

SITE INFO

ASSESSOR'S MAP No. 084-08
10705 LOCKWOOD DRIVE
WASHOE COUNTY, NEVADA 89434
±5.65 ac.

LOCATION MAP

N.T.S.
(SOUTHEAST 1/4 OF SECTION 17 & SOUTHWEST 1/4 OF SECTION 16, T19N, R21E, MDM.)

BASIS OF BEARING BASIS OF ELEVATION

THE BASIS OF BEARINGS FOR THE SURVEY REPRESENTED HEREIN IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83 (94). DISTANCES SHOWN ARE GROUND DISTANCES USING A PROJECT COMBINED GRID TO GROUND SCALE FACTOR OF 1.000197939.

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SPECIFICATIONS

ALL PUBLIC WORKS CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS ADOPTED BY WASHOE COUNTY AND THE RECOMMENDATIONS ESTABLISHED BY A SOILS INVESTIGATION OF THIS SITE AS PREPARED BY A LICENSED GEOTECHNICAL ENGINEER IN GOOD STANDING IN THE STATE OF NEVADA.

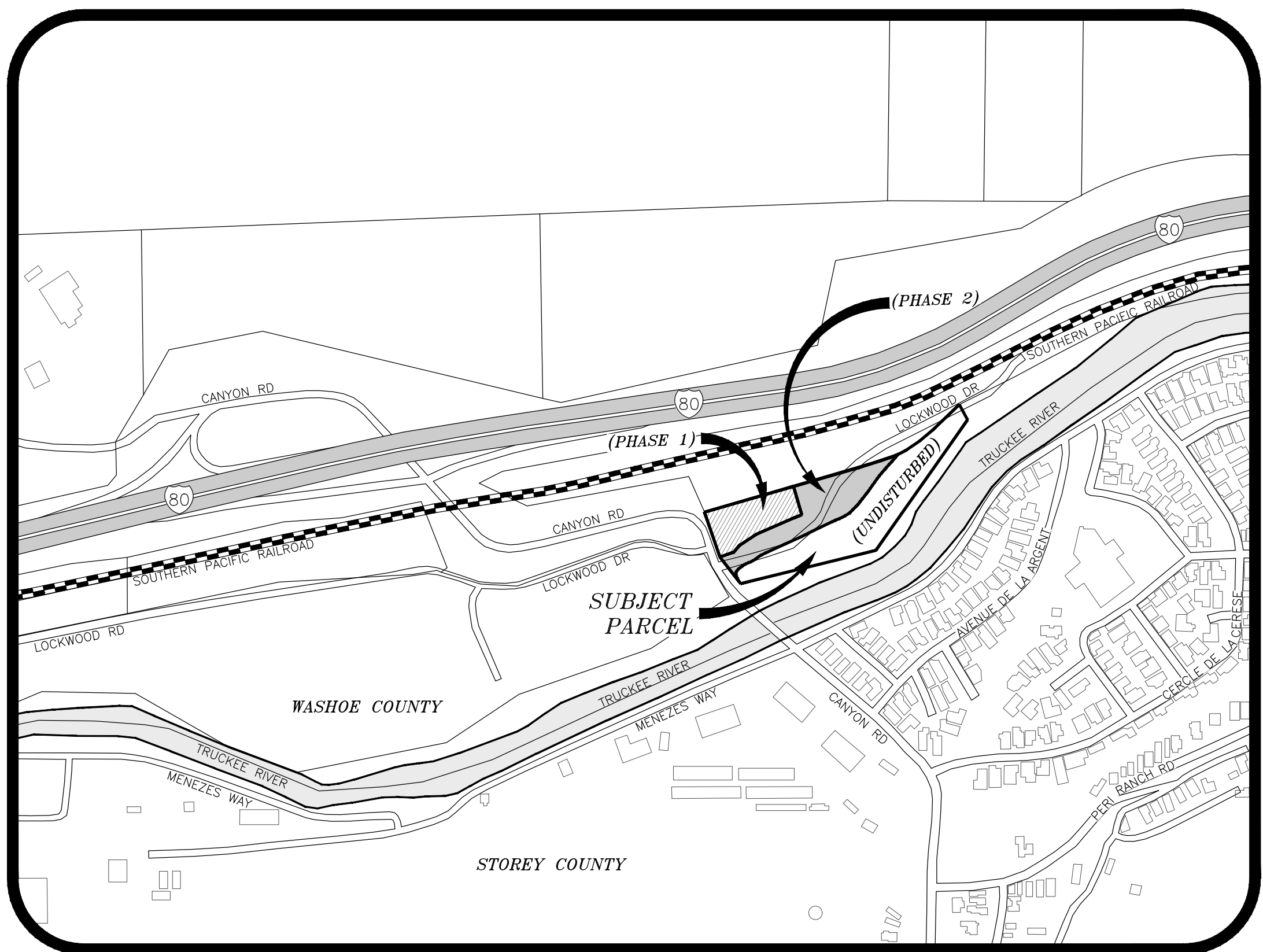
NOTE: STRUCTURAL DESIGN OF FOUNDATIONS & BUILDINGS BY OTHERS & UNDER SEPARATE PERMIT (NOT A PART)

LEGEND

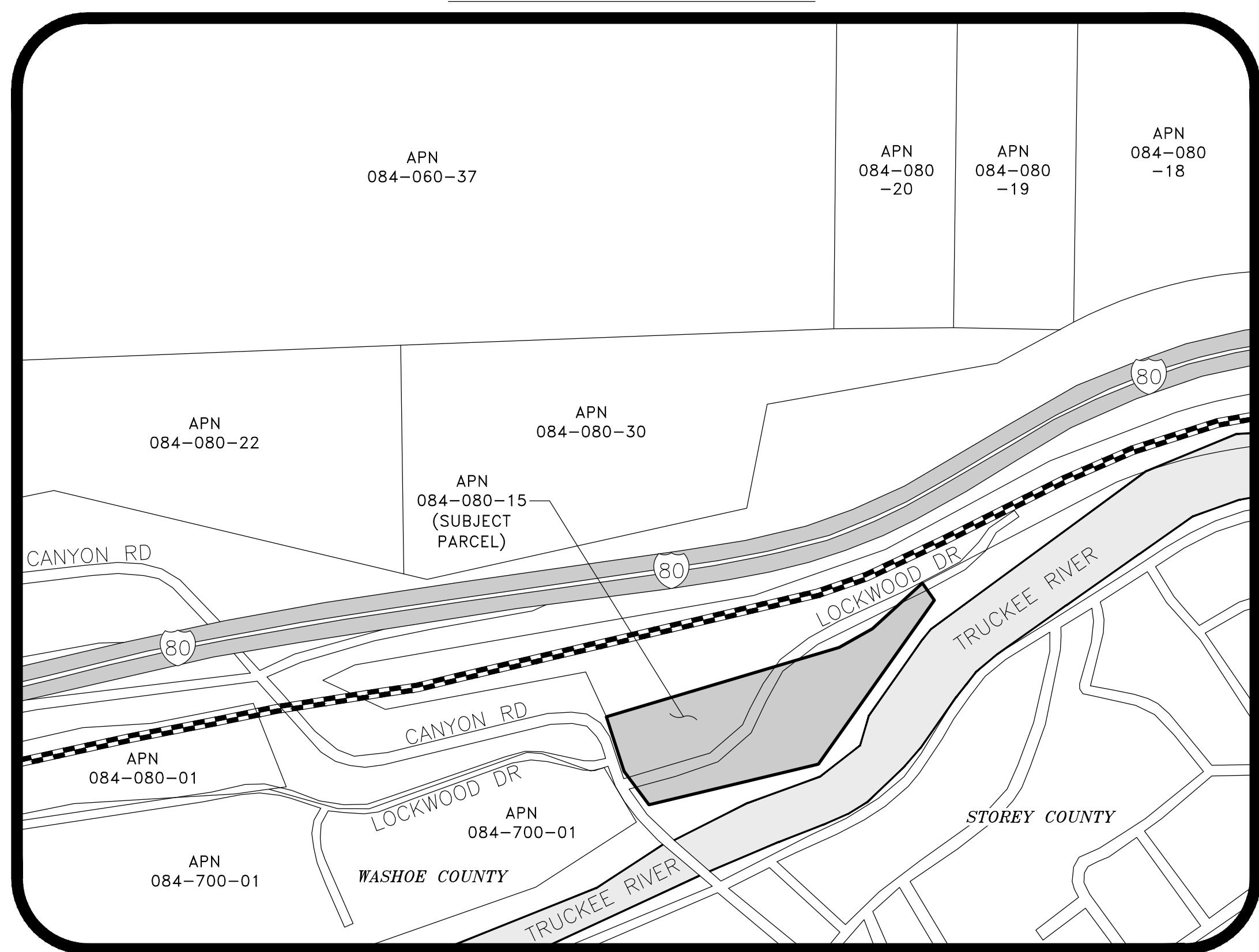
AC ASPHALT CONCRETE	FES FLARED END SECTION	PAVM/T PAVEMENT
AGG ASBESTOS CEMENT PIPE	FF FINISH FLOOR	PB POLYBUTYLENE
ASS'Y ASSEMBLY	FG FINISH GRADE	PC PULL BOX
AVE AVENUE	FH FIRE HYDRANT	PCC PRESSURE CLASS OR POINT OF CURVATURE
AWWA AMERICAN WATER WORKS ASSOCIATION	FL FLOW LINE	PCC PORTLAND CEMENT CONCRETE
BC BEGIN CURVE	FM FORCE MAIN	PE POLYETHYLENE
BC BRASS CAP	FND FOUND	PI POINT OF INTERSECTION
BCR BEGIN CURB RETURN	FOC FRONT FACE OF CURB	P/L PROPERTY LINE
BFC BACK FACE OF CURB	FS FINISHED SURFACE	P POLE
BLDG BUILDING	FT FOOT	PRC POINT OF REVERSE CURVE
BLVD BOULEVARD	FV FLUSH VALVE	PROP PROPERTY
BM BENCH MARK	G GAS	PSI POUNDS PER SQUARE INCH
BOC BACK FACE OF CURB	GA GAUGE	PT POINT OR POINT OF TANGENCY
BV BUTTERFLY VALVE	GB GRADE BREAK	PVC POLYVINYL CHLORIDE
BVC BEGIN VERTICAL CURVE	GF GARAGE FLOOR	R RADIUS
BW BACK OF SIDEWALK	GR GRADE	RAD PT RADIUS POINT
C CHORD OF CURVE	GRND GROUND	RCP REINFORCED CONCRETE PIPE
CB CATCH BASIN	GV GATE VALVE	RD ROAD
CC COMPOUND CURVE	HDPE HIGH-DENSITY POLYETHYLENE	REF REFERENCE
CI CAST IRON	HORIZ HORIZONTAL	RT RIGHT
LOOP LOOP	HWY HIGHWAY	RTW RIGHT-OF-WAY
C/L CENTER LINE	ID INSIDE DIAMETER	S SLOPE
CLR CLEAR	INCH INCH	SO SOUTH
CMP CORRUGATED METAL ARCH PIPE	INT INTERSECTION	SD STORM DRAIN
CMAP CORRUGATED METAL PIPE	INV INVERT ELEVATION	SHT SHEET
CO CLEAN OUT	LEN LENGTH OF CURVE	SQ SQUARE
CONC CONCRETE	LAT LATERAL	SS SANITARY SEWER
CONST CONSTRUCT	LF LINEAR FOOT	ST STREET
COR CORNER	LEFT LEFT	STA STATION
CP CONCRETE PIPE	MAX MAXIMUM	STD STANDARD
CT COURT	MEDIAN MEDIAN	T TANGENT OF CURVE
CY CUBIC YARD	MFG MANUFACTURER	TBM TEMPORARY BENCH MARK
DI DROP INLET	MG MILLION GALLONS	TC TOP OF CURB
DIA DIAMETER	MH MANHOLE	TEL TELEPHONE
DR DRIVE	MIN MINIMUM	TV TELEVISION
DRWY DRIVEWAY	MISC MISCELLANEOUS	UNLESS NOTED OTHERWISE
DWG DRAWING	MJ MECHANICAL JOINT	UNO UNLESS NOTED OTHERWISE
E ELECTRIC	MOC MIDDLE OF CURVE	VC VERTICAL CURVE
EA EAST	MVC MIDDLE VERTICAL CURVE	VERT VERTICAL
EC END CURVE	N NORTH	VG VALLEY GUTTER
ECR END CURB RETURN	NDOT NEVADA DEPARTMENT OF TRANSPORTATION	W WATER
EG EXISTING GRADE	NOT IN CONTRACT	WTR WATER
EP EDGE OF PAVEMENT	NO NUMBER	W WEST
EVC END VERTICAL CURVE	NOT TO SCALE	WM WATER METER
EW EACH WAY	OC ON CENTER	WO WITHOUT
(e) EXISTING	OD OUTSIDE DIAMETER	WWF WELDED WIRE FABRIC
FCA FLANGED COUPLING ADAPTER	PAD PAD ELEVATION	WWM WELDED WIRE MESH

CIVIL IMPROVEMENT PLANS FOR LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT, PHASE I & PHASE II
10705 LOCKWOOD DRIVE, WASHOE COUNTY, NEVADA
APN: 084-080-15

WASHOE COUNTY NEVADA



VICINITY MAP



SITE MAP

CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY
NO CONSTRUCTION WORK SUNDAY
(EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)
CONSTRUCTION MACHINERY OR CONSTRUCTION PERSONNEL GATHERINGS ARE ALSO LIMITED TO THESE HOURS.

ENGINEER



CIVIL ENGINEERING CONSULTANTS

8429 DOUBLE DIAMOND PARKWAY, STE A
RENO, NEVADA 89521
PH (775) 352-7800 - FAX (775) 352-7289

OWNER

LOCKWOOD DEVELOPMENT GROUP LLC
Attn: JEFFREY LOWDEN, MANAGING DIRECTOR
3495 LAKESIDE DRIVE, SUITE 249
RENO, NV 89509

SHEET INDEX

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C-4	SITE GRADING & DRAINAGE PLAN
C-5	STORMWATER POLLUTION PREVENTION EXHIBIT
C-6	PRE-DEVELOPMENT WATERSHED EXHIBIT
C-7	POST-DEVELOPMENT WATERSHED EXHIBIT
C-8	DETAILS SHEET
C-9	DETAILS SHEET

BUILDING PLACEMENT REQUIREMENTS (SETBACKS)

61% INDUSTRIAL (I) / 39% OPEN SPACE (OS)

FRONT	15 FEET (I) / NA (OS)
SIDE	10 FEET (I) / NA (OS)
REAR	15 FEET (I) / NA (OS)

PROJECT DATA

TOTAL PARCEL AREA	5.47 ACRES
DISTURBED AREA (PHASE I)	1.00 ACRES
DISTURBED AREA (PHASE II)	1.51 ACRES
UNDISTURBED AREA	2.96 ACRES

NOTE: SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.

NOTE: ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

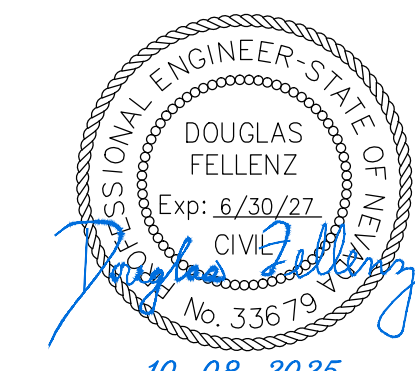
NOTE: AN ENCROACHMENT AND EXCAVATION PERMIT WILL BE REQUIRED AND OBTAINED FROM WASHOE COUNTY PUBLIC WORKS BY THE CONTRACTOR PRIOR TO CONSTRUCTION WITHIN ANY PUBLIC EASEMENT OR RIGHT-OF-WAY

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE FOLLOWING: SITE GRADING TO CONSTRUCT AN APPROXIMATE 2.51-ACRE GRAVEL PAD FOR OUTDOOR STORAGE/LAYDOWN AREA, ALONG WITH THE NECESSARY FENCING & GATES TO PROVIDE SECURITY FOR THE PROJECT AND CUTOFF DITCHES TO RE-ROUTE STORMWATER FLOWS AROUND THE DEVELOPED AREA & MITIGATE FLOWS CROSSING THE GRAVEL PAD AREA PRIOR TO FINAL INFILTRATION OR RELEASE.

ENGINEER'S STATEMENT

THESE PLANS (SHEETS C-1 THROUGH C-9) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, WASHOE COUNTY ORDINANCES AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND WASHOE COUNTY CODES, THE COUNTY CODES SHALL PREVAIL.



DOUGLAS FELLEZ

P.E. #33679

REUSE OF DOCUMENTS
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TEC ENGINEERING CONSULTANTS AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TEC ENGINEERING CONSULTANTS.

NO.	DATE

CIVIL ENGINEERING CONSULTANTS
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RENO, NEVADA 89521
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LOCKWOOD DEVELOPMENT GROUP LLC
CIVIL IMPROVEMENT PLANS FOR
LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
PHASE I & PHASE II
APN: 084-080-15
COVER SHEET
WASHOE COUNTY NEVADA

JOB No.	Lockwood001
DATE:	OCTOBER 8, 2025
VERT. SCALE:	NA
HORIZ. SCALE:	NA
DRAWN BY:	DAF
CHECKED BY:	JAG
APPROVED BY:	DAF

SHEET C-1 OF 9 SHEETS

GENERAL NOTES

1. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
3. GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION.
4. THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER, WHICHEVER IS GREATER.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN THE PROJECT MANUAL AND GENERAL CONDITIONS A201.
6. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS EITHER IN CONTRACT OR NOT IN CONTRACT HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
7. GENERAL CONTRACTOR TO HAVE JOB PHONE ON PREMISES DURING ENTIRE CONSTRUCTION PERIOD.
8. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR IS TO HAVE A FULL TIME QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED.
9. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
10. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR: OVERALL WALL DIMENSIONS, SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ENGINEER ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT NOTIFY THE ENGINEER. SITE DESIGN BY CIVIL ENGINEER SUPERSEDES ALL OTHER SITE PLANS.
12. ALL DIMENSIONS SHOWN ARE TO BACK FACE OF CURB AND/OR FINISH FACE OF WALL UNLESS SPECIFICALLY NOTED OTHERWISE.
13. ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
15. ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL CONFORM TO SECTION 130 OF THE STANDARD SPECIFICATIONS, PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE NEVADA WORK ZONE TRAFFIC CONTROL HANDBOOK, CURRENT EDITION. NO STREET CLOSURES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF A TRAFFIC CONTROL PLAN BY THE WASHOE COUNTY ROAD DEPARTMENT.
16. THE OWNER/CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
17. THE OWNER/CONTRACTOR SHALL CALL THE WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT ENGINEERING DIVISION FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. THE OWNER/CONTRACTOR SHALL CALL FORTY-EIGHT (48) HOURS PRIOR TO REQUIRED INSPECTIONS AND TESTING. THE REQUIRED INSPECTIONS AND TESTING ARE LISTED ON THE INSPECTION RECORD ISSUED WITH EACH PERMIT. THE OWNER/CONTRACTOR MUST HAVE THE PERMIT NUMBER AND THE DESCRIPTION LISTED ON THE INSPECTION RECORD TO SCHEDULE REQUIRED INSPECTIONS AND TESTING.
18. MODIFICATIONS TO THE APPROVED SITE IMPROVEMENT PLANS REQUIRE REVIEW AND APPROVAL BY WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT. WORK PERFORMED WITHOUT WRITTEN APPROVAL BY THE DEPARTMENT WILL REQUIRE REMOVAL AT THE OWNER'S/CONTRACTOR'S EXPENSE.
19. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.
20. PLAN APPROVAL SHALL EXPIRE ONE YEAR FROM DATE OF APPROVAL UNLESS CONSTRUCTION HAS BEEN INITIATED.

DEMOLITION NOTES:

- 1) UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON BEST AVAILABLE INFORMATION AT THE TIME. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT, USA, AT (1-800-227-2600) PRIOR TO ANY DEMOLITION.
- 2) THE CONTRACTOR SHALL MAKE EVERY ATTEMPT TO AVOID SHUT OFF OR DISCONNECTION OF ACTIVE UTILITIES. IF SHUT OFFS ARE UNAVOIDABLE, THE CONTRACTOR SHALL COORDINATE THAT SHUT OFF WITH THE AFFECTED CUSTOMERS AND UTILITIES COMPANIES AT LEAST 48 HOURS IN ADVANCE OF THE DISRUPTION OF SERVICE.
- 3) UTILITIES LINES ARE INDICATED FOR COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH UTILITY PROVIDERS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING AND FINAL REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER AND ENGINEER OF RECORD.
- 5) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR DEMOLITION.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION, AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND/OR BARRICADE THE DEMOLITION AREA AS REQUIRED TO PROTECT ADJACENT SITES, VEHICULAR TRAFFIC, AND PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618, IN THE CONSTRUCTION PRACTICES FOR ALL EMPLOYEES DIRECTLY ENGAGED IN THE DEMOLITION OF THIS PROJECT.
- 7) WHEN ANY UNSAFE CONDITIONS ARE ENCOUNTERED, WORK SHALL BE HALTED, THE STRUCTURE SECURED, AND THE WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED IMMEDIATELY BY CONTACTING THE BUILDING DIVISION AT (775) 328-3600.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFFSITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- 9) THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL THROUGHOUT DEMOLITION, IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, STATE OF NEVADA DEPARTMENT OF TRANSPORTATION, TRAFFIC CONTROL STANDARDS AND THE GOVERNING AGENCY. CONSTRUCTION OF IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESS.
- 10) ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL (MOST RECENT UPDATE).
- 11) THE CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES HANDBOOK FOR THE TRUCKEE MEADOWS CONSTRUCTION SITE.
- 12) UPON COMPLETION OF DEMOLITION, AND PRIOR TO SECURITY RELEASE BY THE GOVERNING AGENCY, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND ALL PROTECTED INLETS SHALL BE CLEANED TO THE SATISFACTION OF WASHOE COUNTY.
- 13) STREET SWEEPING SHOULD OCCUR REGULARLY OR AS NEEDED. WEATHER MAY DICTATE MORE FREQUENT CLEANINGS AS SEDIMENT BUILDS UP FROM INGRESS/EGRESS FROM SITE.
- 14) CONTRACTOR TO COORDINATE A DEMOLITION SET-UP INSPECTION WITH WASHOE COUNTY COMMUNITY DEVELOPMENT PRIOR TO COMMENCEMENT.
- 15) AFTER DEMOLITION IS COMPLETED, THE SITE SHALL BE LEFT IN A SAFE, CLEAN AND SANITARY CONDITION, INSURING THAT ALL FOUNDATIONS, DEBRIS, CONSTRUCTION MATERIALS, FURNISHINGS, TRASH, GARBAGE, ETC. ARE COMPLETELY REMOVED.
- 16) DEMOLITION CONTRACTOR SHALL CARRY WASHOE COUNTY AS A RIDER ON THEIR INSURANCE POLICY FOR AN AMOUNT TO BE DETERMINED IN ACCORDANCE WITH WASHOE COUNTY ORDINANCES AS APPLICABLE.
- 17) CONTRACTOR TO FIELD VERIFY THE LOCATION & QUANTITY OF EXISTING VEGETATION TO BE REMOVED.
- 18) REFERENCE THE SITE, GRADING AND DEMOLITION PLANS FOR ADDITIONAL NOTES.
- 19) CONTRACTOR TO REMOVE ALL ASSOCIATED DEMOLISHED BUILDING UTILITIES. CONTRACTOR TO COORDINATE EXISTING UTILITY REMOVAL WITH EACH UTILITY PROVIDER.
- 20) AN ENCROACHMENT/EXCAVATION PERMIT WILL BE REQUIRED AND OBTAINED FROM WASHOE COUNTY PUBLIC WORKS PRIOR TO CONSTRUCTION WITHIN ANY PUBLIC EASEMENT RIGHT-OF-WAY.
- 21) ALL EXISTING DETERIORATED OR DAMAGED CURB, GUTTER, AND SIDEWALK SHALL BE REMOVED AND REPLACED PER WASHOE COUNTY REQUIREMENTS.

SWPPP NOTES:

- 1) THE CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES IN PLACE WITH THE JURISDICTION FOR THE CONSTRUCTION SITE.
- 2) EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO GRADING AND ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT VEGETATION IS ESTABLISHED. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING CONSTRUCTION SHALL BE REPORTED TO THE OWNER/ENGINEER IMMEDIATELY.
- 3) MINIMIZE RUNOFF FROM WATERLINE FLUSHING, FIRE HYDRANT FLUSHING, LANDSCAPE IRRIGATION RUNOFF AND PAVEMENT WASH WATER.
- 4) CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE SWPPP AND THE DRAFT CONSTRUCTION SITE BMP HANDBOOK.
- 5) ALL INLET CONTROL PROTECTION SHALL REMAIN AND BE MAINTAINED UNTIL LOT CONSTRUCTION IN THE CONTRIBUTING DRAINAGE BASIN IS COMPLETE.
- 6) STANDARD NOTE No. 1: THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGE TO, OR ACCUMULATE IN, THE PUBLIC RIGHT OF WAYS OF THE GOVERNING AGENCY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- 7) STANDARD NOTE No. 2: ADDITIONAL CONSTRUCTION SITE DISCHARGE BMP'S MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE GOVERNING AGENCY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- 8) STANDARD NOTE No. 3: TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS, AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
- 9) STANDARD NOTE No. 4: AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATED OR MODIFY THE SWPPP AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
- 10) STANDARD NOTE No. 5: ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORM WATER RUNOFF EVENT, AND PRIOR TO THE NEXT ANTICIPATED STORM EVENT. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 30% OR MORE.
- 11) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO SECURITY RELEASE BY THE GOVERNING AGENCY, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND ALL PROTECTED INLETS SHALL BE CLEANED TO THE SATISFACTION OF THE GOVERNING AGENCY.
- 12) ANY CHANGES TO THE TYPE OR LOCATION OF BMP USED ON THIS SITE SHALL BE REFLECTED IN THE SWPPP DOCUMENTATION.
- 13) TEC ENGINEERING SHALL NOT BE HELD LIABLE FOR THE INSTALLATION, FUNCTION OR USE OF ANY BMP SHOWN ON THESE PLANS. THE BMP'S SHOWN ARE NEITHER THE MINIMUM OR THE MAXIMUM BMP'S NECESSARY. THE SWPPP PROGRAM FOR THIS SITE SHALL BE REVIEWED AND UPDATED PER THE GOVERNING AGENCY STORM WATER QUALITY GUIDELINES.
- 14) USE SAND BAGS FOR ALL PROPOSED AND EXISTING ADJACENT STORM DRAIN INLET PROTECTION.
- 15) STREET SWEEPING SHOULD OCCUR REGULARLY OR AS NEEDED. WEATHER MAY DICTATE MORE FREQUENT CLEANINGS AS SEDIMENT BUILDS UP FROM INGRESS/EGRESS FROM SITE.
- 16) SOME ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BY THE PROJECT ENGINEER AND/OR THE LOCAL INSPECTOR.
- 17) ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENTATION CONTROL REGULATIONS FOR THE GOVERNING AGENCY AND THE STATE OF NEVADA.
- 18) A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- 19) FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED.
- 20) PRIOR TO ANY OTHER CONSTRUCTION A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXITING FROM THE SITE. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE OR SITE ONTO THE PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.
- 21) THE CONTRACTOR SHALL FURNISH AND MAINTAIN NECESSARY BARRICADES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES WHILE ROADWAY FRONTAGE IMPROVEMENT ARE MADE.

SITE DATA

ASSESSOR'S PARCEL NUMBER: 084-080-15

ADDRESS: 10705 LOCKWOOD DRIVE
WASHOE COUNTY, NEVADA 89434

ZONING: I (61%) / OS (39%)

CURRENT LAND USE CODE: 150: VACANT, INDUSTRIAL

SETBACKS:
FRONT: 15 FEET (I) / NA (OS)
SIDE: 10 FEET (I) / NA (OS)
REAR: 15 FEET (I) / NA (OS)

FLOOD ZONE: ZONE AE (Floodway), X, AE
(FIRM No. 32031C3069G, eff. 03/16/2009)
(LOMR No. 16-09-2438P-320019)

LAND AREA: 5.47 ACRES +/-

GRADING NOTES

- 1) INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER.
- 2) THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF DISTURBED AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH ALL NDEP STORM WATER PROTECTION & AIR QUALITY REGULATIONS.
- 3) LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- 4) THE CONTRACTOR SHALL NOTIFY ALL PUBLIC ENTITIES 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 5) THE CONTRACTOR SHALL VERIFY IN FIELD ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT HOLE PRIOR TO CONSTRUCTION.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- 8) IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY AND SUBMIT IT TO THE OWNER FOR REVIEW. HOWEVER, THIS SHALL IN NO WAY EXTEND THE CONTRACT TIME FRAME AND DEADLINES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE SURVEY.
- 9) IN ALL AREAS WHERE NEW CURB AND GUTTER IS INSTALLED REMOVE ALL OLD CURB AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
- 10) CONTRACTOR SHALL COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS AND FILE A NOTICE OF INTENT PERMIT PRIOR TO COMMENCEMENT. CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION PERMIT UPON FINAL STABILIZATION.
- 11) COMPACTED FILL SHOULD BE PLACED IN LAYERS OF NOT MORE THAN EIGHT (8") INCHES IN THICKNESS, AT A MOISTURE CONTENT WITHIN TWO (2%) OPTIMUM SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN PAVING AREAS AND IN BUILDING AREAS AS DETERMINED BY THE GEOTECHNICAL ENGINEER OR ENGINEER OF RECORD.
- 12) EARTHWORK SPOILS FROM ALL TRENCHES TO BE EXCAVATED ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. THE CONTRACTOR IS TO UTILIZE THE SOIL ON SITE (TO BE COORDINATED WITH THE ENGINEER OF RECORD).
- 13) ADD 4300 FEET TO ALL SPOT ELEVATIONS.
- 14) SLOPE PROTECTION OVER 3:1 SLOPE PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- 15) CONTRACTOR TO CLEAN ALL VEHICLES (INCLUDING TIRES AND UNDERCARRIAGE) THAT MAY HAVE ENTERED WEED-INFESTED AREAS PRIOR TO ENTERING UNINFESTED AREAS OF THE JOB SITE.
- 16) CONTRACTOR TO RESTRICT VEHICLES OR OTHER TRAFFIC THAT MAY TRANSPORT WEED SEEDS OR PLANT MATERIAL FROM ENTERING THE JOB SITE UNLESS THEY ARE FIRST WASHED AND INSPECTED.
- 17) PROJECT LOCATED WITHIN FEMA ZONE(S) AE (Floodway), X, AE AS SHOWN ON FEMA FIRM PANEL No. 32031C3069G, EFFECTIVE DATE 03/16/2009 & LOMR No. 16-09-2438P-320019.
- 18) ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNING AGENCY REGULATIONS OR IN APPROVED AREAS ON THE GRADING PLAN.
- 19) INSTALL SAND BAGS AROUND ALL APPLICABLE ADJACENT EXISTING AND PROPOSED SD INLETS AND CULVERTS BOTH WITHIN THE PROJECT AREA AND ALONG THE ADJACENT PUBLIC RIGHT-OF-WAY.
- 20) CONTRACTOR WILL MINIMIZE GROUND DISTURBANCE AND VEGETATION REMOVAL TO PREVENT SPREAD OF NOXIOUS WEEDS.
- 21) SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- 22) ALL EXISTING CONCRETE OR OTHER MISC. CONSTRUCTION MATERIALS SHALL BE HAULED OFFSITE AND NOT USED FOR FILL.
- 23) NO HABITABLE STRUCTURES ARE TO BE BUILT IN FAULT AREAS.
- 24) NO STOCKPILES TO BE STORED ON CONCRETE OR PAVED SURFACES WITHIN PRIVATE ROADWAY AND P.U.E. EASEMENT.
- 25) AN ENCROACHMENT AND EXCAVATION PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY WORK BEING PERFORMED IN THE WASHOE COUNTY RIGHT-OF-WAY, INCLUDING TRAFFIC CONTROL, IF APPLICABLE.

FIRE PREVENTION & PROTECTION FOR GRADING OPERATIONS

1. THE GRADING PERMIT HOLDER SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF A FIRE PREVENTION PLAN AT THE JOB SITE THROUGHOUT ALL PHASES OF GRADING WORK.
2. AS WARRANTED BY THE PROJECT, THE GRADING PERMIT HOLDER SHALL PROVIDE A WATER TRUCK IN THE GENERAL VICINITY OF ALL GRADING WORK WHERE THE POSSIBILITY OF AN IGNITION SOURCE IS PRESENT. WATER TRUCK OPERATORS SHALL BE TRAINED IN THE PROPER PROCEDURES FOR PRE & POST-WETTING OF GRADING WORK. IF A WATER TRUCK IS UNAVAILABLE FOR ANY REASON, GRADING WORK SHALL CEASE.
3. ALL HEAVY EQUIPMENT SHALL HAVE A SPARK ARRESTER ON THE EXHAUST.

**** NOTICE TO CONTRACTORS ****

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**** NOTE ****

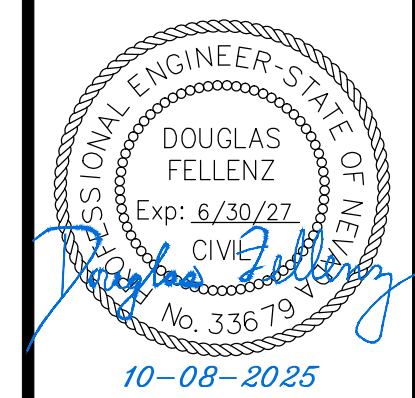
DURING CONSTRUCTION ACTIVITIES, FIELD CONDITIONS MAY DICTATE THE IMPLEMENTATION OF PLAN REVISIONS THAT WOULD BETTER FACILITATE THE DESIGN INTENT OF THESE RECORD DOCUMENTS. THE OWNER SHALL SUBMIT SAID PROPOSED REVISIONS TO THE ENGINEER OF RECORD AND JURISDICTIONAL AGENCIES FOR REVIEW AND ACCEPTANCE PRIOR TO FIELD IMPLEMENTATION.

**** NOTE ON PERIMETER SITE LIGHTING ****

OWNER TO PROVIDE FIXTURES WITH FULL CUT OFF SHIELDS ON ALL PERIMETER SITE LIGHTING TO PREVENT UNDESIRABLE LIGHTING ON ADJACENT PROPERTIES; COORDINATE WITH ELECTRICAL PLANS (BY OTHERS) FOR PROPER PLACEMENT & INSTALLATION OF FIXTURES & CUT OFF SHIELD ASSEMBLY.

REUSE OF DOCUMENTS
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TEC ENGINEERING CONSULTANTS AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TEC ENGINEERING CONSULTANTS.

NO.	DATE				



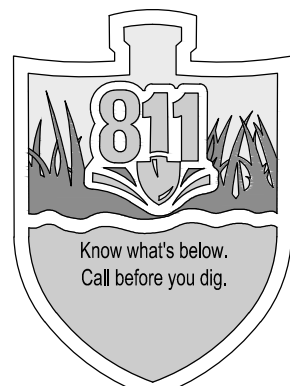
CIVIL ENGINEERING CONSULTANTS
8428 DOUGLAS DIAMOND PARKWAY, STE. 4
RENO, NEVADA 89521
PH (775) 352-7800 • FAX (775) 352-7888



LOCKWOOD DEVELOPMENT GROUP LLC
CIVIL IMPROVEMENT PLANS FOR
LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
PHASE I & PHASE II
APN: 084-080-15
NOTES SHEET
WASHOE COUNTY NEVADA

JOB No. Lockwood001
DATE: OCTOBER 8, 2025
VERT. SCALE: NA
HORIZ. SCALE: NA
DRAWN BY: DAF
CHECKED BY: JAG
APPROVED BY: DAF

SHEET C-2
OF
9 SHEETS



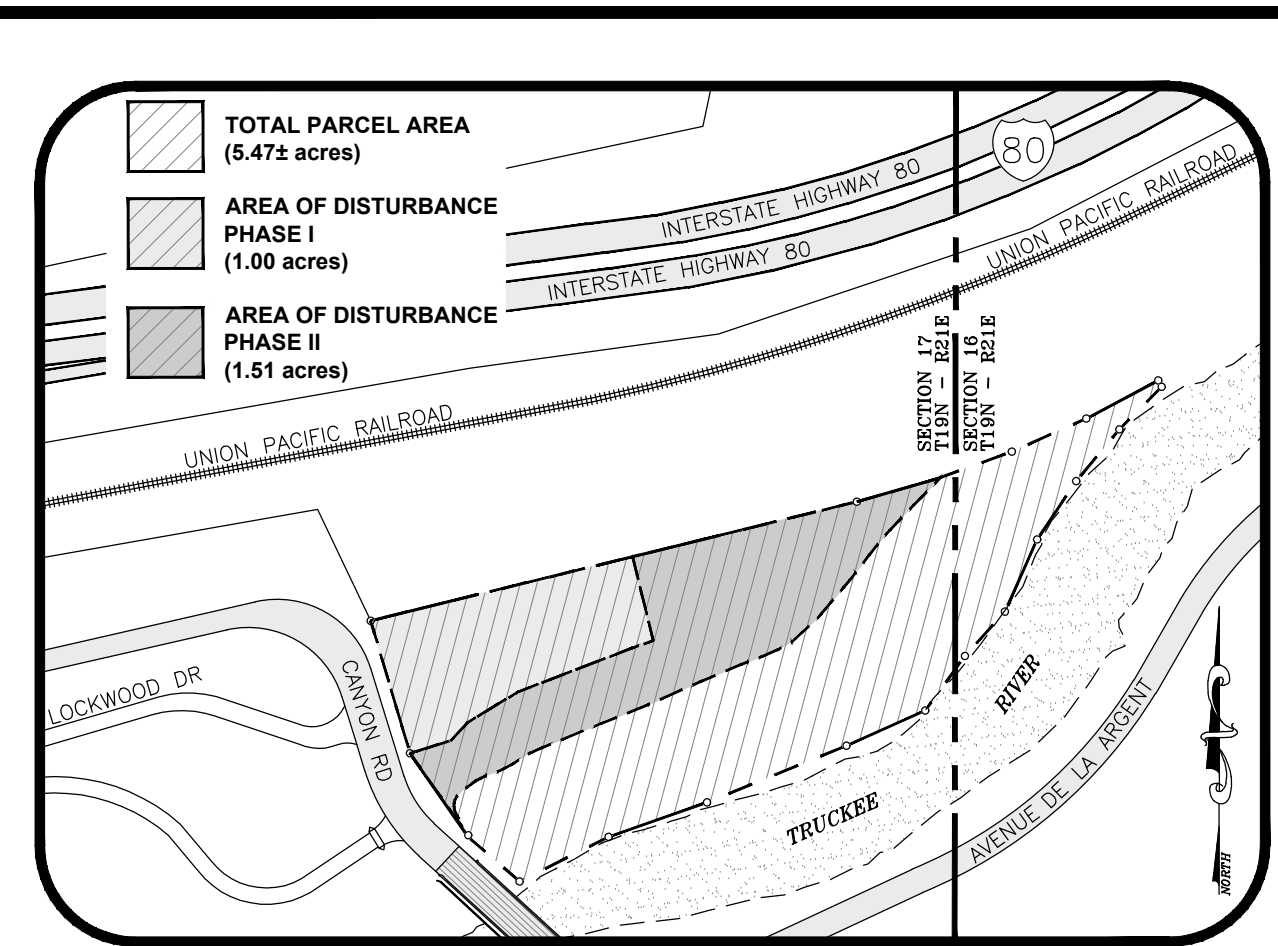
NOTE: - SEE ELECTRICAL PLANS (BY OTHERS) FOR SITE ELECTRICAL REQUIREMENTS INCLUDING AREA LIGHTING, LANDSCAPE IRRIGATION CONTROLS, ETC.

CONSTRUCTION HOURS

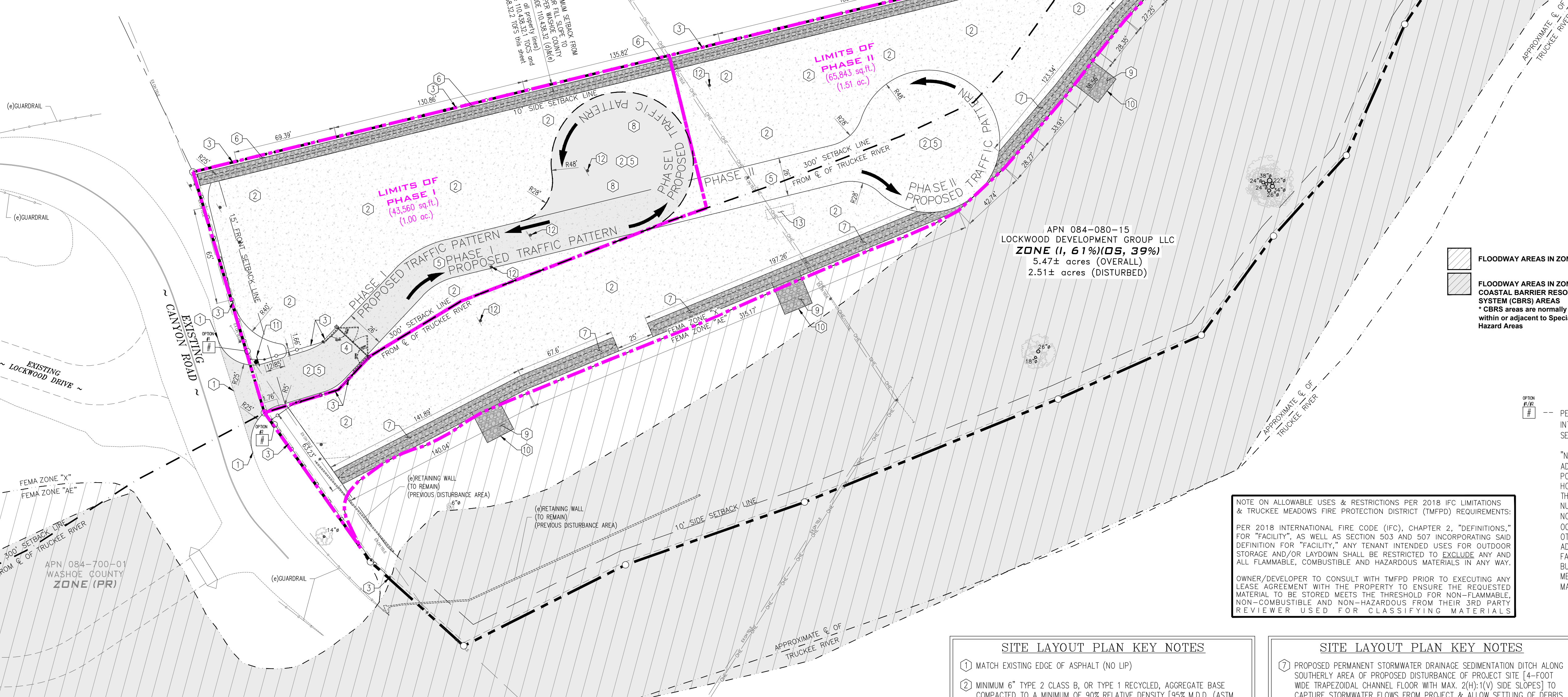
7AM-7PM MONDAY-SATURDAY
NO CONSTRUCTION WORK SUNDAY
(EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)

CONSTRUCTION MACHINERY OR CONSTRUCTION PERSONNEL GATHERINGS ARE ALSO LIMITED TO THESE HOURS.

REUSE OF DOCUMENTS
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SITE KEY PLAN



NOTE ON OUTDOOR STORAGE PER 2018 IFC: PER 2018 INTERNATIONAL FIRE CODE (IFC), SECTION 316.6.2, OUTDOOR STORAGE, "OUTDOOR STORAGE WITHIN THE UTILITY EASEMENT UNDERNEATH HIGH-VOLTAGE TRANSMISSION LINES SHALL BE LIMITED TO NONCOMBUSTIBLE MATERIAL. STORAGE OF HAZARDOUS MATERIALS INCLUDING, BUT NOT LIMITED TO, FLAMMABLE AND COMBUSTIBLE LIQUIDS IS PROHIBITED.

EXCEPTION: COMBUSTIBLE STORAGE, INCLUDING VEHICLES AND FUEL STORAGE FOR BACKUP POWER EQUIPMENT SERVING PUBLIC UTILITY EQUIPMENT, IS ALLOWED, PROVIDED THAT A PLAN INDICATING THE STORAGE CONFIGURATION IS SUBMITTED AND APPROVED."

NOTE: SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.

NOTE: ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

NOTE: ANY PROPERTY FENCING SHALL REMAIN ON PRIVATE LAND AND USE MATERIAL WOULD NOT IMPACT VISUAL RESOURCES TO ADJACENT PUBLIC LANDS OR OTHER USERS IN THE AREA.

NOTE: STRUCTURAL DESIGN OF FOUNDATIONS & BUILDINGS BY OTHERS & UNDER SEPARATE PERMIT (NOT A PART)

NOTE: AN ENCROACHMENT AND EXCAVATION PERMIT WILL BE REQUIRED AND OBTAINED FROM WASHOE COUNTY PUBLIC WORKS BY THE CONTRACTOR PRIOR TO CONSTRUCTION WITH ANY PUBLIC EASEMENT OR RIGHT-OF-WAY

FLOODWAY AREAS IN ZONE AE
FLOODWAY AREAS IN ZONE AE & COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
 *CBRS areas are normally located within or adjacent to Special Flood Hazard Areas

NOTE ON ALLOWABLE USES & RESTRICTIONS PER 2018 IFC LIMITATIONS & TRUCKEE MEADOWS FIRE PROTECTION DISTRICT (TMFPD) REQUIREMENTS:
 PER 2018 INTERNATIONAL FIRE CODE (IFC), CHAPTER 2, "DEFINITIONS," FOR "FACILITY," AS WELL AS SECTION 503 AND 507 INCORPORATING SAID DEFINITION FOR "FACILITY," ANY TENANT INTENDED USES FOR OUTDOOR STORAGE AND/OR LAYDOWN SHALL BE RESTRICTED TO EXCLUDE ANY AND ALL FLAMMABLE, COMBUSTIBLE AND HAZARDOUS MATERIALS IN ANY WAY.
 OWNER/DEVELOPER TO CONSULT WITH TMFPD PRIOR TO EXECUTING ANY LEASE AGREEMENT WITH THE PROPERTY TO ENSURE THE REQUESTED MATERIAL TO BE STORED MEETS THE THRESHOLD FOR NON-FLAMMABLE, NON-COMBUSTIBLE AND NON-HAZARDOUS FROM THEIR 3RD PARTY REVIEWER USED FOR CLASSIFYING MATERIALS

PER THE TRUCKEE MEADOWS FIRE PROTECTION DISTRICT (TMFPD) AMENDMENTS TO THE 2018 INTERNATIONAL FIRE CODE (IFC) AND 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE, SECTION 505.1, ADDRESS IDENTIFICATION:

"NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED MAINTAINED ALL-WEATHER ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY DURING ALL HOURS OF THE DAY AND NIGHT. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS; NUMBERS SHALL NOT BE SPELLED OUT, EACH CHARACTER SHALL BE NOT LESS THAN A NOMINAL HEIGHT OF 6-INCHES WITH A MINIMUM 1/2-INCH STROKE FOR RESIDENTIAL OCCUPANCIES AND 12-INCHES WITH A 1-INCH STROKE IN COMMERCIAL OCCUPANCIES, UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. WHERE REQUIRED BY FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED."

LEGEND

- PROPERTY CORNER
- OVERALL PROPERTY BOUNDARY
- EXIST. ADJACENT PROPERTY BOUNDARY
- EXIST. BUILDING SETBACK LINE
- EXIST. GAS MAIN LINE (MARKED AS KINDER MORGAN)
- EXIST. OVERHEAD ELECTRIC LINE(S)
- EXIST. OVERHEAD TELEPHONE/COMMUNICATIONS LINE(S)
- EXIST. GUARDRAIL
- EXIST. FEMA FLOOD ZONE DELINEATION (SEE PLANS)
- EXIST. POWER POLE
- EXIST. GUY WIRE
- EXIST. SIGN
- EXIST. ELECTRIC METER/BOX
- EXIST. TREE (SIZE AS SHOWN)
- PROPOSED DITCH/SWALE (RIP RAP OR GRAVEL-LINED)
- PROPOSED GRAVEL SURFACE (SEE KEY NOTES THIS SHEET)
- PROPOSED RIP RAP DISPERSION PAD AREA (SEE KEY NOTES THIS SHEET)
- PROPOSED CENTERLINE OF CIRCULATION PATH
- PROPOSED CHAINLINK SECURITY FENCE
- PROPOSED OUTDOOR STORAGE/LAYDOWN AREA DESIGNATION (SEE PLANS)
- PROPOSED FLOWLINE
- PROPOSED SIGN

SITE LAYOUT PLAN KEY NOTES

- 1 MATCH EXISTING EDGE OF ASPHALT (NO LIP)
- 2 MINIMUM 6" TYPE 2 CLASS B, OR TYPE 1 RECYCLED, AGGREGATE BASE COMPACTED TO A MINIMUM OF 90% RELATIVE DENSITY [95% M.D.D. (ASTM D1557)]; SUBGRADE TO BE COMPACTED TO A RELATIVE DENSITY OF 90% [95% M.D.D.] OR BETTER; ACTUAL SECTION TO BE VERIFIED BY A SOILS REPORT
- 3 6'-HIGH CHAIN LINK SECURITY FENCE w/ 3-STRAND BARBED WIRE, CANTED OUTWARD 45° AND BOTTOM TENSION WIRE (SEE CHAIN LINK FENCE DETAIL, SHEET C9); CONTRACTOR TO PROVIDE "HINGE" ACTION FOR FENCING ADJACENT TO PUBLIC RIGHT-OF-WAY (WEST) TO PROVIDE BOTH PHYSICAL SEPARATION & VISUAL SCREENING FROM PUBLIC VIEW TO ACCOMMODATE WASHOE COUNTY NUISANCE REGULATIONS
- 4 MANUAL-SWINGING CHAIN LINK DOUBLE SECURITY GATE [28' OVERALL WIDTH, 14' PER GATE PANEL]; CONTRACTOR TO PROVIDE "HINGE" ACTION FOR EACH GATE TO ALLOW OPENING OF GATE PANELS BOTH INWARD AND OUTWARD; PROVIDE KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS, IF REQUIRED BY JURISDICTIONAL ENTITY
- 5 PROPOSED PATH OF VEHICULAR CIRCULATION THROUGH PROJECT SITE (PHASE I & PHASE II); TRAFFIC PATTERN TO BE TWO-DIRECTIONAL AS SHOWN ON PLANS; NO STRIPING OR OTHERWISE MARKING OF GROUND PROPOSED (FOR REPRESENTATIONAL PURPOSES ONLY)
- 6 PROPOSED PERMANENT STORMWATER DRAINAGE DIVERSION DITCH ALONG NORTHERLY BOUNDARY OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO DIVERT STORMWATER FLOWS FROM UNION PACIFIC RAILROAD RIGHT-OF-WAY AROUND AREA TO BE DISTURBED (SEE GRADING PLAN, SHEET C4)

SITE LAYOUT PLAN KEY NOTES

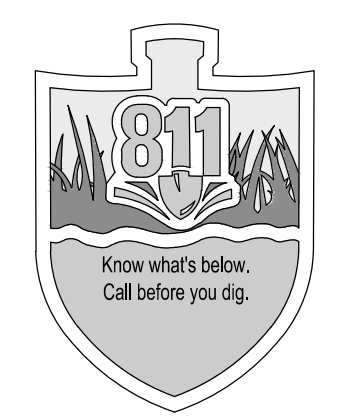
- 7 PROPOSED PERMANENT STORMWATER DRAINAGE SEDIMENTATION DITCH ALONG SOUTHERLY AREA OF PROPOSED DISTURBANCE OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO CAPTURE STORMWATER FLOWS FROM PROJECT & ALLOW SETTLING OF DEBRIS AND OTHER SILT/SEDIMENT TRANSPORTED TO DITCH PRIOR TO INFILTRATION OR RELEASE OVER SPILLWAY WEIR AS SHOWN (SEE GRADING PLAN, SHEET C4)
 - 8 TEMPORARY TURNAROUND AREA FOR PHASE I OF IMPROVEMENTS
 - 9 PROPOSED STONE RIP RAP PAD [HAND PLACED 9" MIN. THICKNESS LAYER OF NATIVE STONE, MIN. STONE SIZE 6" ANY DIMENSION, WITH MIRAFI 500X WOVEN GEOTEXTILE FABRIC OR EQUAL UNDERLAYMENT; FABRIC EDGES TO BE KEVED INTO SOIL MIN. 12" DEPTH] (SEE STONE RIP RAP DETAIL, SHEET C9)
 - 10 ALL MITIGATED STORMWATER RUNOFF FLOWS RELEASED FROM SEDIMENTATION DITCH, DISPATED ACROSS PROPOSED RIP RAP PAD & DIRECTED TOWARDS FINAL RECEIVING BODY (TRUCKEE RIVER)
 - 11 PROPOSED "STOP" SIGN TO BE PLACED FACING THE SUBJECT PROPERTY (PRIVATE) AT THE WESTERLY SITE EGRESS, ON THE NORTH SIDE OF THE DRIVEWAY [QTY:1] (REFER TO WASHOE COUNTY DETAILS W-143A, W-143B & W-143C ON SHEET C8 FOR STANDARD TRAFFIC SIGN INSTALLATION DETAILS & NOTES)
 - 12 REMOVE & DISPOSE/RELOCATE OFF SITE EXIST. SIGN
 - 13 REMOVE & DISPOSE EXIST. CONCRETE SLAB
- NOTE: ITEMS TO BE REMOVED AND DISPOSED OF OFF SITE AT CONTRACTOR'S EXPENSE.

GENERAL NOTES

- 1) NO EXISTING BUILDINGS ON SITE.
- 2) NO PROMINENT LANDMARKS, ROCK OUTCROPPINGS EXIST ON SITE.
- 3) A PORTION OF THE DEVELOPMENT (AS SHOWN) IS SUBJECT TO INUNDATION OR STORMWATER OVERFLOW AS SHOWN ON THE ADOPTED FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD BOUNDARY AND FLOODWAY MAPS.
- 4) NO AREAS WITH SLOPES GREATER THAN 15% EXIST ON SITE.
- 5) NO WETLAND AREAS EXIST ON SITE.
- 6) THE PROPOSED SITE IS WITHIN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.
- 7) ALL PROPOSED DIRTWORK WILL BE CONTAINED WITHIN THE PARAMETERS OF THE SUBJECT PROPERTY. NO SOIL WILL BE IMPORTED OR EXPORTED.
- 8) ALL SIGNS AND STRIPING TO CONFORM WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 9) ALL SURVEY CONTROL & PROPERTY CORNER MONUMENTS ARE TO BE PROTECTED & MAINTAINED BY THE CONTRACTOR.
- 10) THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING WITH THE DIMENSIONS AND COORDINATES ON THESE PLANS. THE OWNER WILL PROVIDE CONVENIENT BENCHMARK AS SHOWN HEREON.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES, BEFORE EXCAVATION BEGINS.
- 12) CARGO CONTAINERS, IF APPLICABLE, SHALL BE PLACED ON PADS OR RISERS TO AVOID DETERIORATION AND SOIL CONTAMINATION.
- 13) NO PERSON SHALL BE ALLOWED TO LIVE WITHIN A CARGO CONTAINER.
- 14) ALL VEHICLES STORED ON THE SITE, OPERABLE OR NOT, SHALL HAVE GROUND PROTECTORS PROVIDED TO MITIGATE ANY LEAKAGE.
- 15) OWNER/DEVELOPER SHALL NOT USE SEMI-TRAILERS FOR LONG TERM STORAGE OF OTHER MATERIALS WHEREIN LONG TERM STORAGE IS MORE THAN 1 MONTH.

CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY
 NO CONSTRUCTION WORK SUNDAY
 (EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)
 CONSTRUCTION MACHINERY OR CONSTRUCTION PERSONNEL GATHERINGS ARE ALSO LIMITED TO THESE HOURS.



NO.	DATE

PROFESSIONAL ENGINEER-STATE OF NEVADA
 DOUGLAS FELLEZ
 Exp: 6/30/27
 No. 33679
 10-08-2025

CIVIL ENGINEERING CONSULTANTS
 8428 DOBBIE DIAMOND PARKWAY, STE. A
 PH (775) 352-7800 - FAX (775) 352-7889

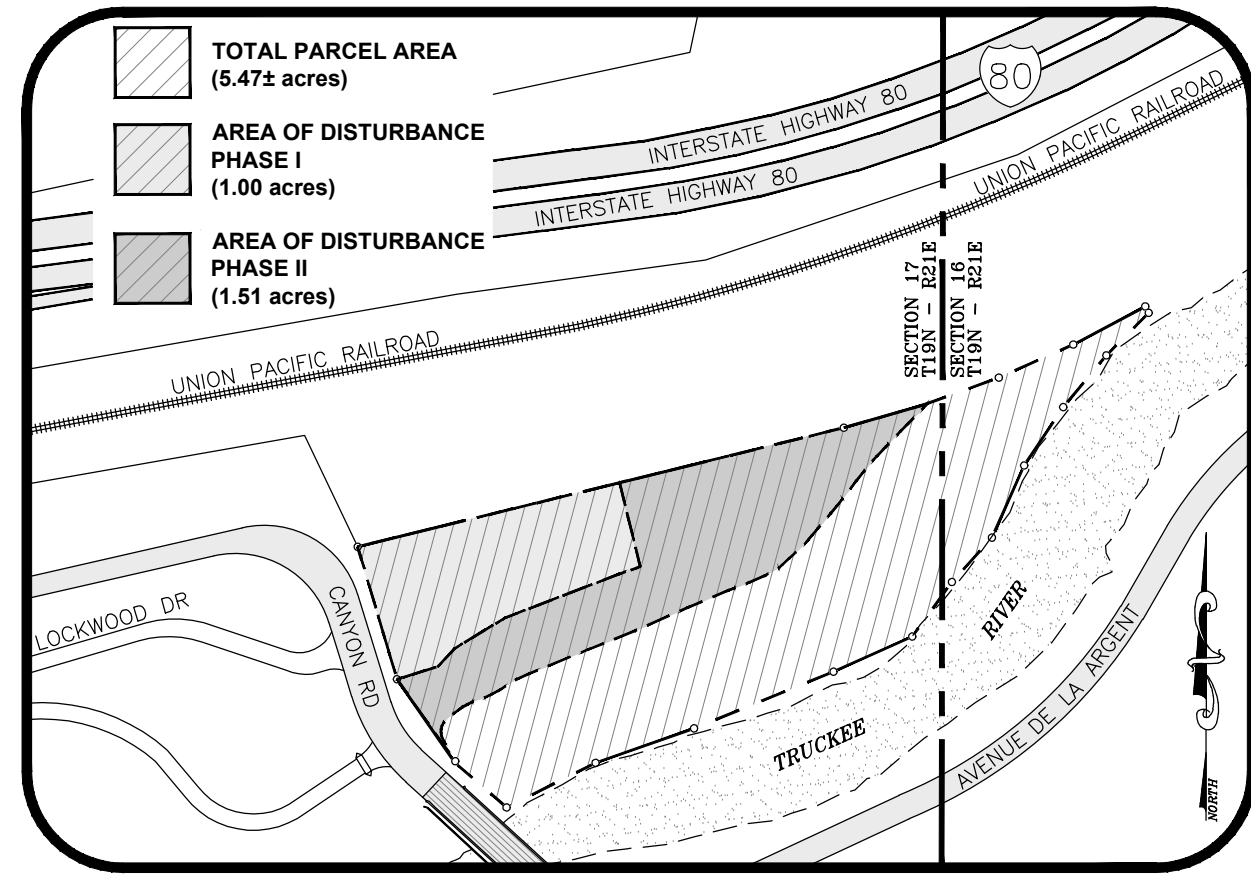


LOCKWOOD DEVELOPMENT GROUP LLC
 CIVIL IMPROVEMENT PLANS FOR
 LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
 PHASE I & PHASE II
 APN: 084-080-15
 WASHOE COUNTY NEVADA
 SITE LAYOUT PLAN

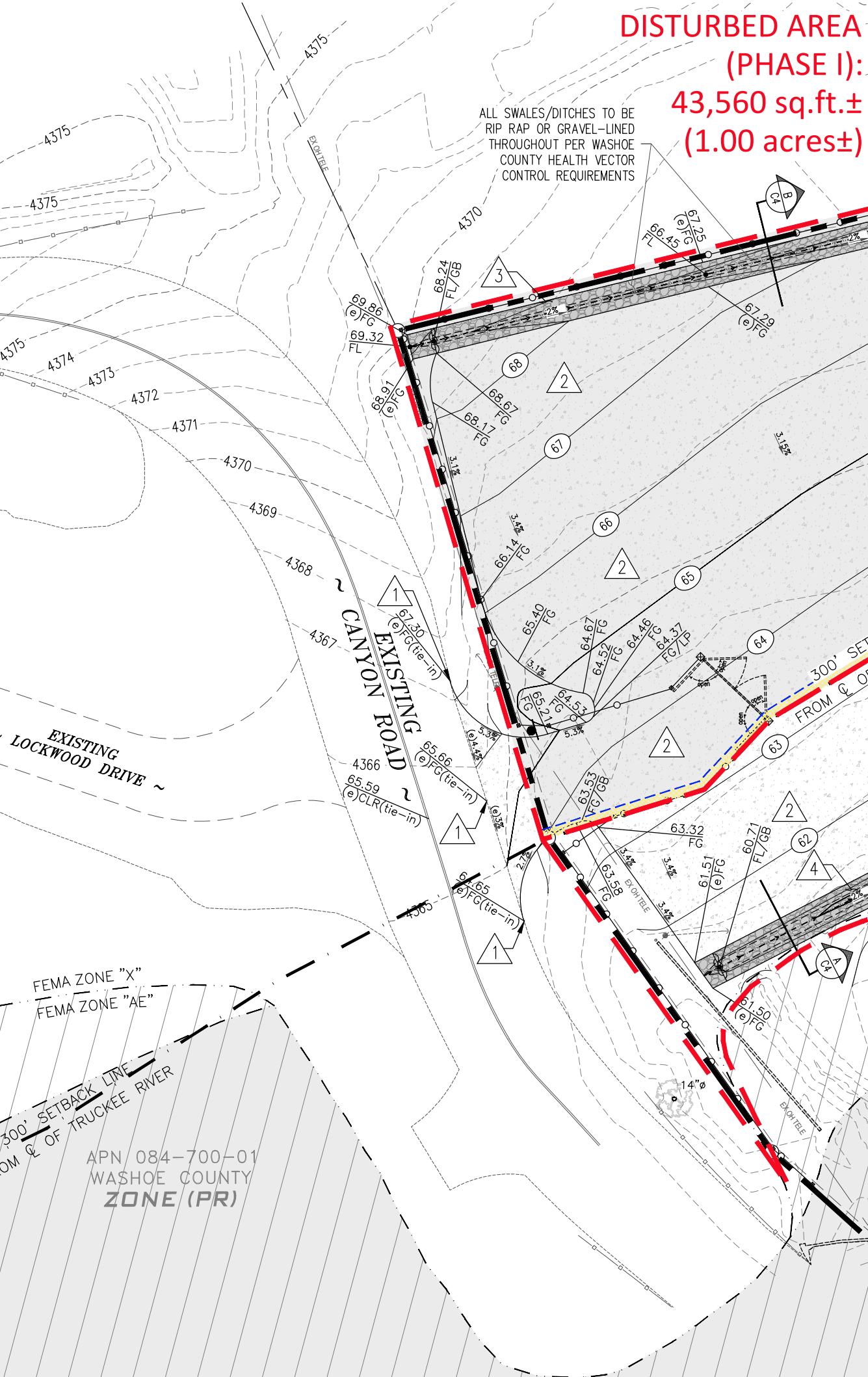
JOB No. Lockwood001
 DATE: OCTOBER 8, 2025
 VERT. SCALE: NA
 HORIZ. SCALE: 1"=40'
 DRAWN BY: DAF
 CHECKED BY: JAG
 APPROVED BY: DAF

SHEET C-3
 OF 9 SHEETS

REF SHEET C-2 FOR GENERAL NOTES
 REF SHEET C-2 FOR ADDITIONAL SITE LAYOUT NOTES



SITE KEY PLAN

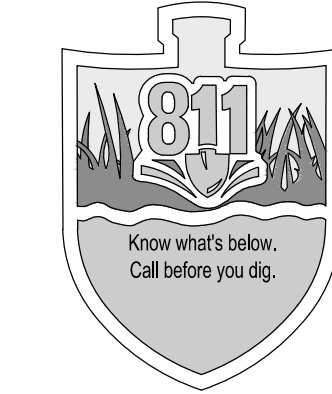


- SLOPE STABILIZATION NOTES**
1. ALL CUT AND FILL SLOPES SHALL BE TOP DRESSED, OR REVEGETATED, TO REDUCE EROSION POTENTIAL.
 2. HYDROSEED CUT AND FILL SLOPES WITH A NATIVE VEGETATION SEED MIX.
 3. PROVIDE TEMPORARY IRRIGATION, AT A MINIMUM, TO ALL RESEDED AREAS UNTIL THE SEED IS WELL ESTABLISHED, APPROX. 1-2 GROWING SEASONS.
 4. ALL RESEDED AREAS SHALL BE IRRIGATED OR MOWED AS NECESSARY TO REDUCE FIRE HAZARDS.

NOTE ON PERMANENT, POST-CONSTRUCTION STABILIZATION OF DISTURBED AREAS:
 ALL DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 30 DAYS SHALL BE TREATED WITH A DUST PALLIATIVE. DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 45 DAYS SHALL BE REVEGETATED. METHODS AND SEED MIX MUST BE APPROVED BY THE COUNTY ENGINEER WITH TECHNICAL ASSISTANCE FROM THE WASHOE-STONEY CONSERVATION DISTRICT. THE OWNER/DEVELOPER SHALL SUBMIT A REVEGETATION PLAN TO THE WASHOE-STONEY CONSERVATION DISTRICT FOR REVIEW.

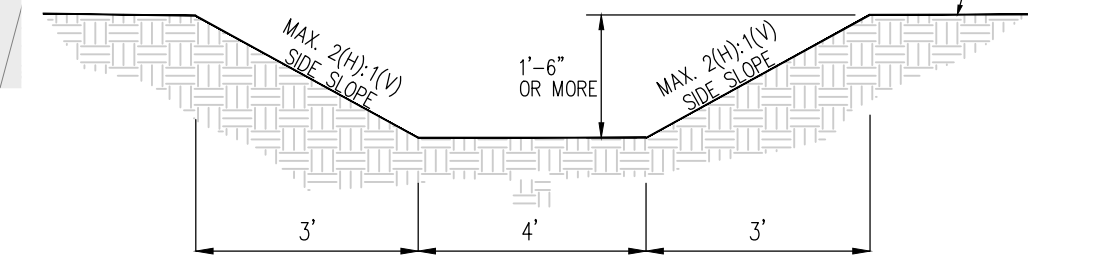
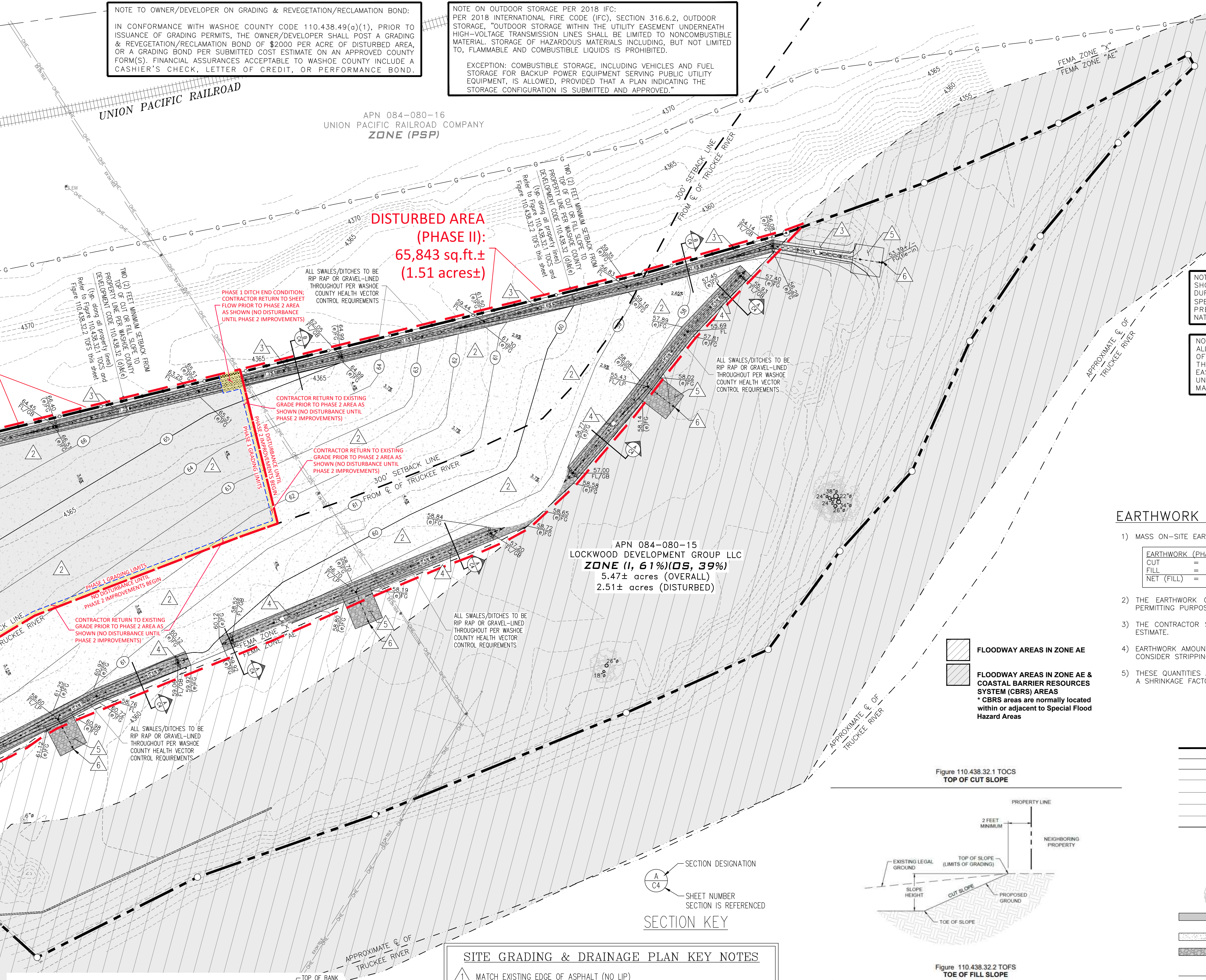
NOTE:
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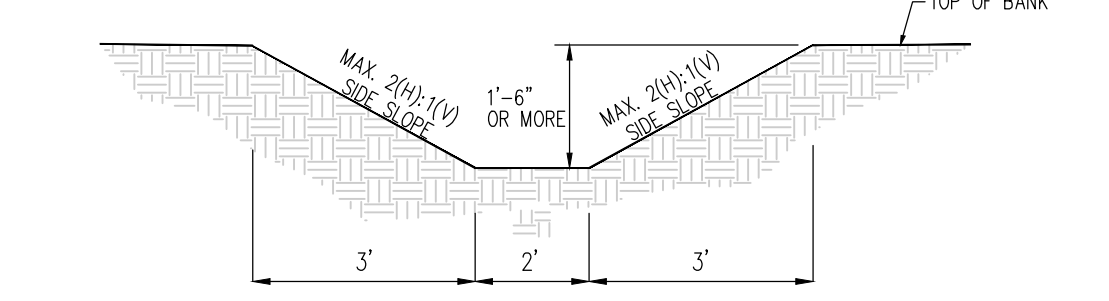


NOTE TO OWNER/DEVELOPER ON GRADING & REVEGETATION/RECLAMATION BOND:
 IN CONFORMANCE WITH WASHOE COUNTY CODE 110.438.49(a)(1), PRIOR TO ISSUANCE OF GRADING PERMITS, THE OWNER/DEVELOPER SHALL POST A GRADING & REVEGETATION/RECLAMATION BOND OF \$2000 PER ACRE OF DISTURBED AREA, OR A GRADING BOND PER SUBMITTED COST ESTIMATE ON AN APPROVED COUNTY FORM(S). FINANCIAL ASSURANCES ACCEPTABLE TO WASHOE COUNTY INCLUDE A CASHIER'S CHECK, LETTER OF CREDIT, OR PERFORMANCE BOND.

NOTE ON OUTDOOR STORAGE PER 2018 IFC:
 PER 2018 INTERNATIONAL FIRE CODE (IFC) SECTION 316.6.2, OUTDOOR STORAGE, "OUTDOOR STORAGE WITHIN THE UTILITY EASEMENT UNDERNEATH HIGH-VOLTAGE TRANSMISSION LINES SHALL BE LIMITED TO NONCOMBUSTIBLE MATERIAL. STORAGE OF HAZARDOUS MATERIALS INCLUDING, BUT NOT LIMITED TO, FLAMMABLE AND COMBUSTIBLE LIQUIDS IS PROHIBITED."
 EXCEPTION: COMBUSTIBLE STORAGE, INCLUDING VEHICLES AND FUEL STORAGE FOR BACKUP POWER EQUIPMENT SERVING PUBLIC UTILITY EQUIPMENT, IS ALLOWED, PROVIDED THAT A PLAN INDICATING THE STORAGE CONFIGURATION IS SUBMITTED AND APPROVED.



PERMANENT STORMWATER DIVERSION DRAINAGE DITCH SECTION (TYP.)
 N.T.S.



PERMANENT STORMWATER DIVERSION DRAINAGE DITCH SECTION (TYP.)
 N.T.S.

SITE GRADING & DRAINAGE PLAN KEY NOTES

1. MATCH EXISTING EDGE OF ASPHALT (NO LIP)
 2. MINIMUM 6" TYPE 2 CLASS B, OR TYPE 1 RECYCLED, AGGREGATE BASE COMPACTED TO A MINIMUM OF 90% RELATIVE DENSITY [95% M.D.D. (ASTM D1557)]; SUBGRADE TO BE COMPACTED TO A RELATIVE DENSITY OF 90% [95% M.D.D.] OR BETTER; ACTUAL SECTION TO BE VERIFIED BY A SOILS REPORT
 3. PROPOSED PERMANENT STORMWATER DRAINAGE DIVERSION DITCH ALONG NORTHERLY BOUNDARY OF PROJECT SITE [2-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO DIVERT STORMWATER FLOWS FROM UNION PACIFIC RAILROAD RIGHT-OF-WAY AROUND AREA TO BE DISTURBED [Q_{cap}=42.82 cfs]
 4. PROPOSED PERMANENT STORMWATER DRAINAGE SEDIMENTATION DITCH ALONG SOUTHERLY AREA OF PROPOSED DISTURBANCE OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO CAPTURE STORMWATER FLOWS FROM PROJECT & ALLOW SETTLING OF DEBRIS AND OTHER SILT/SEDIMENT TRANSPORTED TO DITCH PRIOR TO INFILTRATION OR RELEASE OVER SPILLWAY WEIR AS SHOWN
 WEST: Q_{cap}=XX.XX cfs / CENTER: Q_{cap}=XX.XX cfs / EAST: Q_{cap}=XX.XX cfs
 5. PROPOSED STONE RIP RAP PAD [HAND PLACED 9" MIN. THICKNESS LAYER OF NATIVE STONE, MIN. STONE SIZE 6" ANY DIMENSION, WITH MIRAFI 500X WOVEN GEOTEXTILE FABRIC OR EQUAL UNDERLAYMENT; FABRIC EDGES TO BE KEVED INTO SOIL MIN. 12" DEPTH] (SEE STONE RIP RAP DETAIL, SHEET C9)
 6. ALL MITIGATED STORMWATER RUNOFF FLOWS RELEASED FROM SEDIMENTATION DITCH, DISSIPATED ACROSS PROPOSED RIP RAP PAD & DIRECTED TOWARDS FINAL RECEIVING BODY (TRUCKEE RIVER)
 7. CONTRACTOR PROVIDE OVERFLOW SPILLWAY WEIR [20'(W)x6'(D)] FOR MITIGATED RELEASE OF ANY EXCESS STORMWATER FROM SEDIMENTATION DITCH; EMBED STONE RIP RAP IN BASE OF WEIR, MIN. STONE SIZE 6" ANY DIMENSION
- NOTE: ITEMS TO BE REMOVED AND DISPOSED OF OFF SITE AT CONTRACTOR'S EXPENSE.

Figure 110.438.32.1 TOCS
 TOP OF CUT SLOPE

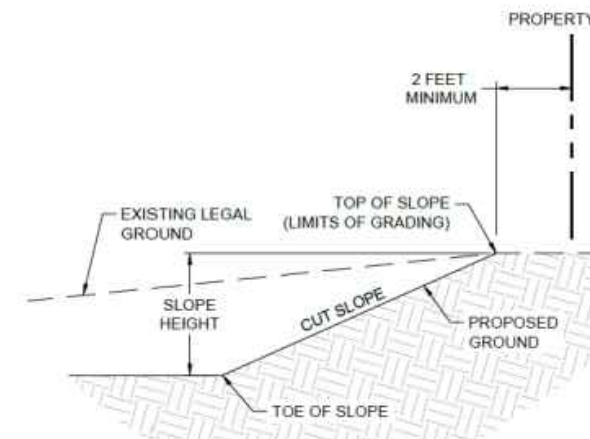
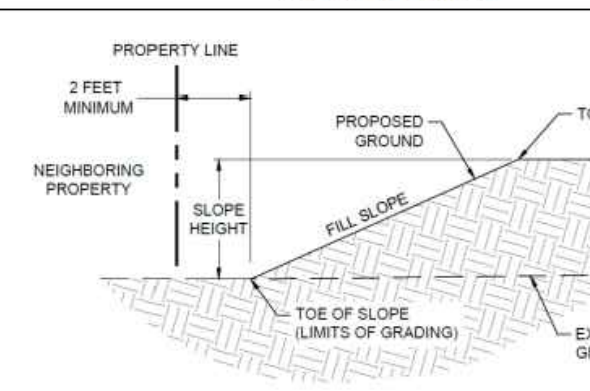


Figure 110.438.32.2 TOFS
 TOE OF FILL SLOPE



(f) **Modification of Slope Location.** The setback standards of this section may be reduced with the approval of a director's modification of standards by the Director of Planning and Building, upon recommendation by the County Engineer. The Building Official or County Engineer may require an investigation and recommendation by a qualified professional to demonstrate that the intent of this section has been satisfied.

NOTE TO CONTRACTORS:
 PER WASHOE COUNTY DEVELOPMENT CODE 110.438.32(d), TOP OF CUT SLOPE: THE TOP OF CUT SLOPES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE PROPERTY LINE. THE SETBACK MAY NEED TO BE INCREASED FOR ANY REQUIRED INTERCEPTOR DRAINS (See Figure 110.438.32.1 TOCS).

PER WASHOE COUNTY DEVELOPMENT CODE 110.438.32(e), TOE OF FILL SLOPE: THE TOE OF FILL SLOPES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE PROPERTY LINE (See Figure 110.438.32.2 TOFS), WHERE A FILL SLOPE IS TO BE LOCATED NEAR THE SITE BOUNDARY AND THE ADJACENT OFF-SITE PROPERTY IS DEVELOPED. SPECIAL PRECAUTIONS SHALL BE INCORPORATED IN THE WORK AS THE BUILDING OFFICIAL OR COUNTY ENGINEER DEEMS NECESSARY TO PROTECT THE ADJOINING PROPERTY FROM DAMAGE AS A RESULT OF SUCH GRADING. THESE PRECAUTIONS MAY INCLUDE, BUT ARE NOT LIMITED TO:

1. ADDITIONAL SETBACKS.
2. PROVISIONS FOR RETAINING WALLS OR INTERCEPTOR DRAINS.
3. MECHANICAL OR CHEMICAL TREATMENT OF THE FILL SLOPE SURFACE TO MINIMIZE EROSION.
4. PROVISIONS FOR THE CONTROL OF SURFACE WATERS.

NOTE:
 SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.

NOTE:
 ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

NOTE:
 ANY PROPERTY FENCING SHALL REMAIN ON PRIVATE LAND AND USE MATERIAL WOULD NOT IMPACT VISUAL RESOURCES TO ADJACENT PUBLIC LANDS OR OTHER USERS IN THE AREA.

NOTE:
 STRUCTURAL DESIGN OF FOUNDATIONS & BUILDINGS BY OTHERS & UNDER SEPARATE PERMIT (NOT A PART)

EARTHWORK QUANTITIES

1) MASS ON-SITE EARTHWORK QUANTITIES ARE ESTIMATED AS FOLLOWS:

EARTHWORK (PHASE 1)	EARTHWORK (PHASE 2)
CUT = 387 CY	CUT = 585 CY
FILL = 378 CY	FILL = 570 CY
NET (FILL) = 9 CY	NET (FILL) = 15 CY

- 2) THE EARTHWORK QUANTITIES PRESENTED HERE ARE ESTIMATES FOR PERMITTING PURPOSES ONLY.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN EARTHWORK ESTIMATE.
- 4) EARTHWORK AMOUNTS SHOWN ARE INSTALLED QUANTITIES AND DO NOT CONSIDER STRIPPING, CLEARING, OR GRUBBING.
- 5) THESE QUANTITIES ARE BASED ON AN EXPANSION FACTOR OF 1.0 AND A SHRINKAGE FACTOR OF 1.0.

LEGEND

- PROPERTY CORNER
- OVERALL PROPERTY BOUNDARY
- EXIST. ADJACENT PROPERTY BOUNDARY
- EXIST. SETBACK LINE
- EXIST. GAS MAIN LINE (MARKED AS KINDER MORGAN)
- EXIST. OVERHEAD ELECTRIC LINE(S)
- EXIST. OVERHEAD TELEPHONE/COMMUNICATIONS LINE(S)
- EXIST. GUARDRAIL
- EXIST. FEMA FLOOD ZONE DELINEATION (SEE PLANS)
- EXIST. POWER POLE
- EXIST. GUY WIRE
- EXIST. SIGN
- EXIST. ELECTRIC METER/BOX
- EXIST. TREE (SIZE AS SHOWN)
- PROPOSED DITCH/SWALE (RIP RAP OR GRAVEL-LINED)
- PROPOSED GRAVEL SURFACE (SEE KEY NOTES THIS SHEET)
- PROPOSED RIP RAP DISSIPATION PAD AREA (SEE KEY NOTES THIS SHEET)
- PROPOSED CENTERLINE OF CIRCULATION PATH
- PROPOSED CHAINLINK SECURITY FENCE
- PROPOSED OUTDOOR STORAGE/LAYDOWN AREA DESIGNATION (SEE PLANS)
- PROPOSED FLOWLINE
- EXIST. CONTOUR LINES
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED GRADE BREAK
- PROPOSED SIGN
- EXIST. CENTERLINE OF ROAD
- EXIST. FINISHED GRADE
- PROPOSED ELEVATION @ FLOWLINE
- PROPOSED ELEVATION @ HIGH POINT
- PROPOSED ELEVATION @ LOW POINT
- PROPOSED ELEVATION @ TOP OF FINISHED GRADE
- PROPOSED ELEVATION @ GRADE BREAK
- EXIST. DIRECTION OF FLOW/SLOPE
- PROPOSED DIRECTION OF FLOW/SLOPE

REF SHEET C-2 FOR GENERAL NOTES
 REF SHEET C-2 FOR ADDITIONAL SITE LAYOUT NOTES

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NO.	DATE

PROFESSIONAL ENGINEER-STATE OF NEVADA
DOUGLAS FELLEZ
 Exp: 6/30/27
 CIVIL
 No. 33679
 10-08-2025

CIVIL ENGINEERING CONSULTANTS
 9428 DOUGLAS DIAMOND PARKWAY, STE. A
 RENO, NEVADA 89521
 PH: (775) 352-7800 - FAX: (775) 352-7898

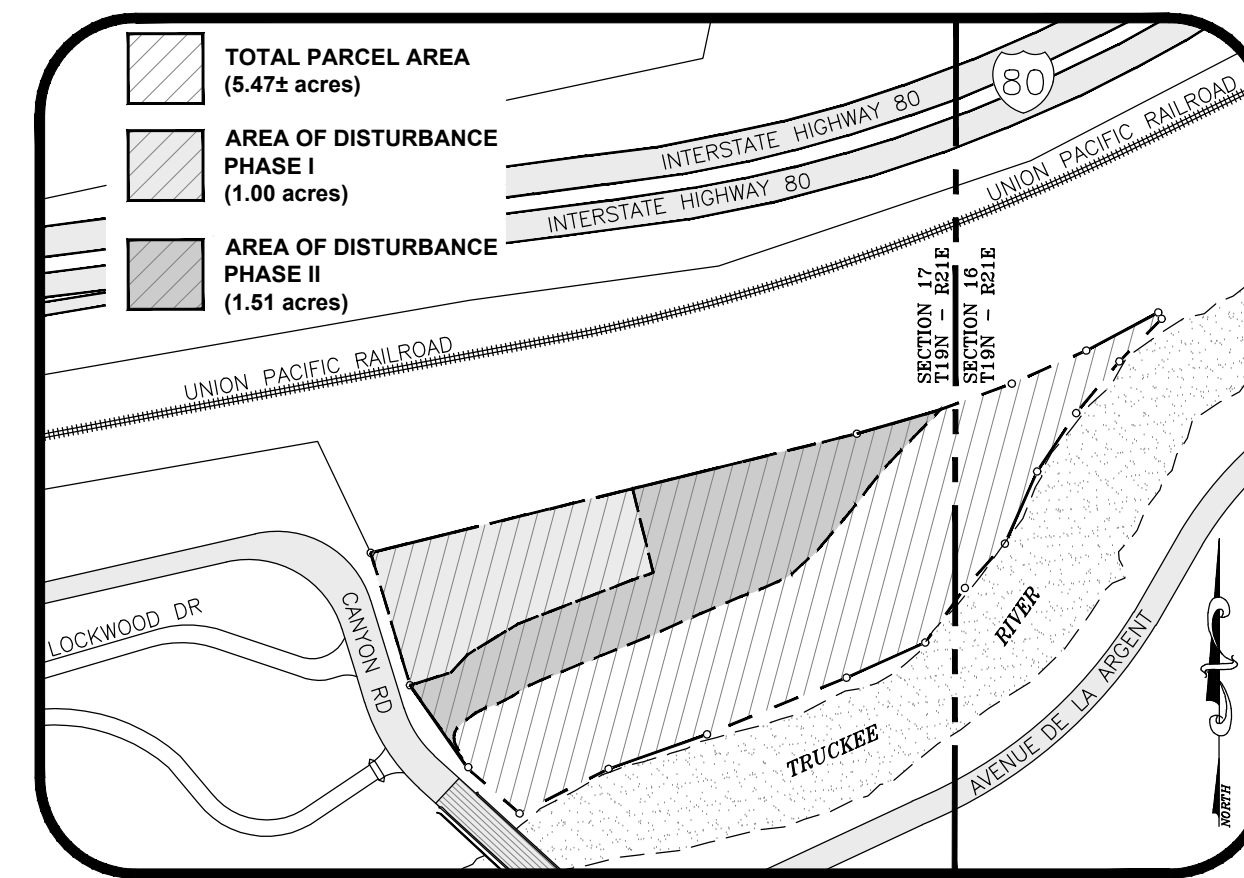


LOCKWOOD DEVELOPMENT GROUP LLC
 CIVIL IMPROVEMENT PLANS FOR
 LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
 PHASE I & PHASE II
 APN: 084-080-15
SITE GRADING & DRAINAGE PLAN
 WASHOE COUNTY, NEVADA

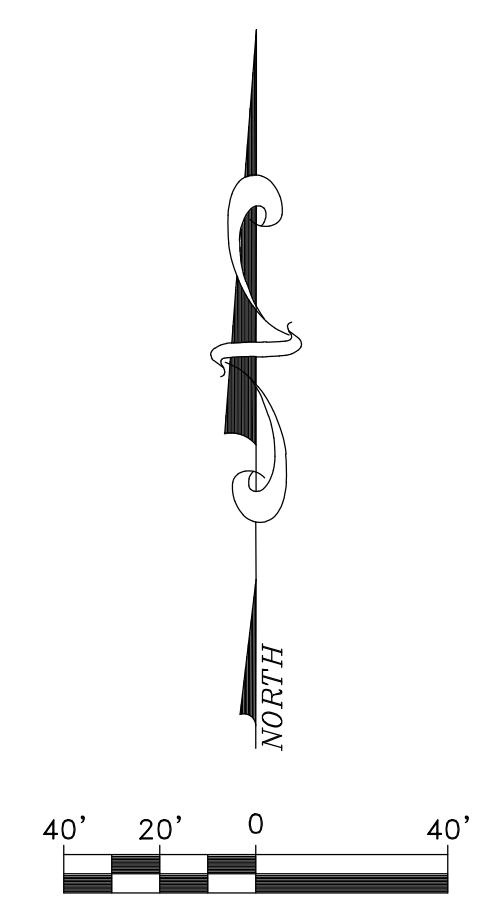
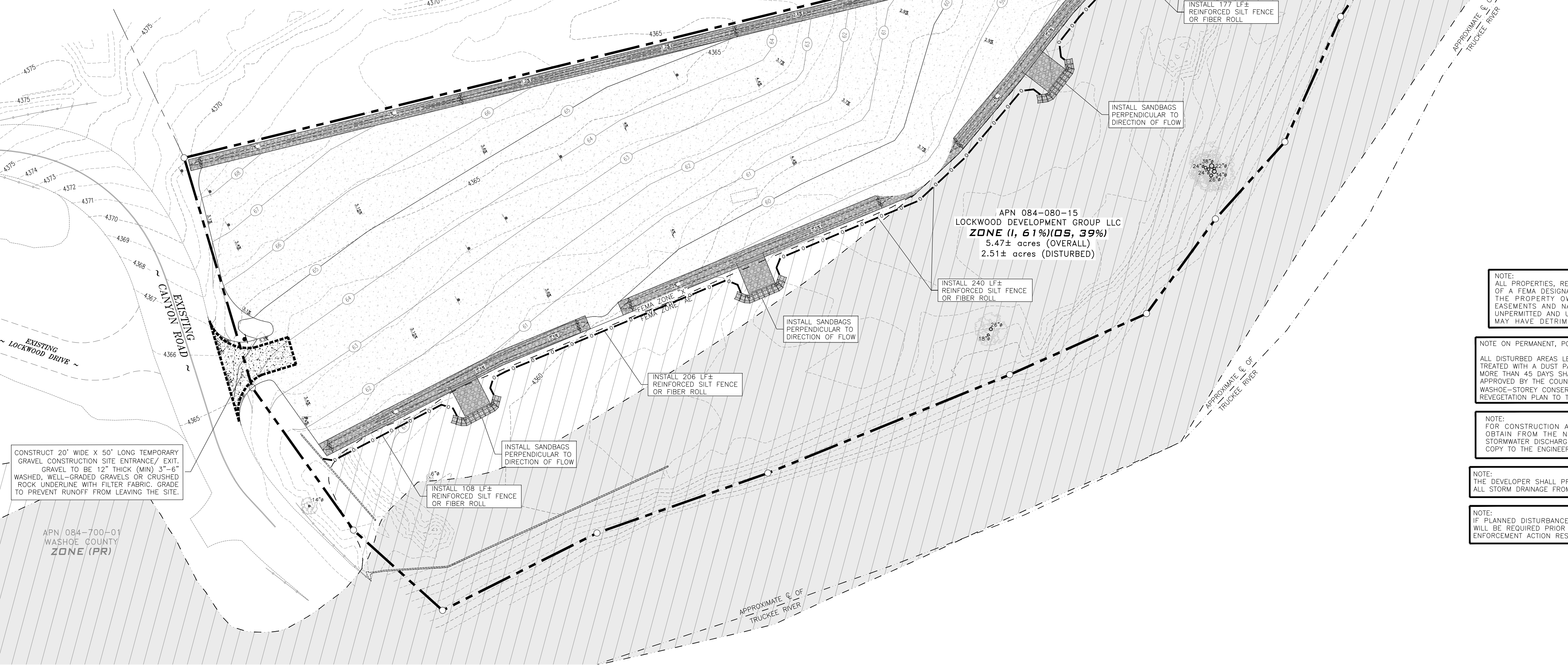
JOB No. Lockwood001
 DATE: OCTOBER 8, 2025
 VERT. SCALE: NA
 HORIZ. SCALE: 1"=40'
 DRAWN BY: DAF
 CHECKED BY: JAG
 APPROVED BY: DAF

SHEET C-4
 OF 9 SHEETS

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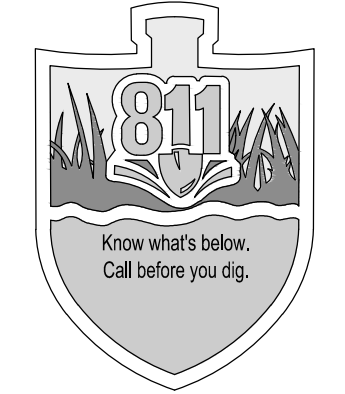


SITE KEY PLAN



CONSTRUCT 20' WIDE X 50' LONG TEMPORARY GRAVEL CONSTRUCTION SITE ENTRANCE / EXIT. GRAVEL TO BE 12" THICK (MIN) 3"-4" WASHED, WELL-GRADED GRAVELS OR CRUSHED ROCK UNDERLINE WITH FILTER FABRIC. GRADE TO PREVENT RUNOFF FROM LEAVING THE SITE.

APN 084-700-01
 WASHOE COUNTY
 ZONE (PR)



CONSTRUCTION HOURS
 7AM-7PM MONDAY-SATURDAY
 NO CONSTRUCTION WORK SUNDAY
 (EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)
 CONSTRUCTION MACHINERY OR CONSTRUCTION PERSONNEL GATHERINGS ARE ALSO LIMITED TO THESE HOURS.

NOTE:
 ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

NOTE ON PERMANENT, POST-CONSTRUCTION STABILIZATION OF DISTURBED AREAS:
 ALL DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 30 DAYS SHALL BE TREATED WITH A DUST PALLIATIVE. DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 45 DAYS SHALL BE REVEGETATED. METHODS AND SEED MIX MUST BE APPROVED BY THE COUNTY ENGINEER WITH TECHNICAL ASSISTANCE FROM THE WASHOE-STOERY CONSERVATION DISTRICT. THE OWNER/DEVELOPER SHALL SUBMIT A REVEGETATION PLAN TO THE WASHOE-STOERY CONSERVATION DISTRICT FOR REVIEW.

NOTE:
 FOR CONSTRUCTION AREAS LARGER THAN 1 ACRE, THE DEVELOPER SHALL OBTAIN FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION A STORMWATER DISCHARGE PERMIT OR WAIVER FOR CONSTRUCTION AND SUBMIT A COPY TO THE ENGINEERING DIVISION PRIOR TO ISSUANCE OF A GRADING PERMIT.

NOTE:
 THE DEVELOPER SHALL PROVIDE PRETREATMENT FOR PETROCHEMICALS AND SILT FOR ALL STORM DRAINAGE FROM THE SITE TO THE SATISFACTION OF THE COUNTY ENGINEER.

NOTE:
 IF PLANNED DISTURBANCE FOR SITE DEVELOPMENT THEN A DUST CONTROL PERMIT WILL BE REQUIRED PRIOR TO BREAKING GROUND. FAILURE TO DO SO MAY RESULT IN ENFORCEMENT ACTION RESULTING IN A NOTICE OF VIOLATION WITH ASSOCIATED FINES.

LEGEND	
○	PROPERTY CORNER
—	PROJECT PROPERTY BOUNDARY
---	EXIST. PROPERTY BOUNDARY LINE
4350	EXIST. CONTOUR LINES
45	PROPOSED INDEX CONTOUR
44	PROPOSED INTERMEDIATE CONTOUR
▬	PROPOSED REINFORCED SILT FENCE
▬	PROPOSED SAND BAGS
(e) 1.3%	EXIST. DIRECTION OF FLOW/SLOPE
2.6%	PROPOSED DIRECTION OF FLOW/SLOPE

NO.	DATE

PROFESSIONAL ENGINEER-STATE OF NEVADA
 DOUGLAS FELLEZ
 Exp: 6/30/27
 CIVIL
 No. 33679
 10-08-2025

CIVIL ENGINEERING CONSULTANTS
 9428 BOULDER DIAMOND PARKWAY, STE A
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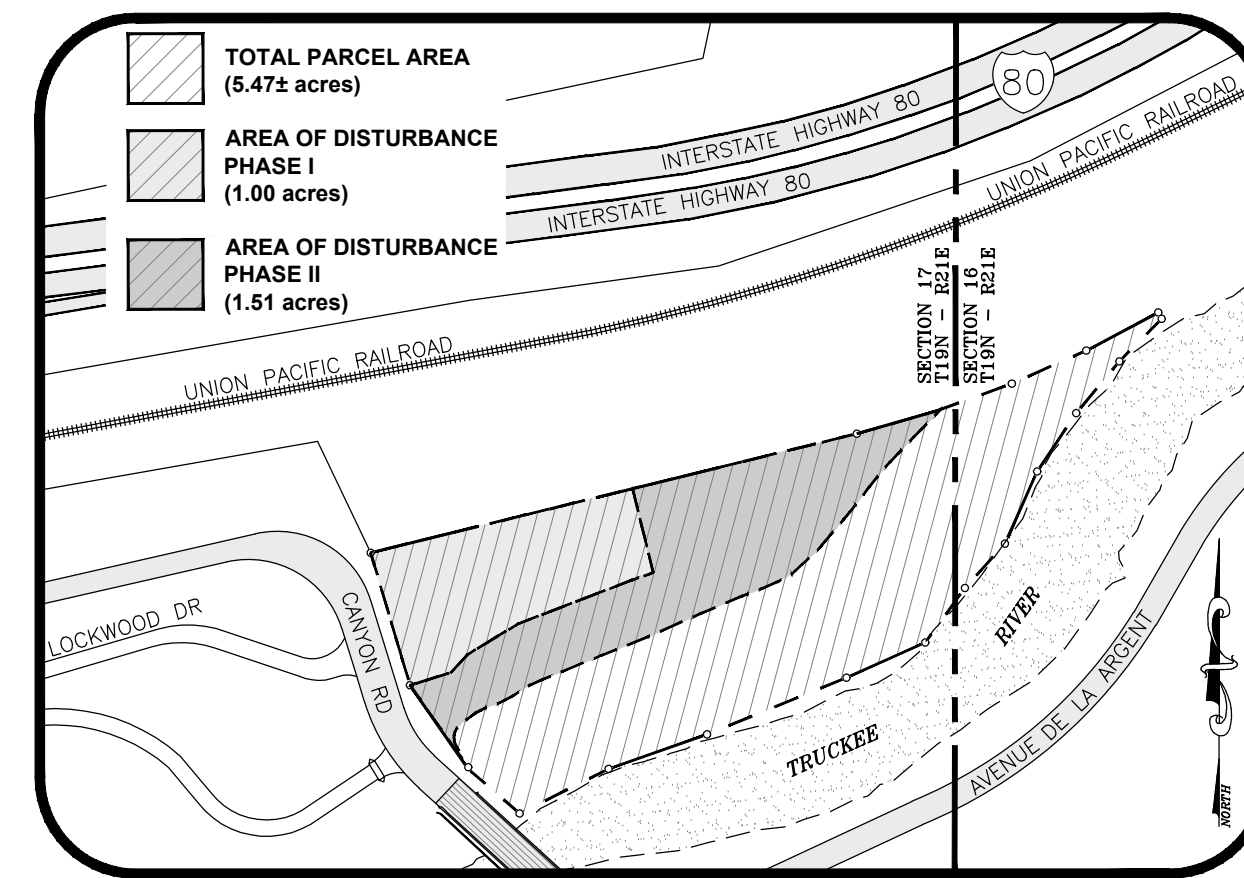
LOCKWOOD DEVELOPMENT GROUP LLC
 CIVIL IMPROVEMENT PLANS FOR
 LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
 PHASE I & PHASE II
 APN: 084-080-15
 STORMWATER POLLUTION PREVENTION EXHIBIT
 WASHOE COUNTY NEVADA

JOB No. Lockwood001
 DATE: OCTOBER 8, 2025
 VERT. SCALE: NA
 HORIZ. SCALE: 1"=40'
 DRAWN BY: DAF
 CHECKED BY: JAG
 APPROVED BY: DAF

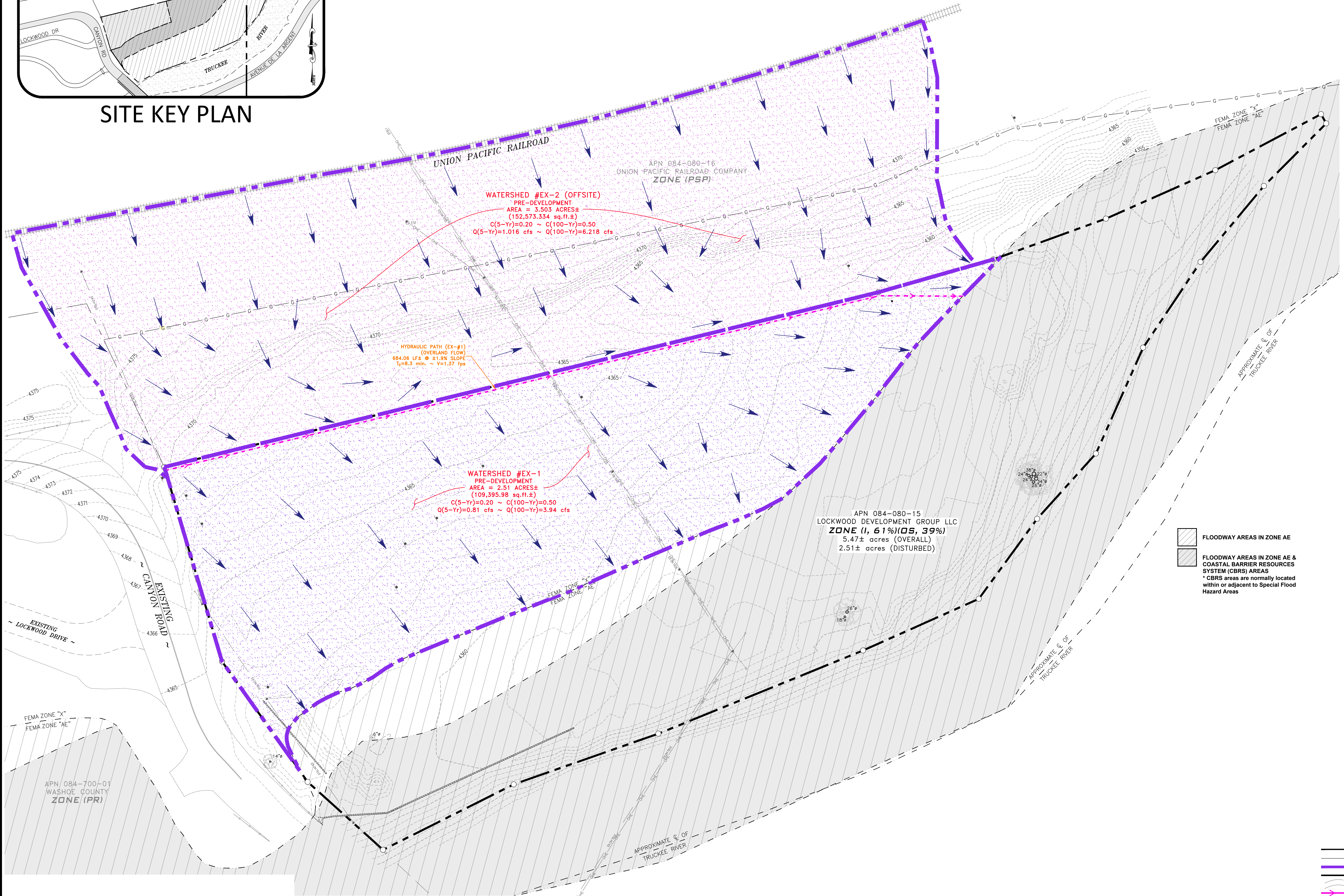
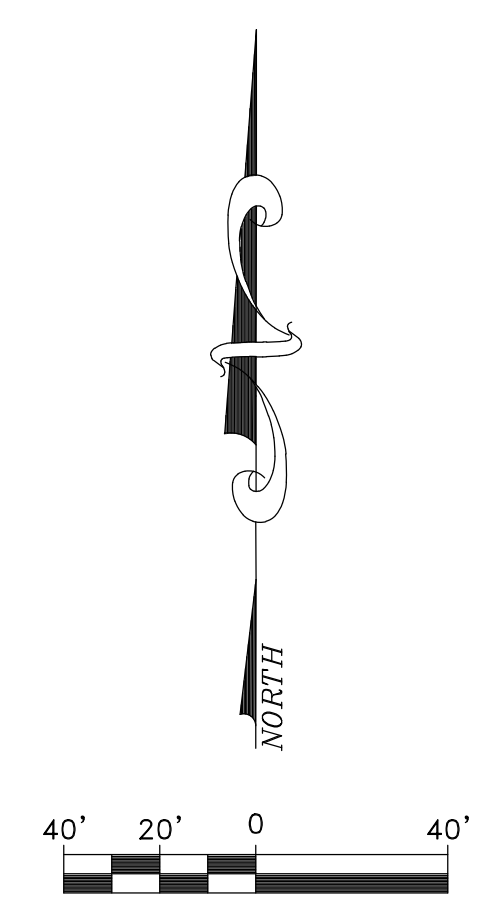
SHEET C-5
 OF
 9 SHEETS

REF SHEET C-2 FOR GENERAL NOTES
 REF DETAIL SHEETS & SHEET C-2 FOR ADDITIONAL SWPPP NOTES

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SITE KEY PLAN



- FLOODWAY AREAS IN ZONE AE
- FLOODWAY AREAS IN ZONE AE & COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
- * CBRS areas are normally located within or adjacent to Special Flood Hazard Areas

- LEGEND**
- PROPERTY CORNER
 - PROJECT PROPERTY BOUNDARY
 - EXIST. LOT LINE
 - EXIST. DRAINAGE BOUNDARY
 - EXIST. FLOWLINE (TRUCKEE RIVER)
 - EXIST. CONTOUR LINES
 - EXIST. HYDRAULIC PATH w/ DIRECTION
 - EXIST. SHEET FLOW PATHS ACROSS PROPERTY

NO.	DATE

PROFESSIONAL ENGINEER - STATE OF NEVADA
 DOUGLAS FELLEZ
 Exp: 6/30/27
 CIVIL
 No. 33679
 10-08-2025

CIVIL ENGINEERING CONSULTANTS
 9428 DOUBLE DIAMOND PARKWAY, STE. A
 RENO, NEVADA 89521
 PH (775) 352-7800 - FAX (775) 352-7899



LOCKWOOD DEVELOPMENT GROUP LLC
 CIVIL IMPROVEMENT PLANS FOR
 LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
 PHASE I & PHASE II
 APN: 084-080-15
 PRE-DEVELOPMENT WATERSHED EXHIBIT
 WASHOE COUNTY NEVADA

JOB No. Lockwood001
 DATE: OCTOBER 8, 2025
 PROJECT PROPERTY: NA
 VERT. SCALE: NA
 HORIZ. SCALE: 1"=40'
 DRAWN BY: DAF
 CHECKED BY: JAG
 APPROVED BY: DAF

SHEET C-6
 OF
 9 SHEETS

DRIVEWAY (D)	RESIDENTIAL	*MULTI-FAMILY & LIGHT COMMERCIAL	**HEAVY COMMERCIAL & INDUSTRIAL
12' MIN.	1-CAR GARAGE/ACCESS DRIVEWAY	14' MINIMUM (ONE-LANE)	20' MINIMUM (ONE-LANE)
16' MIN.	2-CAR GARAGE	36' MINIMUM (TWO-LANE)	40' MINIMUM (TWO-LANE)
24' MIN.	2-CAR GARAGE WITH RV PARKING OR 3 CAR GARAGE	45' MINIMUM (3-LANES)**	54' MAXIMUM (3-LANES)**
40' MIN.	3-CAR GARAGE WITH RV PARKING OR 4 CAR GARAGE		

NOTES:

- CIRCULAR DRIVEWAYS MAY BE INSTALLED WITH APPROVAL OF COUNTY ENGINEER.
- REFER TO DRAWING Nos. W-142A, W-142B, W-142C, W-142D AND W-142E FOR TAPER LENGTH, NOTES AND CROSS SECTIONS.
- 5' MINIMUM SPACE NOT REQUIRED ON SHARED DRIVEWAYS. * = MULTI-RESIDENTIAL WITH 3 UNITS OR GREATER, OFFICE BUILDINGS AND OTHER COMMERCIAL BUILDINGS. ** = DRIVE-IN ESTABLISHMENTS, FACTORIES, SERVICE STATIONS, WAREHOUSES AND DISTRIBUTION, MANUFACTURING AND INDUSTRIAL. COUNTY ENGINEER MAY REQUIRE CURB RETURNS TO BE CONSTRUCTED WITH APPROPRIATE RADI. *** = MORE THAN 3 LANES REQUIRES COUNTY ENGINEER APPROVAL.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 100
		DRIVEWAY GEOMETRICS	DRAWING NUMBER: W-141
			DATE: 2/21/2022

ASPHALT APRON PLAN VIEW
N.T.S.

ASPHALT APRON PROFILE (A)
N.T.S.

GRAVEL APRON PROFILE (A)
N.T.S.

HEADWALL PROFILE (B)
N.T.S.

WEAKENED PLANE JOINT
N.T.S.

WEEP HOLE DETAIL "A"
N.T.S.

CUT-OFF WALL
N.T.S.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 100
		ASPHALT AND GRAVEL DRIVEWAY APRONS	DRAWING NUMBER: W-143A
		FOR USE WHERE NO CURB & GUTTER EXISTS	DATE: 2/21/2022

NOTES:

- ENCROACHMENT/EXCAVATION PERMIT AND/OR A REVOCABLE OCCUPANCY PERMIT SHALL BE OBTAINED FROM THE WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT PRIOR TO ANY WORK.
- THE MAXIMUM SLOPE ON DRIVEWAYS SHALL NOT EXCEED 14%.
- SUBGRADE SHALL BE COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. IF EXPANSIVE OR UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE SOILS SHALL BE OVER-EXCAVATED TO CONFORM TO THE SOILS REPORT OR REQUIREMENTS OF WASHOE COUNTY. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY WASHOE COUNTY PRIOR TO PLACEMENT OF AGGREGATE BASE.
- ALL WORK SHALL MEET THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- WHEN GRADE DIFFERENTIAL BETWEEN DRIVEWAY APRON AND ASPHALT EXCEEDS 6%, PROVIDE MINIMUM 6 FOOT VERTICAL CURVE TRANSITION BETWEEN BACK EDGE OF APRON AND DRIVEWAY.
- NO PORTION OF THE DRIVEWAY SHALL BE PERMITTED WITHIN 5 FEET OF A PROPERTY LINE.
- A MINIMUM OF 50 FEET MUST SEPARATE DRIVEWAY APPROACHES, CENTERLINE TO CENTERLINE, FOR CIRCULAR DRIVEWAYS ON ONE PROPERTY AS APPROVED BY THE COUNTY ENGINEER.
- DRIVEWAY GEOMETRICS SHALL REFER TO THE WASHOE COUNTY STANDARD DRAWING No. W-141. CONCRETE DRIVEWAY APRONS SHALL REFER TO THE WASHOE COUNTY STANDARD DRAWING Nos. W-142A, W-142B, W-142C, W-142D AND W-142E.
- MATCH WITH A NEAT LINE ALONG THE EXISTING EDGE OF PAVEMENT. SAWCUT A MINIMAL DISTANCE FROM THE EDGE AS NEEDED TO OBTAIN A SMOOTH MATCH LINE WITH A FULL DEPTH VERTICAL EDGE.
- HOT MIX ASPHALT SHALL BE TYPE 3, PG64-28 (OR COUNTY APPROVED EQUIVALENT), 3% VOIDS, 50 BLOWS PER SIDE MIX WITH 1.5% LIME AND NO MORE THAN 15% RECYCLED ASPHALT PAVEMENT COMPACTED TO A MINIMUM OF 93% RICE RELATIVE COMPACTION.
- MINIMUM SIZE CURVATURE PIPE SHALL BE DETERMINED BY THE COUNTY ENGINEER. CURVATURE PIPE IS TO BE ROUND OR ELLIPTICAL AND EITHER REINFORCED CONCRETE PIPE (RCP), GALVANIZED CORRUGATED METAL PIPE (CMP), OR HIGH DENSITY POLYETHYLENE (HDPE) MINIMUM CLASS 5 MEETING REQUIREMENTS OF AASHTO M294.
- CURVATURE PIPE INSTALLATION AND SOIL COVER DEPTH SHALL BE PER THE PIPE MANUFACTURER'S RECOMMENDATIONS. SOIL COVER SHALL BE TYPE 2 CLASS B, OR TYPE 1 RECYCLED, AGGREGATE BASE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION PER ASTM D-1557.
- CURVATURE PIPE SHALL BE SLOPED TO MATCH EXISTING DITCH/ROAD GRADE, OR 1% MINIMUM.
- CURVATURE PIPE SHALL EXTEND A MINIMUM OF 2 FEET BEYOND THE TOE OF FILL WITH A MINIMUM OF 2 FEET OF RIPRAP HORIZONTALLY PAST END OF PIPE.
- CLASS 150 RIPRAP TO BE PLACED AT PIPE INLETS AND OUTLETS. INSTALLATION OF FLARED END SECTIONS AND HEADWALLS SHALL BE DETERMINED BY THE COUNTY ENGINEER.
- NO CONCRETE OR PAVER DRIVEWAYS ARE ALLOWED WITHIN 4 FEET OF THE EDGE OF PAVEMENT.
- HYDRONIC OR HEATED DRIVEWAYS LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE ON A SEPARATE STATION.
- WASHOE COUNTY SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF DRIVEWAY APRONS.
- CURRENT AASHTO REQUIREMENTS FOR CLEAR ZONES SHALL BE MET.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 100
		ASPHALT AND GRAVEL DRIVEWAY APRONS NOTES	DRAWING NUMBER: W-143B
		FOR USE WHERE NO CURB & GUTTER EXISTS	DATE: 2/21/2022

TYPICAL SECTION
N.T.S.

WEAKENED PLANE JOINT
N.T.S.

WEEP HOLE DETAIL "A"
N.T.S.

CUT-OFF WALL
N.T.S.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 200
		DRAINAGE CHANNEL	DRAWING NUMBER: W-201A
			DATE: 2/21/2022

NOTES:

- ACO STAINLESS STEEL SOCKETED PIPE, AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC., MAY BE SUBSTITUTED FOR PLASTIC PIPE AT WEEP HOLES.
- WEAKENED PLANE JOINTS SHALL BE SEALED WITH APPROVED JOINT SEALER AND PLACED EVERY 10 FEET.
- CUT-OFF WALLS SHALL BE CONSTRUCTED AT EACH END OF CHANNEL ALONG THE FULL WIDTH OF SECTION.
- CHAINLINK FENCE SHALL BE AS REQUIRED BY COUNTY ENGINEER.
- REINFORCING SHALL CONSIST OF COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH, OR APPROVED EQUAL, AND SHALL BE ADDED AT A RATE OF 1.5 LBS PER CUBIC YARD OF CONCRETE.
- WEEP HOLES SHALL NOT BE USED IN IRRIGATION DITCHES.
- DEPTH OF CONCRETE SHALL BE A MINIMUM OF 4 INCHES. ENGINEER MAY INCREASE DEPTH OF CONCRETE AS NECESSARY.
- PORTLAND CEMENT CONCRETE (PCC) SHALL BE A MINIMUM 4000 PSI COMPRESSIVE STRENGTH @ 28 DAYS WITH MINIMUM 6.25 SACKS OF TYPE II CEMENT (588 LBS) PER CUBIC YARD OF CONCRETE, A MAXIMUM WATER/CEMENT RATIO OF 0.45, 4.5-7.5% AIR ENTRAINMENT, AND SLUMP SHALL RANGE FROM A MINIMUM OF 1" TO A MAXIMUM OF 4". ALL MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 200
		DRAINAGE CHANNEL NOTES	DRAWING NUMBER: W-201B
			DATE: 2/21/2022

STANDARD TRAFFIC SIGN
N.T.S.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 400
		STANDARD TRAFFIC SIGN	DRAWING NUMBER: W-402A
			DATE: 2/21/2022

STANDARD TRAFFIC SIGN DETAIL
N.T.S.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 400
		STANDARD TRAFFIC SIGN DETAIL	DRAWING NUMBER: W-402B
			DATE: 2/21/2022

NOTES:

- SIGN SHEETING FOR ALL SIGNS SHALL BE DIAMOND GRADE. SIGN THICKNESS SHALL BE .080 GAUGE MINIMUM. ALL MATERIALS & SIZES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). COUNTY SPECIFICATIONS & DIMENSIONS SHALL PREVAIL WHEN THEY EXCEED THE MINIMUM AS REQUIRED BY THE MUTCD.
- SIGNS SHALL BE MOUNTED WITH VANDAL-PROOF HARDWARE.
- ON STREETS WHERE CURB DOES NOT EXIST, SET EDGE OF SIGN CLOSEST TO ROADWAY AT A MINIMUM OF 6 FEET FROM PAVEMENT EDGE.
- 7'-0" MINIMUM DIMENSION IS MEASURED FROM FINISHED GRADE AT POST LOCATION WHERE CURB EXISTS, OR FROM FINISHED PAVEMENT SHOULDER WHERE NO CURB EXISTS.

DATE	REVISIONS	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION NUMBER: 400
		STANDARD TRAFFIC SIGN NOTES	DRAWING NUMBER: W-402C
			DATE: 2/21/2022

CIVIL ENGINEER-STATE OF NEVADA
DOUGLAS FELLEZ
Exp: 6/30/27
CIVIL
No. 33679
10-08-2025

CIVIL ENGINEERING CONSULTANTS
8428 DOUGLAS DIAMOND PARKWAY, STE 4
RENO, NEVADA 89521
PH: (775) 352-7880 - FAX: (775) 352-7889

LOCKWOOD DEVELOPMENT GROUP LLC
CIVIL IMPROVEMENT PLANS FOR
LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT
PHASE I & PHASE II
APN: 084-080-15
DETAILS SHEET
WASHOE COUNTY NEVADA

JOB No. Lockwood001
DATE: OCTOBER 8, 2025
VERT. SCALE: NA
HORIZ. SCALE: AS SHOWN
DRAWN BY: DAF
CHECKED BY: JAG
APPROVED BY: DAF

SHEET C-8
OF
9 SHEETS

