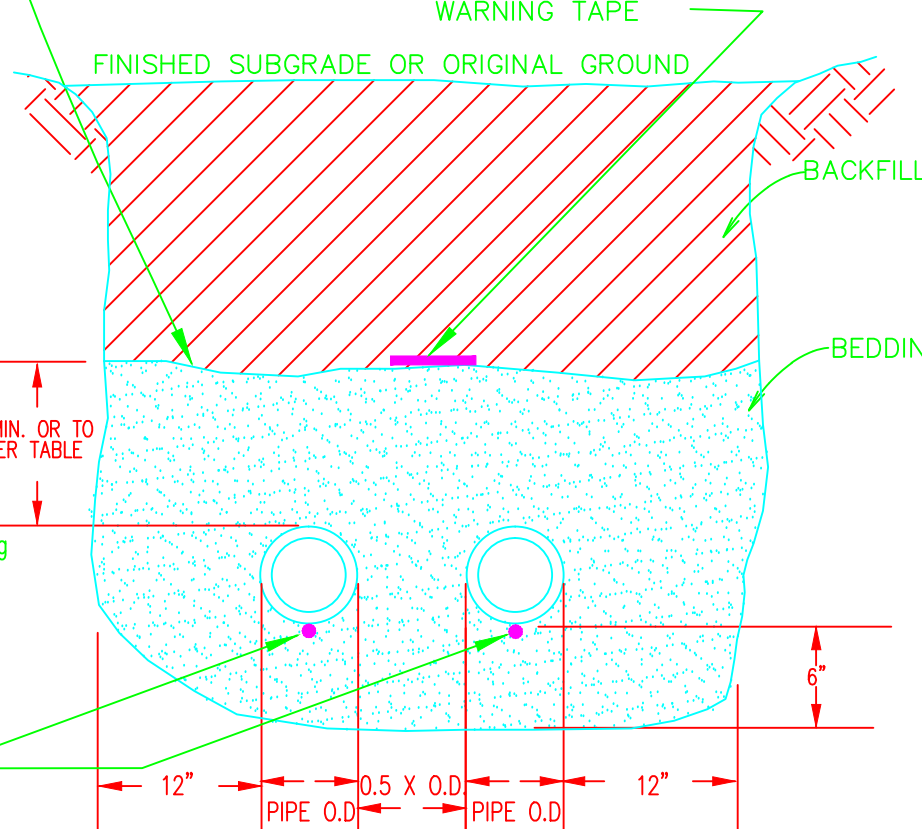


SECTION B-B

- 24" FRAME AND COVER NOTES:
1. FRAME AND COVERS SHALL BE D&L FOUNDRY A1032 OR APPROVED EQUAL. PRIVATE FACILITIES SHALL NOT HAVE THE GOVERNMENT LOGOS ON THE LIDS. THEY SHALL ONLY HAVE THE LETTERS INDICATING "SS" OR "SD".
 2. FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACE.
 3. CASTINGS SHALL BE CAST GRAY IRON AND MEET THE REQUIREMENTS OF ASTM A-48, CLASS 35B, NO PAINT.



- NOTES:
1. Water desalted backfill and tunneling shall be by special provision only.
 2. Backfill shall meet the requirements for class "C" backfill in 12" (max.) lifts to minimum 90% of maximum dry density.
 3. Bedding material shall meet requirements for class "A" backfill as shown in sub-section 200.03.02 of standard specified by the agency and shall be compacted to at least 90% of maximum dry density.
 4. For the purpose of payment, excavation and backfill quantities are based on these standard drawings, and no additional compensation will be made. Shoring or shored cuts may be necessary, but there will be additional payment. All excavations shall conform to the latest O.S.H.A. - requirements.
 5. For trenches in roadway section, see Trench Patch Details (W.2.2).
 6. Clay plugs shall be installed if class B, C or D bedding is used for sanitary sewer.
 7. For pipes 36" dia. or larger, dimension from outside edge of pipe to trench wall shall be 15".



1 MANHOLE COVER DETAIL
N. T. S.

2 TRENCHING DETAIL
N. T. S.

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DEMARTINI GARAGE

OWNER

SITE PLAN
FOR
DEMARTINI GARAGE
2400 KINNEY LANE, RENO, NEVADA 89511
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C-5 - DETAILS

SHEET C-5 OF -