

Washoe County Board of Adjustment



**COMMUNITY
SERVICES DEPARTMENT**

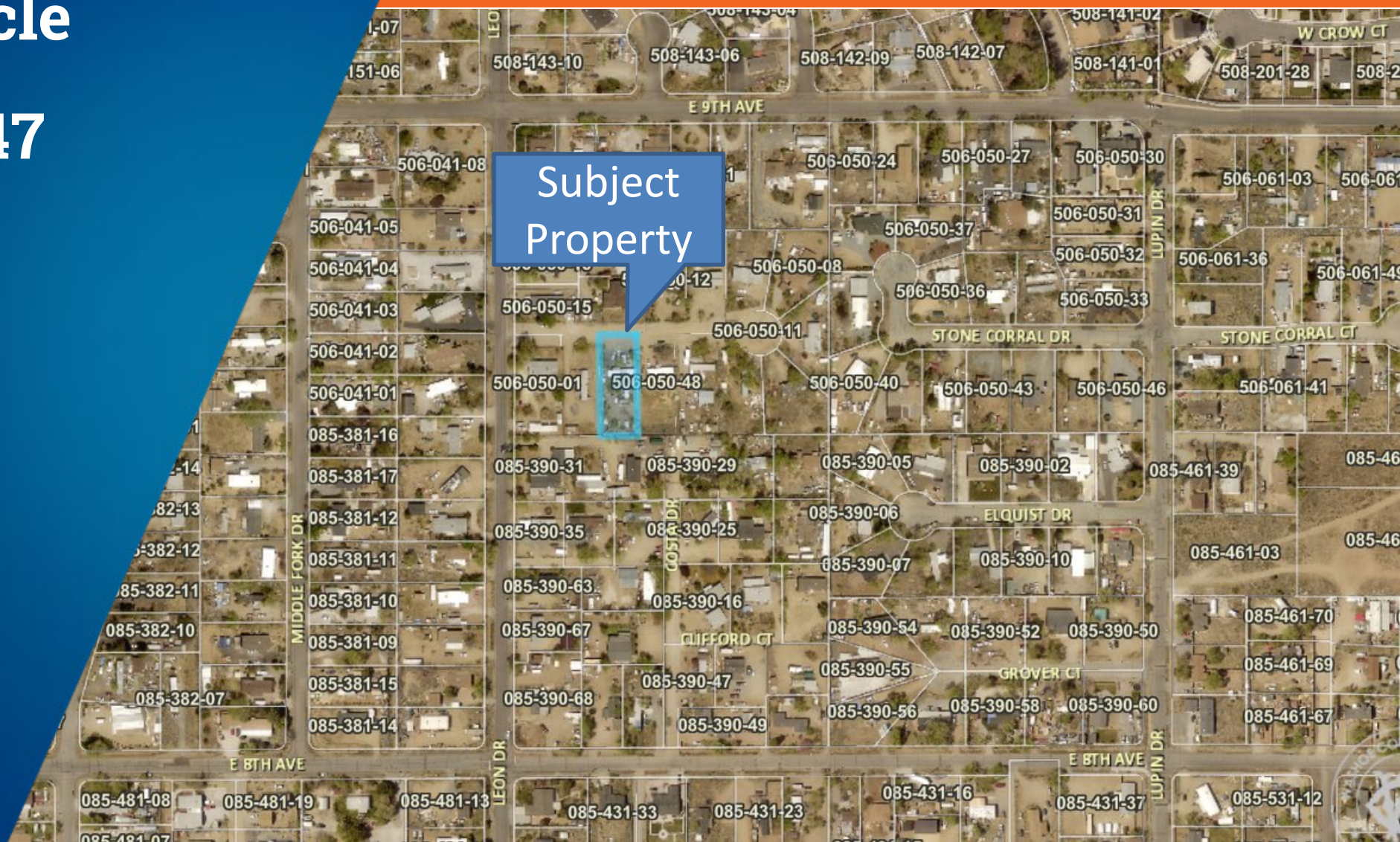
**Administrative Permit Case Number
WADMIN24-0011 (Gwin Care of the Infirm)**

January 2, 2025



216 Blanco Circle

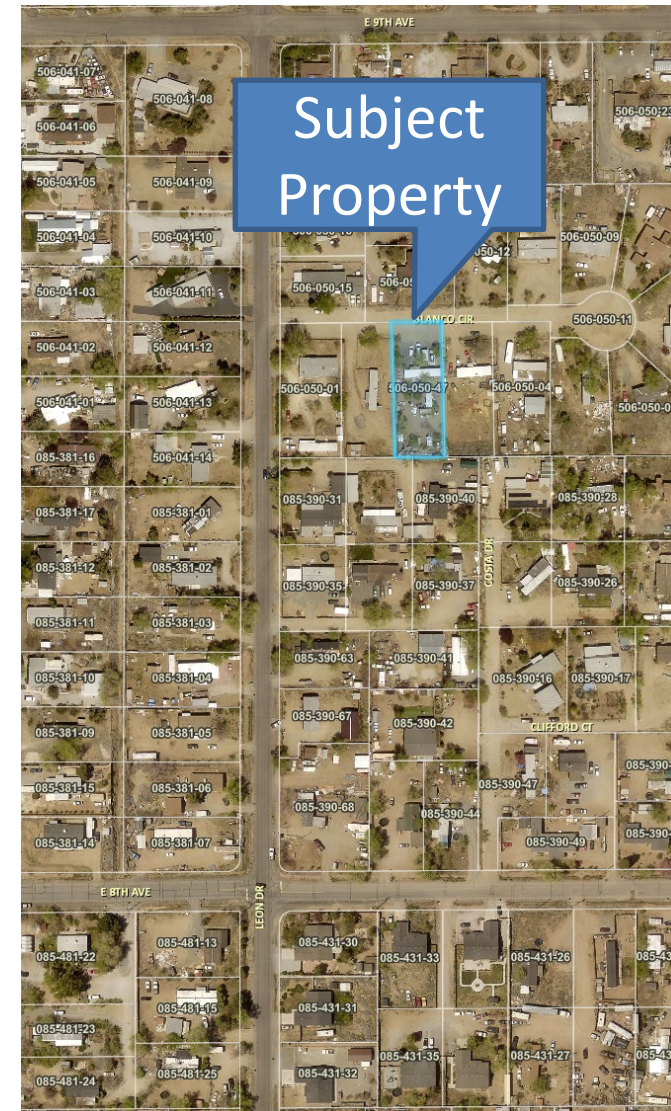
APN 506-050-47



Vicinity Map

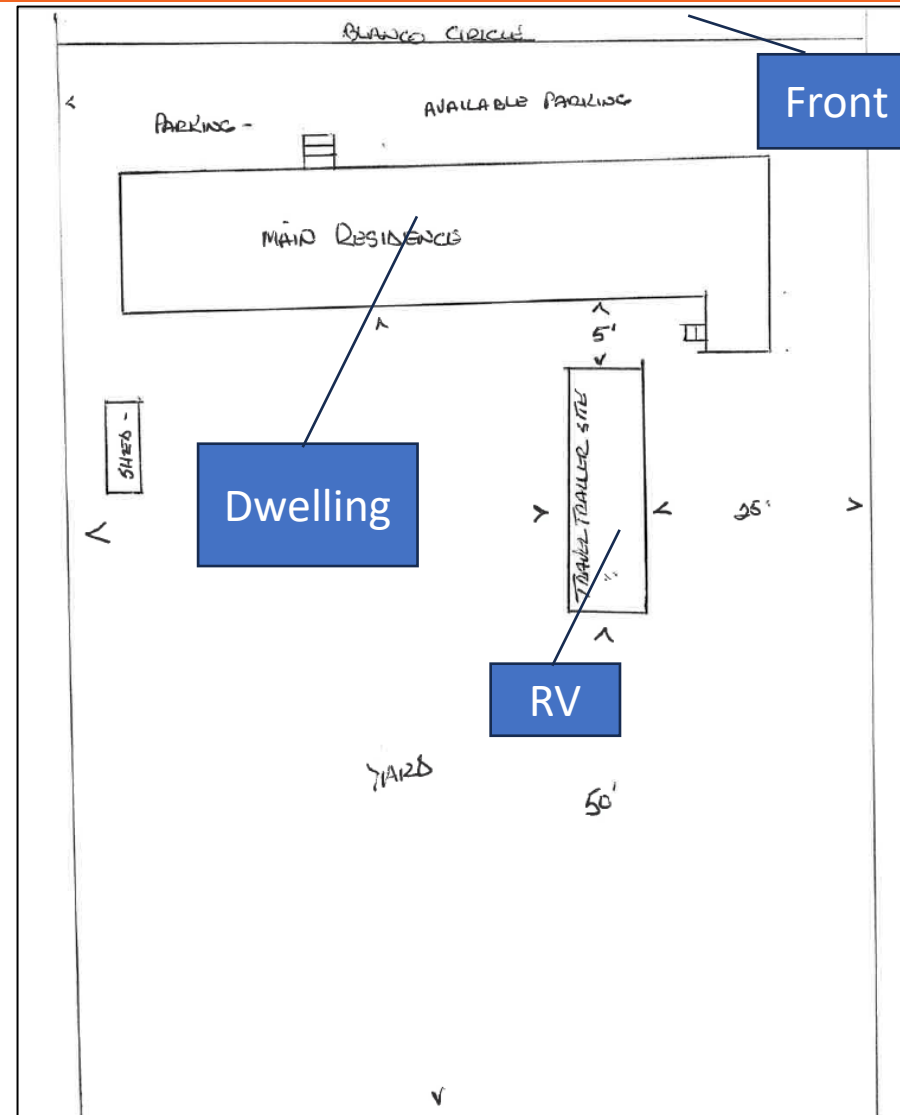


- Surrounding parcels are similar sizes and developed with single-family dwellings and accessory structures
- Sun Valley
- Medium Density Suburban (MDS)



- The request is for:
 - An administrative permit to allow a recreational vehicle (RV) to be occupied for the care of an infirm resident.
 - The caretaker will live in the RV.
 - The infirm resident will live in the home.

Site Plan



Background & Analysis

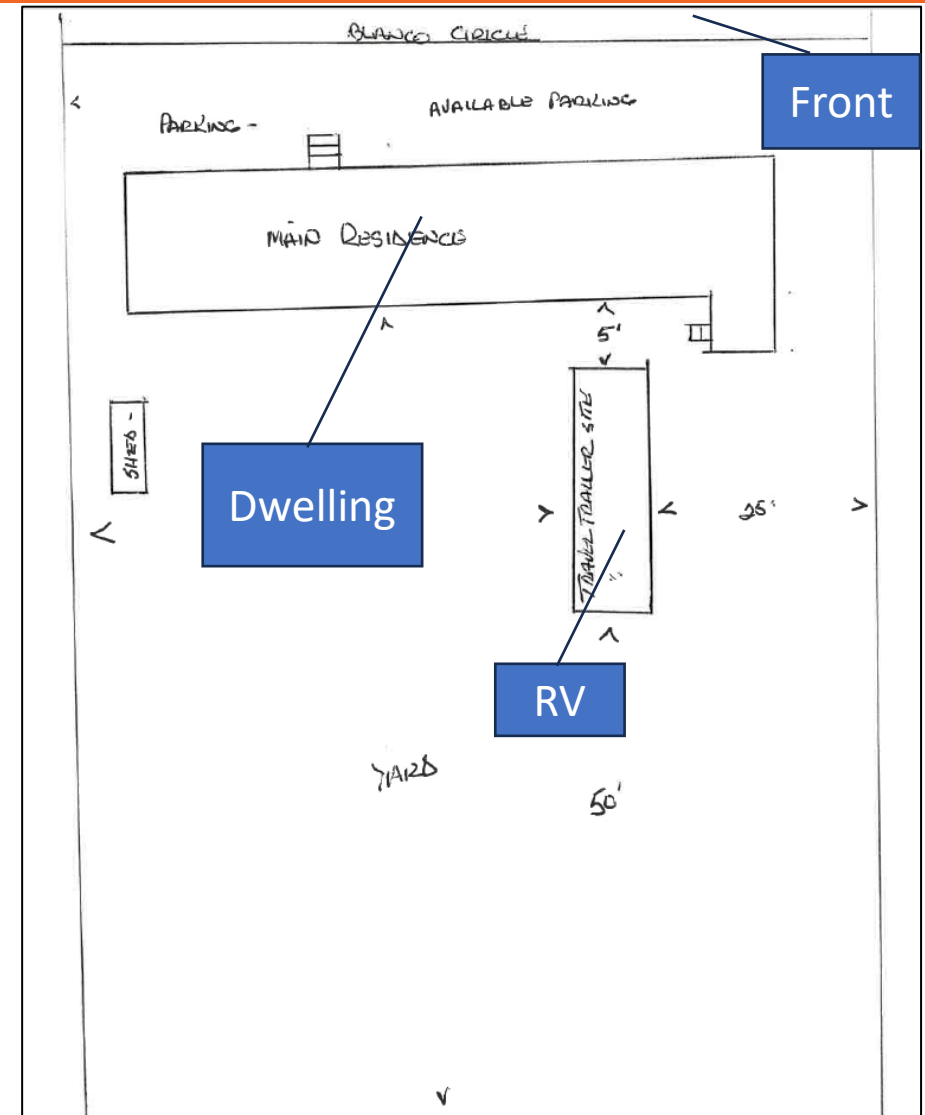
- A self-contained travel trailer to be used for the care of an infirm resident is allowed with an approved administrative permit per WCC Section 110.310.35(g), *Temporary Occupancy for the Care of the Infirm*.
- The temporary occupancy is reserved for properties containing a permanent single-family dwelling occupied by either the infirm person or the person responsible for the care of the infirm person.
- A signed affidavit is required from a Nevada licensed physician identifying the need for on-premise care.
- The administrative permit must be renewed annually.

- The infirm resident's medical practitioner completed a signed and notarized affidavit stating that the resident needs to have a person living on the premises/property where she lives in order to provide care & assistance to her.
- Affidavit is included in the staff report (Exhibit E).

Background & Analysis – Screening



- WCC Section 110.310.35(g) requires the RV to be screened from view of the street.
 - RV is located behind existing dwelling.
- The parcel has a regulatory zone of Medium Density Suburban (MDS) – 20-foot front & rear yard setbacks & 8-foot side yard setbacks.



- WCC Section 110.310.35(g) requires that no discharge of any litter, sewage, effluent or other matter shall occur except into sanitary facilities designed to dispose of the material.
 - The subject property is served by Sun Valley General Improvement District (SVGID) for water and sewer services, and Waste Management for garbage collection.
 - Washoe County Building and SVGID provided conditions to ensure appropriate utility, water, and sewer connections for the RV.

Reviewing Agencies



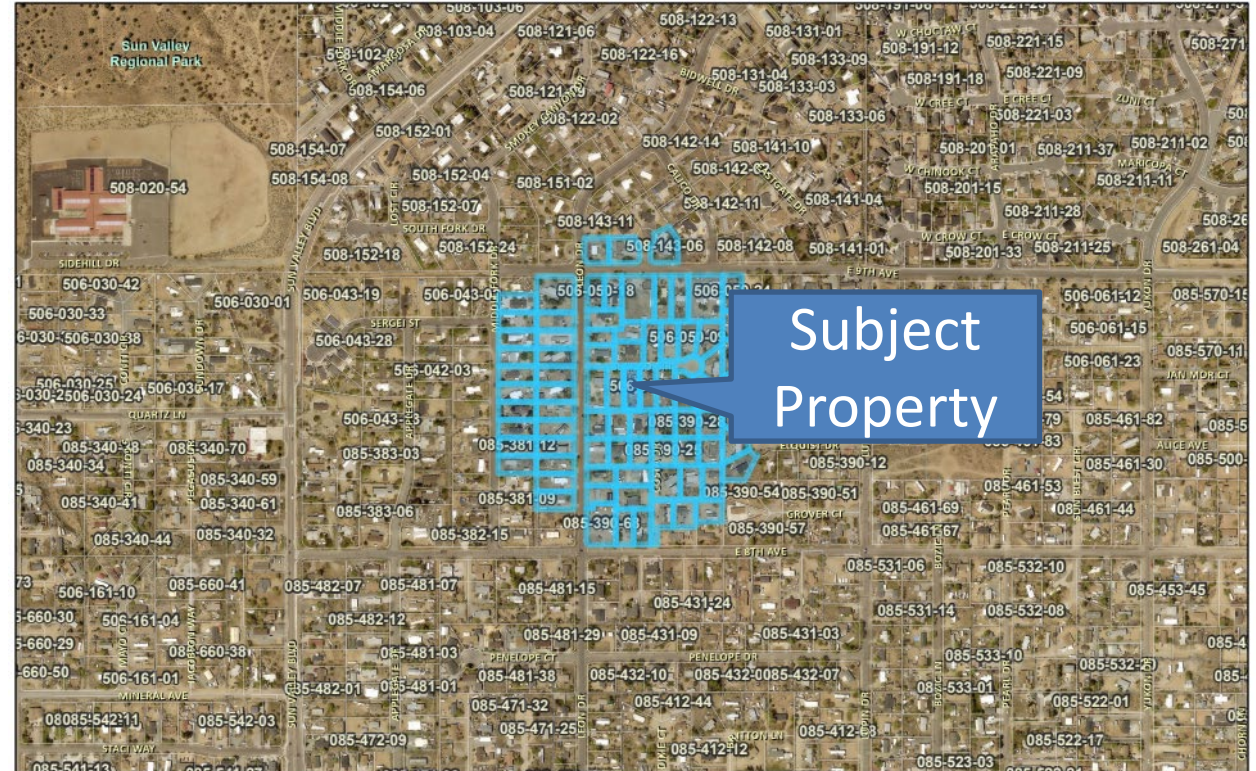
- Application was sent to 13 agencies for review.
- Five (5) of the agencies provided conditions - Exhibit A of the staff report.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building & Safety	X	X	X	Scott Huntley; shuntley@washoecounty.gov, Fred Lustenberger, flustenberger@washoecounty.gov
Washoe County Sewer	X			
Washoe County Water Rights Manager (All Apps)	X	X	X	Timber Weiss, tweiss@washoecounty.gov
WCSO Law Enforcement	X			
Washoe County Engineering (Land Development) (All Apps)	X			
Washoe County Engineering & Capital Projects Director (All Apps)	X	X		
NNPH Air Quality	X			
NNPH EMS	X	X		
NNPH Environmental Health	X	X	X	Kristen deBraga, kdebraga@washoecounty.gov
TMFPD	X	X	X	Dale Way, dway@tmfpd.us; Brittany Lemon,
Sun Valley GID	X	X	X	Jon Combs, jcombs@svgid.com; Chris Melton,
AT&T	X			
NV Energy	X			

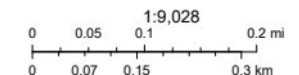
Public Notice



- Notices were sent to 83 separate property owners within 500 feet of the subject property.
- One (1) public comment received



December 4, 2024



Washoe County GIS, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

This information for illustrative purposes only. Not used for boundary

Staff is able to make all 5 required findings, as detailed on pages 8 & 9 in the staff report.

- a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- c) Site Suitability. That the site is physically suitable for a self-contained travel trailer to be used for the care of an infirm resident, and for the intensity of such a development;
- d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff recommends the Board of Adjustment approve Administrative Permit Case Number WADMIN24-0011 and provides the following motion:

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Administrative Permit Case Number WADMIN24-0011 for Thomas Gwin, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25.

Thank you

Tim Evans, Planner
Washoe County CSD – Planning Division
TEvans@washoecounty.gov
775-328-2314



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