



Board of Adjustment Staff Report

Meeting Date: June 6, 2024

Agenda Item: 8D

SPECIAL USE PERMIT CASE NUMBER: WSUP24-0004 (SVGID Main Pumping Station)

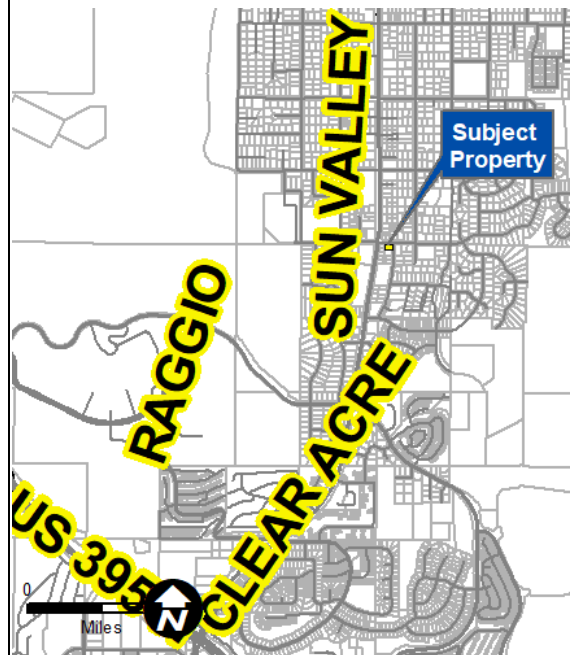
BRIEF SUMMARY OF REQUEST: To approve a new main pumping station

STAFF PLANNER: Katy Stark, Planner
Phone Number: 775.328.3618
E-mail: krstark@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit for the construction and operation of a new main pumping station (Utility Services Use Type). An existing pumping facility (located on a different parcel) will be replaced with a new main pumping station. The project will include construction of a new pumping station on a vacant, previously cleared parcel and the addition of parking spaces and landscaping.

Applicant/Owner: Sun Valley General Improvement District (SVGID)
Location: 5095 Prosser Way, Sun Valley, NV 89433
APN: 085-050-25
Parcel Size: 0.344 acres
Master Plan: Commercial
Regulatory Zone: General Commercial (GC)
Area Plan: Sun Valley
Development Code: Authorized in Article 810, Special Use Permits
Commission District: 3 – Commissioner Garcia



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP24-0004 for Sun Valley General Improvement District (SVGID), with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30.

(Motion with Findings on Page 9)

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Special Use Permit

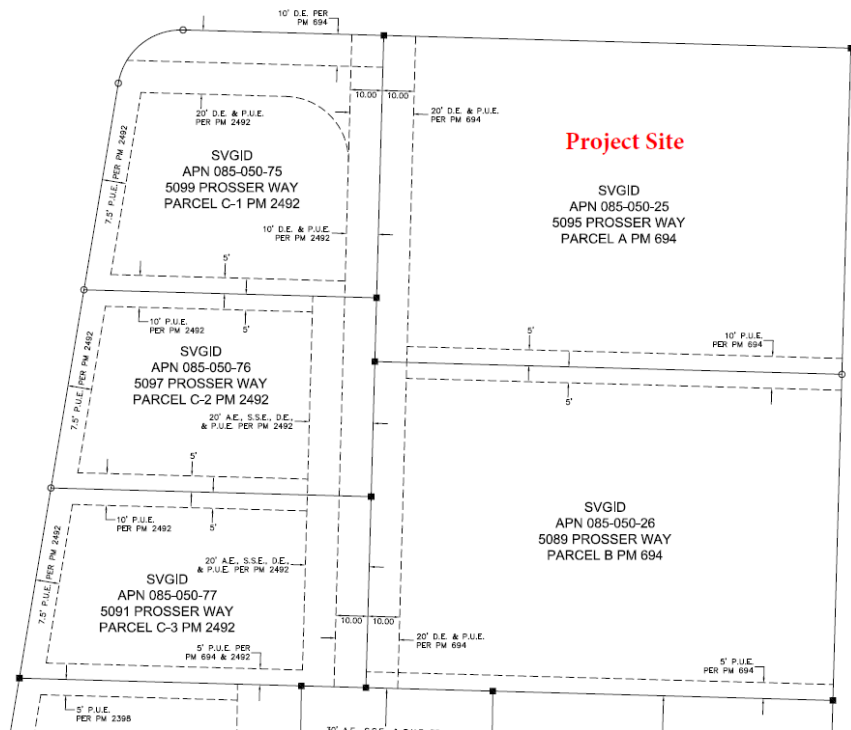
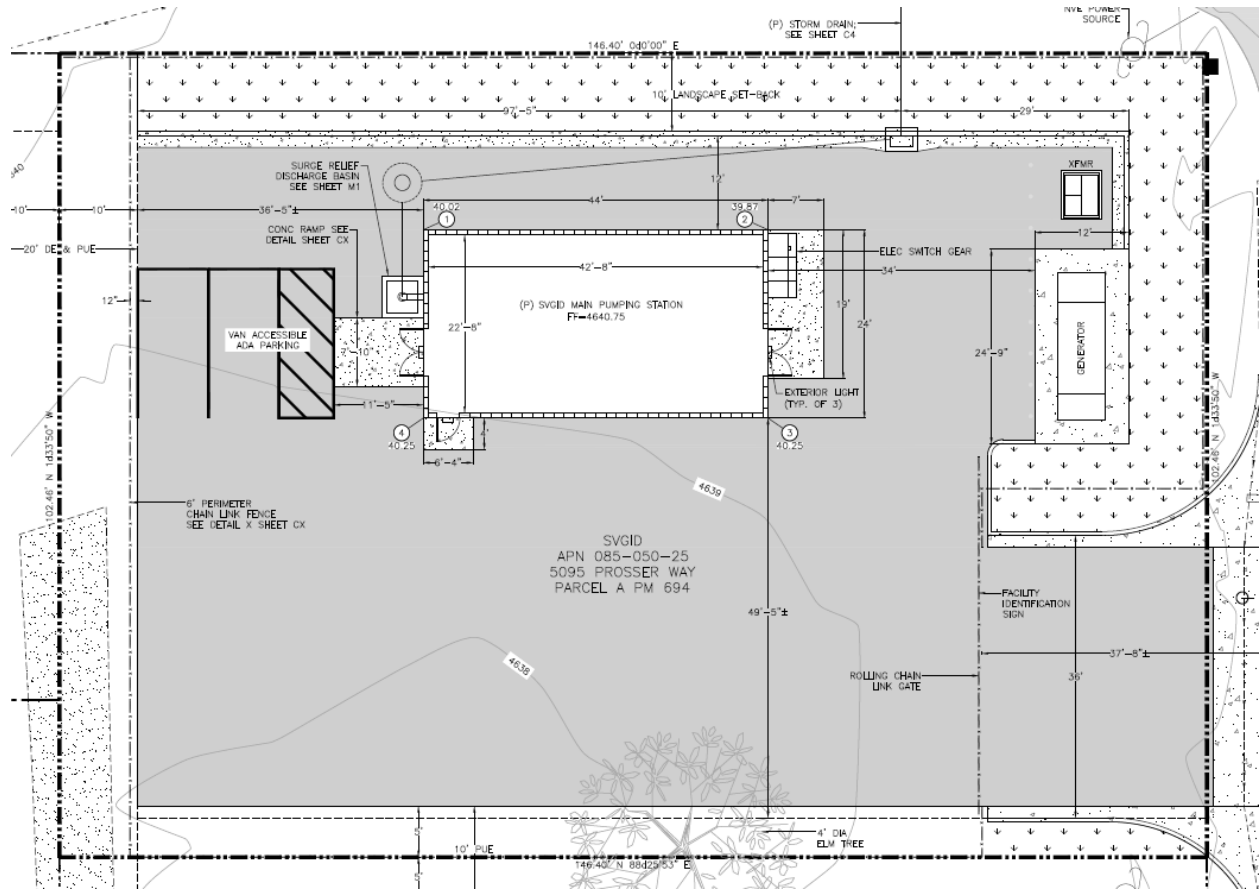
The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP24-0004 are attached to this staff report and will be included with the action order.

The subject property is designated as General Commercial (GC). The proposed use of a pumping station is classified as a utility services use type, which is permitted in GC with a special use permit per WCC Table 110.302.05.2. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.

Article 810, Special Use Permits, allows the Board of Adjustment to vary development code standards in conjunction with the approval process per WCC 110.810.20(e). However, the applicant has not requested to vary any development code standards in their project application.



Site Plans

Project Evaluation

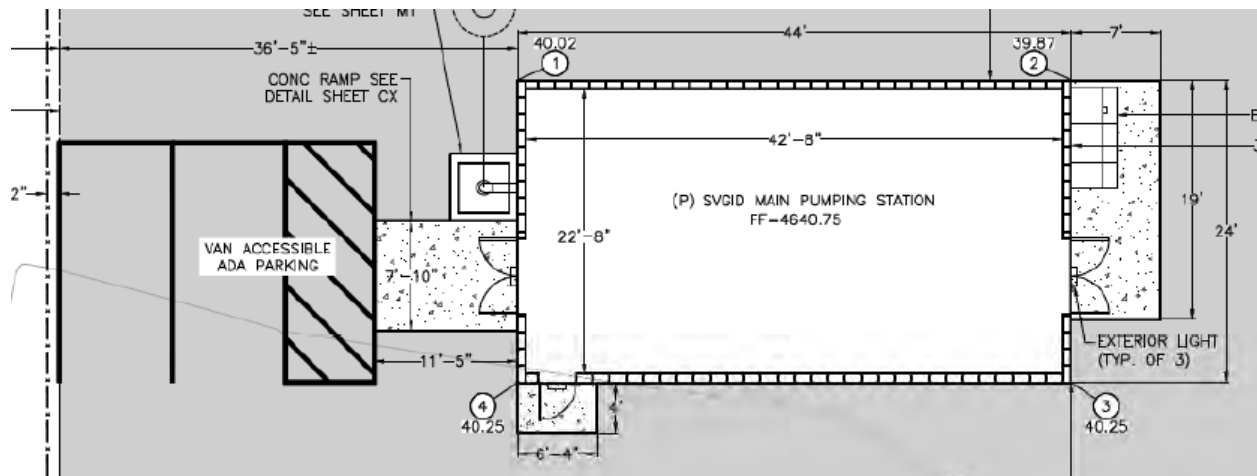
The proposed project is located on a 0.344-acre parcel on the corner of East First Street and Prosser Way in the Sun Valley planning area. The applicant, Sun Valley General Improvement District (SVGID), is requesting approval to construct a new main pumping station to replace an existing pumping facility. The existing facility was put into operation in 1965, and it is the main pumping facility that moves water throughout the SVGID water system. The applicant has stated that the main pumping station is the critical component of SVGID's water supply infrastructure. The applicant has explained the need to replace and modernize the main pumping facility in order to continue providing reliable, safe, and quality drinking water to customers and meet the demands of new service connections, including the 5 Ridges development. The applicant anticipated complications if they used the existing pumping facility site to construct the new pumping station, so they are proposing to construct the new main pumping station at 5095 Prosser Way (APN: 085-050-25). This will allow the existing facility to continue full operation and service to customers while the new pumping station is being constructed.

5095 Prosser Way, the location of the proposed new pumping station, is near the SVGID administrative offices and maintenance and operation facilities. The parcel is generally flat and is not located in a FEMA designated flood zone. The parcel is vacant and does not have any wells, well houses, septic systems or leach fields. The parcel was previously occupied by a residence, which was cleared in 2010. Water and sewer laterals extend into the property. The only notable feature on the property is a large elm tree, which will remain on the property.



Proposed project location (facing west) – Photo from staff site visit 5/10/2024

The applicant has provided a set of site plans, which are included with the project application in Exhibit D. WCC Table 110.410.10.2 provides off-street parking requirements for civic use types. For a utility services use, the parking requirement is to be specified by the use permit. In addition, WCC Table 110.410.15.1 requires one handicapped accessible space for a parking lot containing one (1) to twenty-five (25) total parking spaces. The applicant is proposing two off-street parking spaces, one of which is van-accessible ADA parking. The pumping station facility will only be used by SVGID operations and maintenance personnel. It will not be staffed or occupied on a full-time basis, but the facility will be accessed daily for routine operational and maintenance requirements. The facility will not be accessible by the public. Staff believes the two parking spaces are appropriate for the access needs of the facility.



Proposed parking spaces and main pumping station

The applicant is proposing minimal exterior lighting, including a light fixture on the south wall to illuminate the two parking spaces. The project will need to meet the lighting standards required in Article 414, *Noise and Lighting Standards*.

WCC Section 110.412.40 provides the landscaping requirements for civic use types. The portions of this code that are relevant to the project are listed below:

- (a) Coverage. A minimum twenty (20) percent of the total developed land area shall be landscaped. Any disturbance to undeveloped portions of a site shall be mitigated.
- (b) Required Yards Adjoining Streets. All required yards which adjoin a public street shall be landscaped and shall include at least one (1) tree for every fifty (50) linear feet of street frontage, or fraction thereof.

The applicant provided an initial set of landscape and irrigation plans, which are included with the project application in Exhibit D. The landscape plans show the required landscaping along the yards abutting East First Avenue and Prosser Way. However, in the initial project application, only shrubs and boulders were shown on the planting plan. The applicant has provided updated landscape plans (Exhibit E) in order to include at least (1) tree for every fifty (50) linear feet of street frontage, or fraction thereof, to meet WCC Section 110.412.40(b).

WCC Section 110.412.40 (c) and (d) include additional landscaped buffer and screening requirements for civic uses adjoining residential uses. The parcels abutting the project parcel to the south and to the west all have a regulatory zone of General Commercial. The parcels to the west (APN: 085-050-75 & 085-050-76) are vacant and are owned by SVGID. The parcel to the south (APN: 085-050-26) previously contained a residence, but the residence has been removed from this parcel (confirmed by staff on 5/10/2024 site visit). This parcel is also owned by SVGID. (See second site plan image on page 4 of this report.) None of the project site property lines abut residential uses, so the additional buffer and screening are not required.

Master Plan Evaluation

The proposed pumping station aligns with the Envision Washoe 2040 (EW2040) Master Plan Sun Valley Vision Statement as described in Table 1.

Table 1: Master Plan Conformance

Vision Statement	Explanation of Conformance with Vision Statement
<p><i>“...Sun Valley embodies...a safe and healthy place to live, raise a family, work, run a business, recreate and retire. In the future, Sun Valley will continue to prioritize its people through the prioritization of sustainable growth supporting healthy lifestyles.”</i></p>	<p>The proposed new main pumping station will allow SVGID to continue providing reliable, safe, and quality drinking water to customers and meet the demands of new service connections. This is an important piece of prioritizing sustainable growth in Sun Valley.</p>

The proposed pumping station aligns with applicable EW2040 Priority Principles & Policies as described in Table 2.

Table 2: Master Plan Element Conformance Priority Principles & Policies

Master Plan Element	Priority Principles & Policies	Explanation of Conformance with Priority Principles & Policies
<p>Land Use Principle 6. Direct Development into the TMSA.</p>		
<p>LU6.1 – Invest in infrastructure and services where required for health and safety reasons.</p>		<p>The proposed location of the new main pumping station is within the TMSA. The main pumping station is essential to SVGID’s water supply infrastructure. Quality, reliable drinking water is necessary for a healthy community.</p>
<p>Public Facilities and Services Principle 2. Provide sufficient water to meet the current and future needs of County residents.</p>		
<p>PFS2.3 – Ensure new suburban- and urban-level development is served by a community water supply system.</p>		<p>The proposed project will allow SVGID to replace and modernize the main pumping facility in order to continue providing reliable, safe, and quality drinking water to customers and meet the demands of new service connections.</p>
<p>PFS3.5 – In accordance with the Regional Plan, limit water and wastewater infrastructure outside the TMSA, except for the management of effluent management and recycled water.</p>		<p>The proposed main pumping station will be located within the TMSA.</p>

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
NDOW (Wildlife)	X			
NV Water Resources	X	X		Steve Shell, sshell@water.nv.gov
Washoe County Building & Safety	X			
Washoe County Operations Division Director	X			
Washoe County Parks & Open Space	X	X		Faye-Marie Pekar, fpekar@washoecounty.gov
Washoe County Sewer	X	X		Katrina Pascual, kpascual@washoecounty.gov
Washoe County Traffic	X	X	X	Mitch Fink, MFink@washoecounty.gov
Washoe County Water Resource Planning	X			
Washoe County Water Rights Manager (All Apps)	X	X		Timber Weiss, tweiss@washoecounty.gov
WCSO Law Enforcement	X	X		Amelia Galicia, agalicia@washoecounty.gov
Washoe County Engineering (Land Development) (All Apps)	X	X	X	Rob Wimer, rwimer@washoecounty.gov; Janelle Thomas, jkthomas@washoecounty.gov
Washoe County Engineering & Capital Projects Director (All Apps)	X			
NNPH Air Quality	X			
NNPH EMS	X	X		April Miller, EMSProgram@nnph.org
NNPH Environmental Health	X	X	X	James English, jenglish@washoecounty.gov
TMFPD	X	X	X	Dale Way, dway@tmfpd.us; Brittany Lemon, BLemon@tmfpd.us
Nevada State Historic Preservation	X			
Sun Valley GID	X			
NV Energy	X			
Truckee Meadows Water Authority	X			

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan.

Staff Comment: The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan. The pumping station (utility services use type) is permitted in the GC regulatory zone with an approved special use permit. The project conforms to the policies and findings found in the Sun Valley Area Plan.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: Roadway improvements are not required for the construction of a new main pumping station. The project site has sufficient existing roadway access. Water and sewer service laterals already extend into the property. Overhead utilities are located adjacent to the project site. Washoe County Engineering reviewed the application and provided conditions (Exhibit A) to ensure appropriate grading and drainage.

- (c) Site Suitability. That the site is physically suitable for a pumping station and for the intensity of such a development.

Staff Comment: The site is physically suitable for a pumping station. The site is currently vacant, is generally flat, and is not located in a FEMA designated flood zone. There are no wells, septic systems, or leach fields on the property. Water and sewer service laterals already extend into the property. The site is also located near the SVGID administrative offices and maintenance and operation facilities.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: Issuance of the permit is not anticipated to be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area. Water service to existing SVGID customers will not be disrupted while the new main pumping station is being constructed, because the existing facility will continue full operation and service to customers during construction.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations located in the proposed site area. This finding is not applicable to the proposed project.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP24-0004 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP24-0004 for Sun Valley General Improvement District (SVGID), with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed

improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

- (c) Site Suitability. That the site is physically suitable for a pumping station and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant/Owner: Sun Valley General Improvement District (SVGID)
Attn: Chris Melton & Jennifer Merritt
cmelton@svgid.com & jmerritt@svgid.com

Consultant: Shaw Engineering, Attn: Steve Brigman
steve@shawengineering.com



Conditions of Approval

Special Use Permit Case Number WSUP24-0004

The project approved under Special Use Permit Case Number WSUP24-0004 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on June 6, 2024. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through Northern Nevada Public Health (NNPH), has jurisdiction over public health matters. Any conditions set by NNPH must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Katy Stark, Planner, 775.328.3618, krstark@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. **The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.**
- c. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- d. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- e. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- f. The business license will be obtained for the new use.
- g. Construction hours are 7am to 7pm Monday through Saturday.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Names –

Janelle K. Thomas, P.E., C.F.M., 775.328.3603, jkthomas@washoecounty.gov

Robert Wimer, P.E., 775.328.2059, rwimer@washoecounty.gov

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E., (775) 328-2059

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E., (775) 328-2059

- b. The following note shall be added to the construction drawings; “All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties.”

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E., (775) 328-2050

- c. The applicant shall submit an encroachment and excavation permit application for review and approval for any construction within Washoe County Right of Way.

Northern Nevada Public Health (NNPH), Environmental Health Division (EHS)

3. The following conditions are requirements of Northern Nevada Public Health (NNPH), Environmental Health Division (EHS), which shall be responsible for determining compliance with these conditions.

Contact Name – James English, REHS, CP-FS, EHS Supervisor, 775.900.7239, jenglish@washoecounty.gov

- a. If the project is approved all subsequent building permits must be routed to EHS for review and approval.
- b. Prior to any building permit being issued, a Water Project must be approved pursuant to NAC 445A.

Truckee Meadows Fire Protection District

4. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Brittany Lemon, Fire Captain – Fire Prevention, 775.326.6079, blemon@tmfpd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/>
- b. The applicant shall submit a Hazardous Materials Inventory Statement. Below is a link to a document to capture what Hazardous Materials will be used on-site. The required form is Page 7, titled Hazardous Materials Inventory Statement (HMIS). <https://tmfpd.us/wp-content/uploads/2021/01/Hazardous-Material-Management-Plan-HMMP-Form-Fillable-03APR20.pdf>

*** End of Conditions ***

May 2, 2024

Washoe County Community Services
Planning and Development Division

RE: SVGID Main Pumping Station; 085-050-25
Special Use Permit; WSUP24-0004

Dear Washoe County Staff:

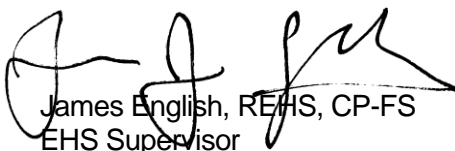
The following conditions are requirements of Northern Nevada Public Health (NNPH), Environmental Health Division, (EHS) which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: EHS has reviewed the application as submitted and has no concerns with the approval of the application as submitted. EHS supported the updated infrastructure to provide safe and secure potable water.
- b) Condition #2: If the project is approved all subsequent building permits must be routed to EHS for review and approval.
- c) Condition #2: Prior to any building permit being issued, a Water Project must be approved pursuant to NAC 445A.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all NNPH comments.

Sincerely,



James English, REHS, CP-FS
EHS Supervisor
Environmental Health Services
Northern Nevada Public Health



From: [Program, EMS](#)
To: [Stark, Katherine](#)
Cc: [Program, EMS](#)
Subject: FW: April Agency Review Memo I- Special Use Permit Case Number WSUP24-0004 (SVGID Main Pumping Station)
Date: Monday, April 22, 2024 11:01:36 AM
Attachments: [image001.png](#)

Good Morning,

The EMS Program has reviewed the April Agency Review Memo I - Special Use Permit Case Number WSUP24-0004 (SVGID Main Pumping Station), and has no concerns or questions at this time based on the information provided.

Thank you,



April Miller
Sr. Office Specialist
Epidemiology and Public Health Preparedness

O: [775-326-6049](tel:775-326-6049)
1001 E Ninth St. Bldg. B Reno, NV 89512

[NNPH.org](https://www.nnph.org) | [f](#) [f](#) [@](#) [X](#) [in](#)

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Date: April 25, 2024

To: Katy Stark, Planner

From: Janelle K. Thomas, P.E., C.F.M., Senior Licensed Engineer
Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for **SVGID Main Pumping Station WSUP24-0004**
APN 085-050-25

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is for the construction of a New Main Pumping Station and is located on approximately 0.344 acres at the southwest corner of East First Street and Prosser Way. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Shaw Engineering. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please contact the staff's name referenced.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E. (775) 328-2050

Conditions:

1. The applicant shall submit an encroachment and excavation permit application for review and approval for any construction within Washoe County Right of Way.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Katrina Pascual, P.E. (775) 954-4648

No Utilities related comments or conditions.

From: [Steve Shell](#)
To: [Stark, Katherine](#)
Subject: WSUP24-0004
Date: Monday, April 15, 2024 11:19:29 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image006.png](#)
[image008.png](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

The Division of Water Resources has no comment.

As of June 1, 2021, the Office of the State Engineer is open to the public. Please call 684-2800 upon arrival and a representative will come down to escort you to our office.

Steve Shell
Water Rights Specialist II
Department of Conservation and Natural Resources
Nevada Division of Water Resources
901 S. Stewart St., Suite 2002
Carson City, NV 89701
sshell@water.nv.gov
(O) 775-684-2836 | (F) 775-684-2811

From: [Pekar, Faye-Marie L.](#)
To: [Stark, Katherine](#)
Subject: Case Number WSUP24-0004 (SVGID Main Pumping Station)
Date: Monday, April 15, 2024 2:03:41 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Hi Katy,

I have reviewed Case Number WSUP24-0004 (SVGID Main Pumping Station) on behalf of parks and do not have any comments.

Thank you,



Faye-Marie L. Pekar, MPA, CPRP
Park Planner
Community Services Department | Regional Parks and Open Space
fpekar@washoecounty.gov |

Visit us first online: www.washoecounty.gov/csd
Planning Division: 775.328.6100 | Planning@washoecounty.gov
CSD Office Hours: Monday-Friday 8:00am to 4:00pm
1001 East Ninth Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?
Submit a nomination for a Washoe Star by clicking this link: [WASHOE STAR](#)

From: [Lemon, Brittany](#)
To: [Stark, Katherine](#)
Cc: [Way, Dale](#)
Subject: WSUP24-0004 (SVGID Main Pumping Station) Conditions of Approval
Date: Thursday, April 25, 2024 8:42:08 AM
Attachments: [image001.png](#)

Good Morning Katy,

For this request our standard comment will apply, we will also need a Hazardous Materials Inventory Statement.

Below is a link to a document to capture what Hazardous Materials will be used on-site. The required form is Page 7, titled Hazardous Materials Inventory Statement (HMIS).

<https://tmfpd.us/wp-content/uploads/2021/01/Hazardous-Material-Management-Plan-HMMP-Form-Fillable-03APR20.pdf>

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

Thank you!

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



“Committed to excellence, service, and the protection of life and property in our community”



Date: March 27, 2024

To: Katy Stark, Planner

From: Timber Weiss, P.E., Licensed Engineer

Re: Special Use Permit Case Number WSUP24-0004 (SVGID Main Pumping Station)

GENERAL PROJECT DISCUSSION

For hearing, discussion, and possible action to approve a special use permit for the construction and operation of a new main pumping station (Utility Services Use Type). An existing pumping facility (located on a different parcel) will be replaced with a new main pumping station. The project will include construction of a new pumping station on a vacant, previously cleared parcel and the addition of parking spaces and landscaping.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

No water rights conditions for this permit.

From: [Galicia, Amelia](#)
To: [Stark, Katherine](#)
Subject: April Application Review Memorandum 1
Date: Monday, April 15, 2024 9:27:42 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)

Good morning,

The Washoe County Sheriff's Office has no issue with item #4 in April's Application Review Memorandum 1.

Thank you,



Amelia Galicia, Captain

Washoe County Sheriff's Office

Incline Village Patrol Division

Phone: 775-832-4114

Email: agalicia@washoecounty.us

625 Mt. Rose Highway
Incline Village, NV 89451

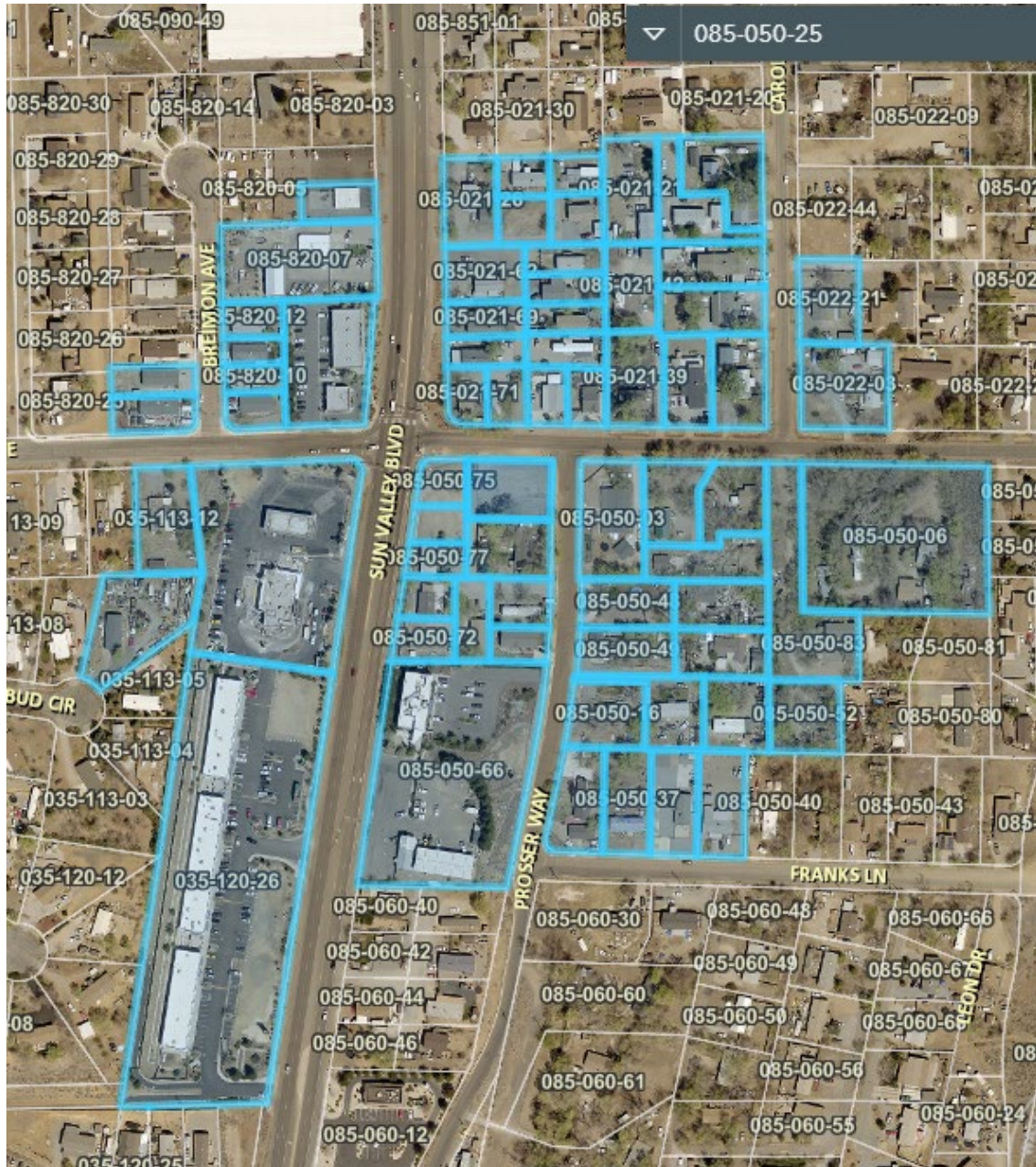
911 Parr Boulevard
Reno, NV 89512

www.WashoeSheriff.com



Public Notice

Washoe County Code requires that public notification for a special use permit must be mailed to a minimum of 30 separate property owners within a minimum 500-foot radius of the subject property a minimum of 10 days prior to the public hearing date. A notice setting forth the time, place, purpose of hearing, a description of the request and the land involved was sent within a 500-foot radius of the subject property. A total of 59 separate property owners were noticed a minimum of 10 days prior to the public hearing date.



Public Notice Map

Special Use Permit Case Number WSUP24-0004 (SVGID Main Pumping Station)

SPECIAL USE PERMIT APPLICATION

Sun Valley General Improvement District



New Main Pumping Station

April 8, 2024

Prepared by:



SHAW
ENGINEERING

20 Vine Street
Reno, NV 89503
Phone 775.329.5559
Fax 775.329.5406
www.shawengineering.com



Sun Valley General Improvement District
5000 Sun Valley Boulevard
Sun Valley, NV 89433-8229
Phone: (775) 673-2220
Fax: (775) 673-1835

April 8, 2024

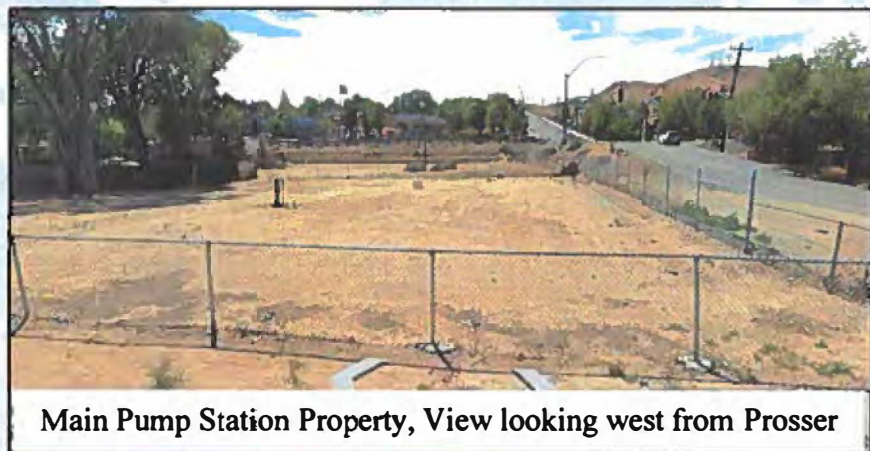
Washoe County Community Services Department
Planning and Building Division
1001 East Ninth Street
Reno, NV 89512

Re: Special Use Permit Application
Sun Valley General Improvement District (SVGID) – Main Pumping Station
5095 Prosser Way APN 085-050-25

To Whom it May Concern:

Transmitted herein is our Special Use Permit application for our New Main Pumping Station (MPS). The MPS project will be a replacement for our existing pumping facility, which is located approximately 650 feet south of the proposed MPS project site. The existing facility was put into operation in 1965. The existing pumping facility, which receives water from a TMWA wholesale connection, is the main pumping facility that moves water throughout our water system, into the various storage tanks and to our customers. The main pumping station is the critical component of our water supply infrastructure. To continue to provide reliable, safe, and quality drinking water to our customers, and meet the demands of new service connections, including the 5 Ridges development, it's imperative that we replace and modernize the existing main pumping facility soon. Due to the complexity and anticipated complications that would result from utilizing the existing site, the MPS will be constructed at 5095 Prosser Way. This will allow for full operation of the existing facility to continue serving customers while a new pump station is built.

The new MPS is proposed to be constructed on an approximately ¼ acre vacant SVGID owned property located at the southwest corner of East First Street and Prosser Way, which is near the SVGID administrative offices and maintenance and operation facilities. The property is generally flat at an elevation of 4,639 feet, is



not located in a FEMA designated flood zone and does not have any wells, well houses, septic systems, or leach fields. The property was previously occupied by a residential structure that was cleared in 2010. Water and sewer service laterals extend into the property. Overhead utilities are located adjacent to the property, but do not extend over the property. There are no distinguishing landmarks or natural features, apart from a large elm tree along the property's southern boundary, which will remain in place.



Sun Valley General Improvement District
5000 Sun Valley Boulevard
Sun Valley, NV 89433-8229
Phone: (775) 673-2220
Fax: (775) 673-1835

Prior to preparation of the SUP application, the project engineer (Shaw Engineering) met with both Planning and Engineering staff to discuss the proposed project and review applicable provisions of the County Development Code. We believe our proposed project complies accordingly. The SUP package includes Site and Grading Plans, a Landscape Plan and a Pump House elevation drawing. Exterior lighting will only be located on the exterior walls as shown on the building elevations; the light fixture on the south wall will illuminate the two parking spaces required for the project; the drawing does not have a lumen isoline, but the light fixture will be sized to provide the required illumination. Signage for the facility will consist of a single small facility identification sign to be mounted on the gate.

The MPS facility will only be used by SVGID operations and maintenance personnel. It will not be accessible by the public. The facility will not be staffed or occupied on a full-time basis but will be accessed daily for routine operational and maintenance requirements.

We hope you will find the SUP application to be complete and sufficient for your review. If you need any further information, please let us know and it will be promptly provided.

If you have any questions, please feel to contact me.

Sincerely,

Brad Baockel
Public Works Director
Sun Valley General Improvement
5000 Sun Valley Blvd
(775) 673-2220
BBaockel@svgid.com

SUN VALLEY
GENERAL
IMPROVEMENT
DISTRICT

Community Services Department
Planning and Building
SPECIAL USE PERMIT
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Sun Valley GID New Main Pumping Station			
Project Description: Construction of a new pump station.			
Project Address: 5095 Prosser Way, Sun Valley, NV 89433			
Project Area (acres or square feet): 15002 SF			
Project Location (with point of reference to major cross streets AND area locator): SW Corner of East First Street and Prosser Way, Sun Valley			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
085-050-25	0.344		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: SUN VALLEY GENERAL IMPR DIST		Name: Shaw Engineering	
Address: 5000 SUN VALLEY BLVD		Address: 20 Vine Street	
SUN VALLEY Zip: 89433		Reno Zip: 89503	
Phone: (775) 673-2220 Fax: 673-7707		Phone: 775-329-5559 Fax: 329-5406	
Email: cmelton@svgid.com		Email: steve@shawengineering.com	
Cell: Other:		Cell: 775-848-5559 Other:	
Contact Person: Chris Melton		Contact Person: Steve Brigman	
Applicant/Developer:		Other Persons to be Contacted:	
Name: SUN VALLEY GENERAL IMPR DIST		Name: SUN VALLEY GENERAL IMPR DIST	
Address: 5000 SUN VALLEY BLVD		Address: 5000 SUN VALLEY BLVD	
SUN VALLEY Zip: 89433		SUN VALLEY Zip: 89433	
Phone: (775) 673-2220 Fax: 673-7707		Phone: (775) 673-2220 Fax: 673-1835	
Email: cmelton@svgid.com		Email: JMerritt@svgid.com	
Cell: Other:		Cell: Other:	
Contact Person: Chris Melton		Contact Person: Jennifer Merritt	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

A water pumping facility replacement, called the SVGID Main Pumping Station. The new pump station will be a replacment for their existing pumping pumping facility constructed in 1965.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

A site plan is attached hereto.

3. What is the intended phasing schedule for the construction and completion of the project?

The project will be constructed as a single phase and is planned to be constructed and in operation by October 2025'

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The location is required near the existing facility to maintain consistency to meet current demands and water pressure.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

It is adjacent to the current Sun Valley GID Offices and part of the future facility expansion.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

None

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Landscaping plans attached. Two parking spaces are provided, one of which is ADA van assessable. Parking lighing will be provided from a fixture mounted on the west side of the adjacent building. See attached Site Plan.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	Municipal
b. Electrical Service	NV Energy
c. Telephone Service	N/A
d. LPG or Natural Gas Service	None
e. Solid Waste Disposal Service	N/A
f. Cable Television Service	N/A
g. Water Service	Municipal

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #	Not Required	acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

Water rights are not required for this project.

10. Community Services (provided and nearest facility):

a. Fire Station	TMFD Station #45 110 Quartz Lane, Sun Valley, NV 89433
b. Health Care Facility	Community Health Alliance – Nell J. Redfield Health Center, 5055 Sun Valley Blvd, Sun Valley
c. Elementary School	Lois Allen ES, 5155 McGuffey Rd, Sun Valley, NV 89433
d. Middle School	Desert Skies Middle School,
e. High School	Hug High School
f. Parks	Gepford Park, 305 E. Gepford, Sun Valley, NV 89433
g. Library	Sparks Library, 1125 12th St, Sparks, NV 89431
h. Citifare Bus Stop	Sun Valley Boulevard and E 1st Avenue

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

To construct a building pad and foundation for the pump house and grade the site for proper drainage.

2. How many cubic yards of material are you proposing to excavate on site?

Less than 500 cubic yards and the majority of the excavation will be for utility trenches.

3. How many square feet of surface of the property are you disturbing?

11,000 square feet

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

No export material. Approximatley 300 cubic yards import the majority of which will be aggregate base course material.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Yes. The area of grading is less that 1 acre and excavation and import materials are significantly less that 5000 cubic yards.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

Yes indirectly. There was previously occupied by a residential structure, which has be removed. SVGID subsequently cleared and graded the site for a future facility. This work was completed in 2010.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, looking South from East First Street, looking west from East of Prosser Way and east from From Sun Valley Blvd

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

The Driveway will be only be used by SVGID operations and maintenance personnel.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Slope will be primarily limited along the south and west boundaries of the site. Slope will not exceed 4 horizontal to 1 vertical (4:1) and the majority slopes will be significantly less.

11. Are you planning any berms?

Yes	NoX	If yes, how tall is the berm at its highest?
-----	-----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

No retaining walls are required for this project.

13. What are you proposing for visual mitigation of the work?

This is a generally flat parcel. Exterior views along First Street and Prosser Way will look into a landscape areas. The building will include architectural elements from the SVGID's main office building.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No trees will be removed.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

There is no seed mix for this project at this time as landscape areas will be planted. Walk-on-bark will be used in the planting areas. There is 2132 square feet of mulched area.

16. How are you providing temporary irrigation to the disturbed area?

No. But dust control measures included watering will be required during construction.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No

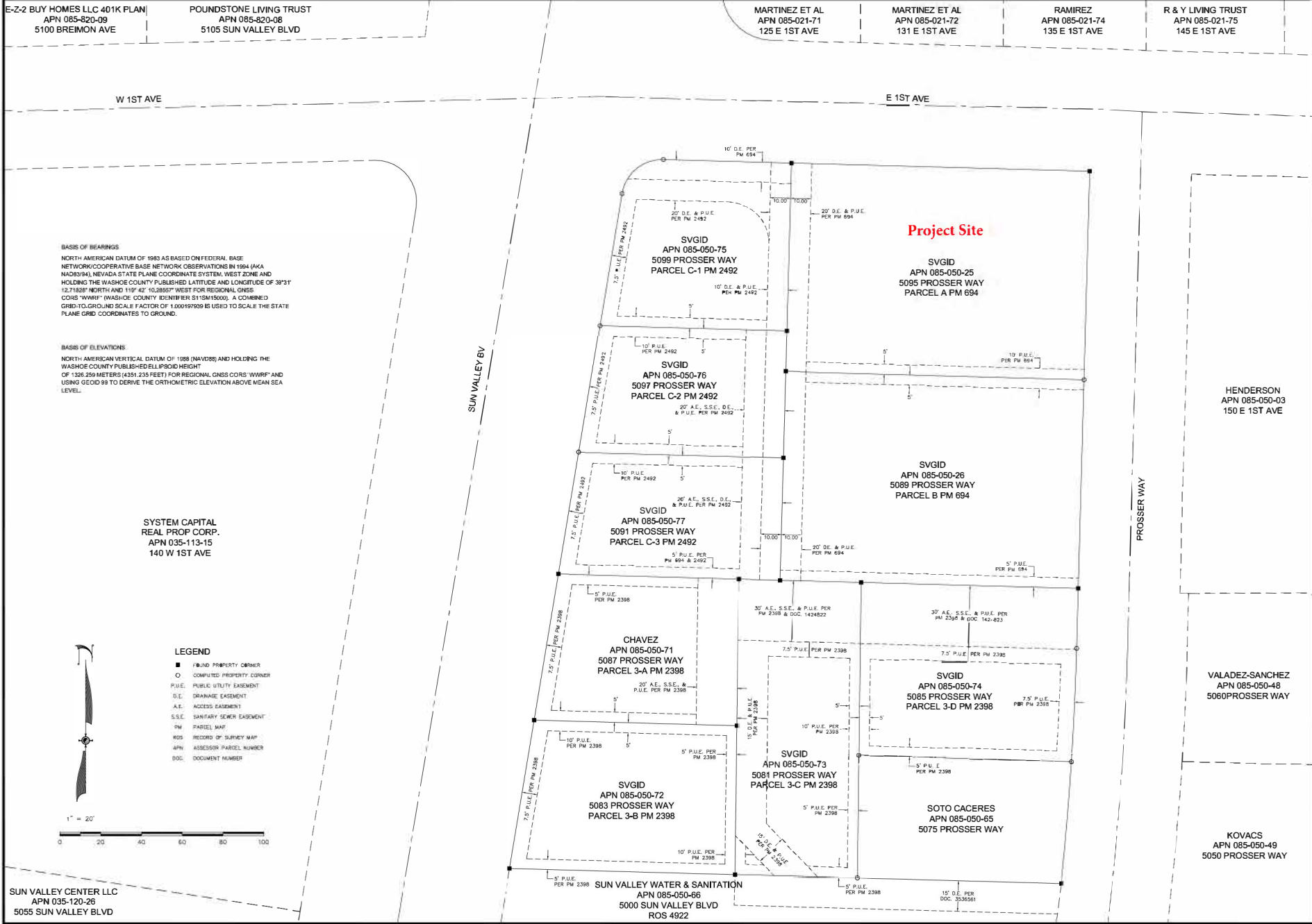
18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	NoX	If yes, please attach a copy.
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APPENDICES

- **Site Plans**
- **Landscaping and Irrigation Plans**
- **Building Elevations**

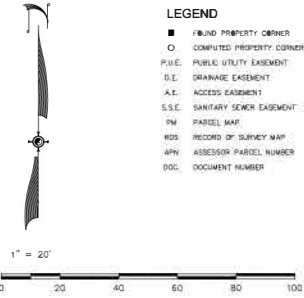
SITE PLANS



BASIS OF BEARINGS
 NORTH AMERICAN DATUM OF 1983 AS BASED ON FEDERAL BASE NETWORK/COOPERATIVE BASE NETWORK OBSERVATIONS IN 1994 (AKA NAD83/94), NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE AND HOLDING THE WASHOE COUNTY PUBLISHED LATITUDE AND LONGITUDE OF 30°11'12.71828" NORTH AND 119° 42' 10.28557" WEST FOR REGIONAL GNSS CORS "WWRP" (WASHOE COUNTY IDENTIFIER S11SM15000). A COMBINED GRID-TO-GROUND SCALE FACTOR OF 1.000191939 IS USED TO SCALE THE STATE PLANE GRID COORDINATES TO GROUND.

BASIS OF ELEVATIONS
 NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND HOLDING THE WASHOE COUNTY PUBLISHED ELLIPSOID HEIGHT OF 1326.259 METERS (4351.235 FEET) FOR REGIONAL GNSS CORS "WWRP" AND USING GEOID 99 TO DERIVE THE ORTHOMETRIC ELEVATION ABOVE MEAN SEA LEVEL.

**SYSTEM CAPITAL
 REAL PROP CORP.**
 APN 035-113-15
 140 W 1ST AVE



SUN VALLEY CENTER LLC
 APN 035-120-26
 5055 SUN VALLEY BLVD

SUN VALLEY CENTER LLC
 5055 SUN VALLEY BLVD
 PHONE: (775) 741-4556 FAX: (775) 741-4569

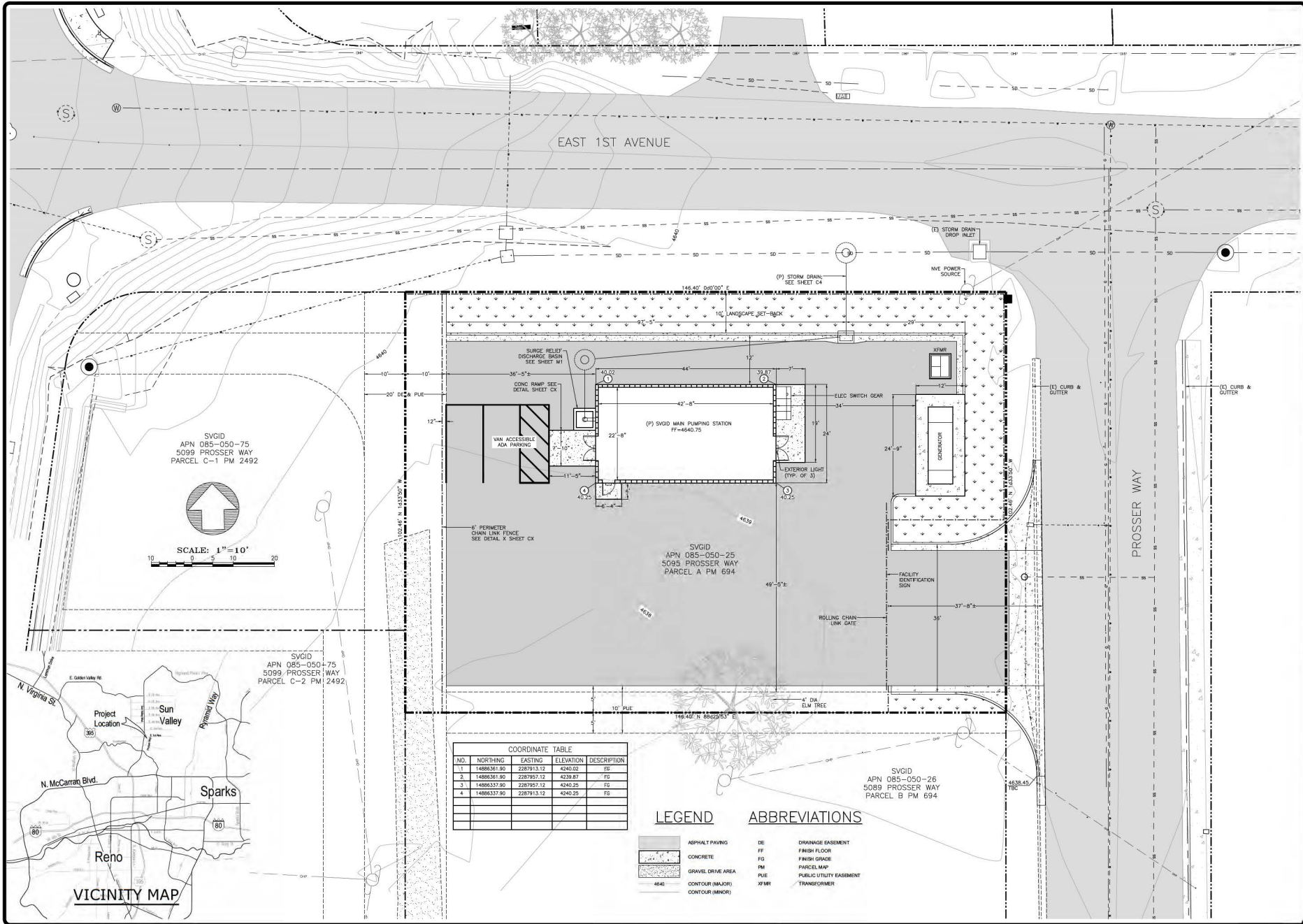
SUN VALLEY GENERAL IMPROVEMENT DISTRICT
EAST 1ST STREET WATER PUMPING FACILITY
BOUNDARY & EASEMENTS 11/20/2023

DESIGNED BY: RGC
 DRAWN BY: rook
 CHECKED BY: RGC
 Copyright SUMMIT ENG 2023

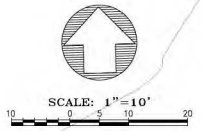
NEVADA
 WASHOE COUNTY
 SUN VALLEY

SHEET	SCALE	REV.	DATE	DESCRIPTION	BY	APPD
1	HORIZ: 1"=20' VERT: N/A					
1						

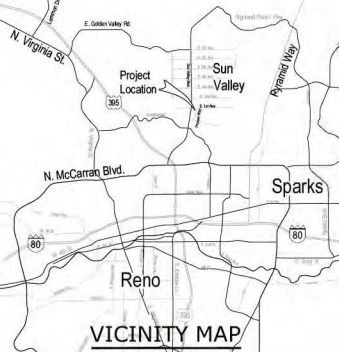
NEVADA REGISTERED PROFESSIONAL ENGINEER - LICENSE NO. 25490-2023



SVGID
APN 085-050-75
5099 PROSSER WAY
PARCEL C-1 PM 2492



SVGID
APN 085-050-75
5099 PROSSER WAY
PARCEL C-2 PM 2492



COORDINATE TABLE			
NO.	NORTHING	EASTING	ELEVATION DESCRIPTION
1	1488636.00	228793.12	4240.02 FG
2	1488636.00	228795.12	4239.87 FG
3	1488637.00	228795.12	4240.25 FG
4	1488637.00	228793.12	4240.25 FG

LEGEND		ABBREVIATIONS	
	ASPHALT PAVING	DE	DRAINAGE EASEMENT
	CONCRETE	FF	FINISH FLOOR
	GRAVEL DRIVE AREA	FG	FINISH GRADE
	CONTOUR (MAJOR)	PM	PARCEL MAP
	CONTOUR (MINOR)	PUE	PUBLIC UTILITY EASEMENT
		XFMR	TRANSFORMER

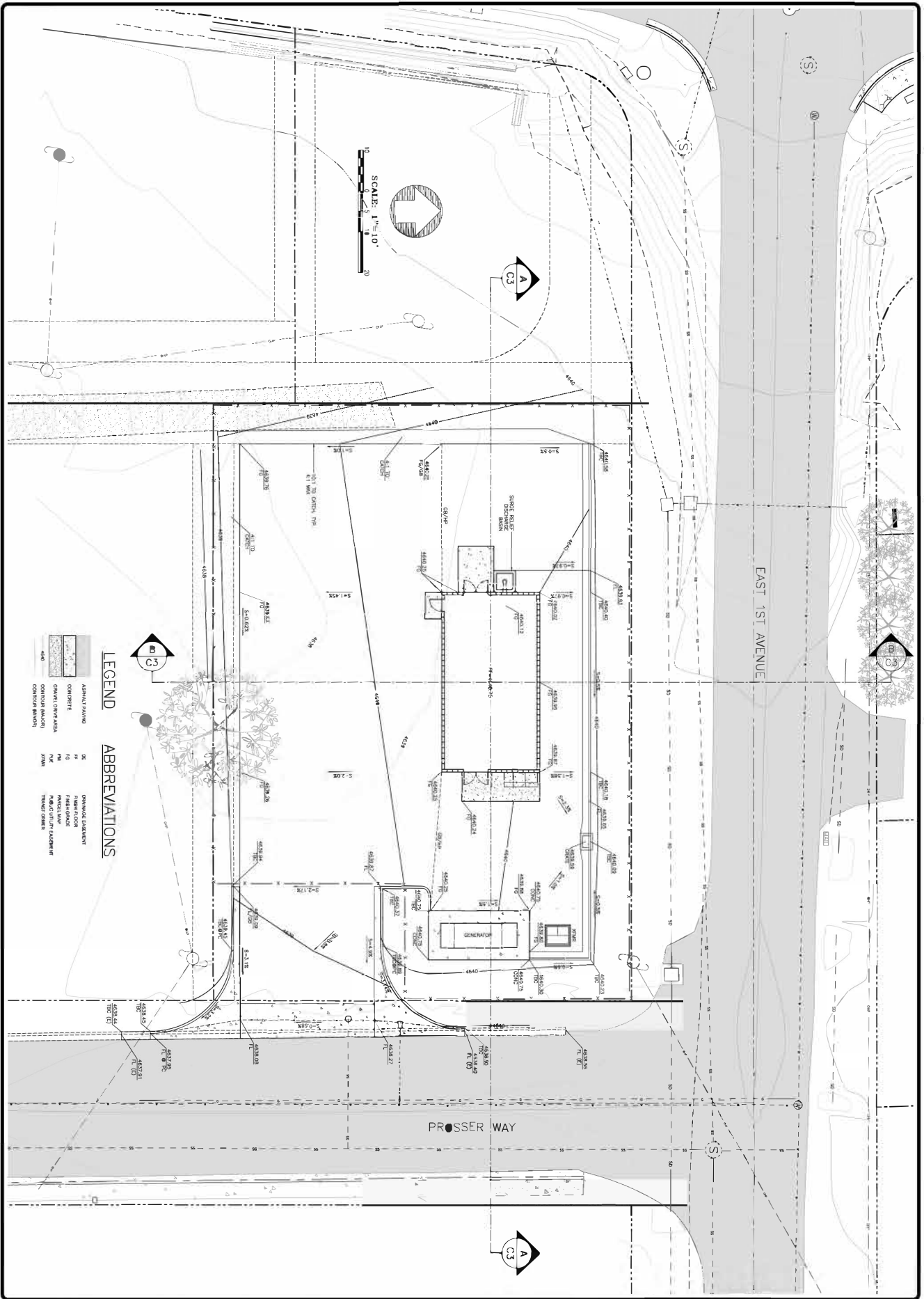
NO.	REVISIONS DESCRIPTION	BY DATE	

SHAW ENGINEERING
 20 Wiles Street
 Reno, NV 89503
 Phone: (775) 328-5559
 Toll Free: (888) 328-5559
 Fax: (775) 328-5406
 E-mail: general@shawengineering.com
 Website: www.shawengineering.com

SUN VALLEY GID
 GENERAL IMPROVEMENT DISTRICT
 MAIN PUMP STATION
 SITE PLAN

DRAWN BY:	TCB
DESIGNED BY:	SHB
CHECKED BY:	SCB
DATE:	4/8/2008
JOB NO.:	Z101.00

SHEET NUMBER
C1



- LEGEND**
- ASPHALT PAVING
 - CONCRETE
 - GRAVEL DRIVE AREA
 - CONTROL BENCH
 - CONTROL BENCH
- ABBREVIATIONS**
- GE
 - FG
 - FM
 - XTM
 - ORANGE EXAMINER
 - FRESH FLOOR
 - PAVED DRIVE PAVEMENT
 - TRUNKED DRAIN

SHEET NUMBER
C2

DRAWN BY: TCS
 DESIGNED BY: SRS
 CHECKED BY: SRS
 DATE: 4/20/04
 JOB NO: 2103100

**SUN VALLEY GID
 GENERAL IMPROVEMENT DISTRICT**

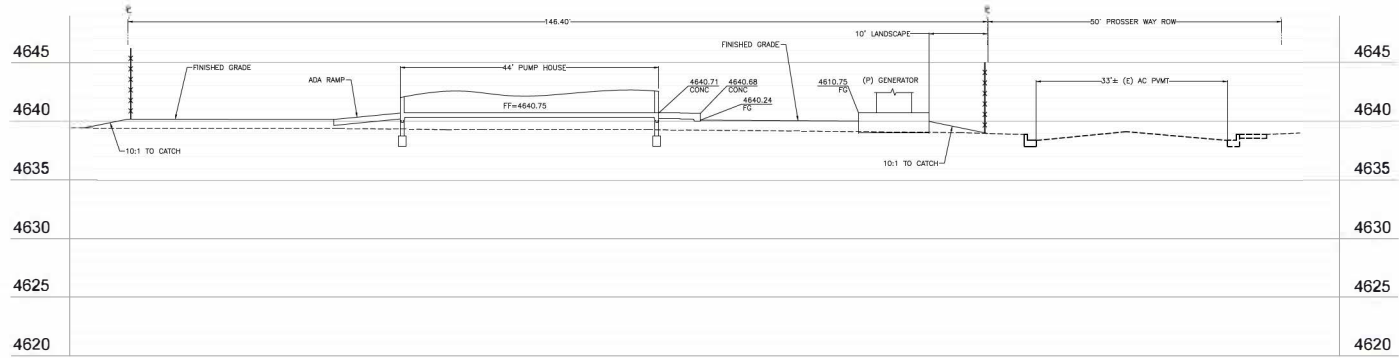
**MAIN PUMP STATION
 GRADING PLAN**

SHAW ENGINEERING
 20 Vine Street
 Reno, NV 89503
 Phone: (775) 334-8333
 Fax: (775) 334-8339
 Email: info@shawengineering.com
 Website: www.shawengineering.com

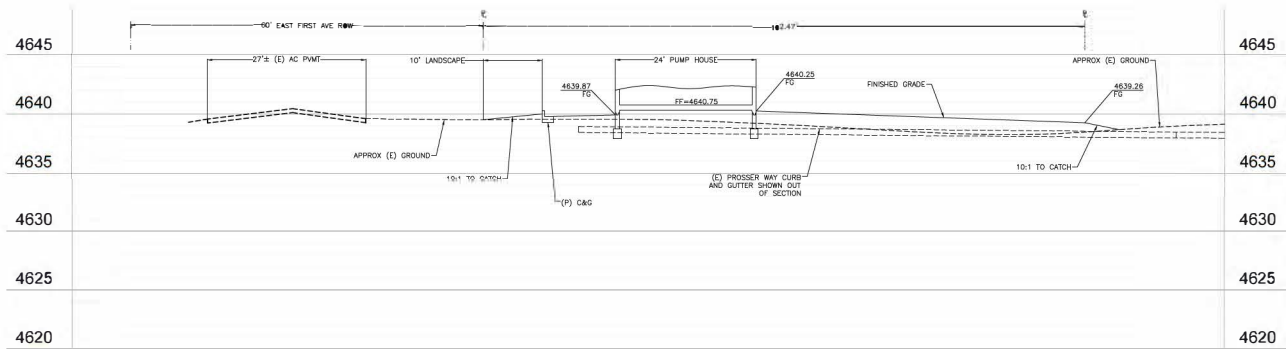
REVISIONS

No.	DESCRIPTION	DATE	BY

**WSUP24-0004
 EXHIBIT D**



A
SECTION A-A
SCALE: 1"=10' HORIZONTAL
1"=5' VERTICAL

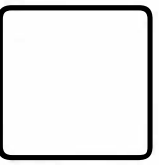


B
SECTION B-B
SCALE: 1"=10' HORIZONTAL
1"=5' VERTICAL

NO.	DESCRIPTION	REVISIONS	
		DATE	BY

SHAW ENGINEERING
 20 Vine Street
 Reno, NV 89503
 Phone: (775) 339-5559
 Toll Free (888) 328-5559
 Fax: (775) 328-5406
 Email: general@shawengineering.com
 Website: www.shawengineering.com

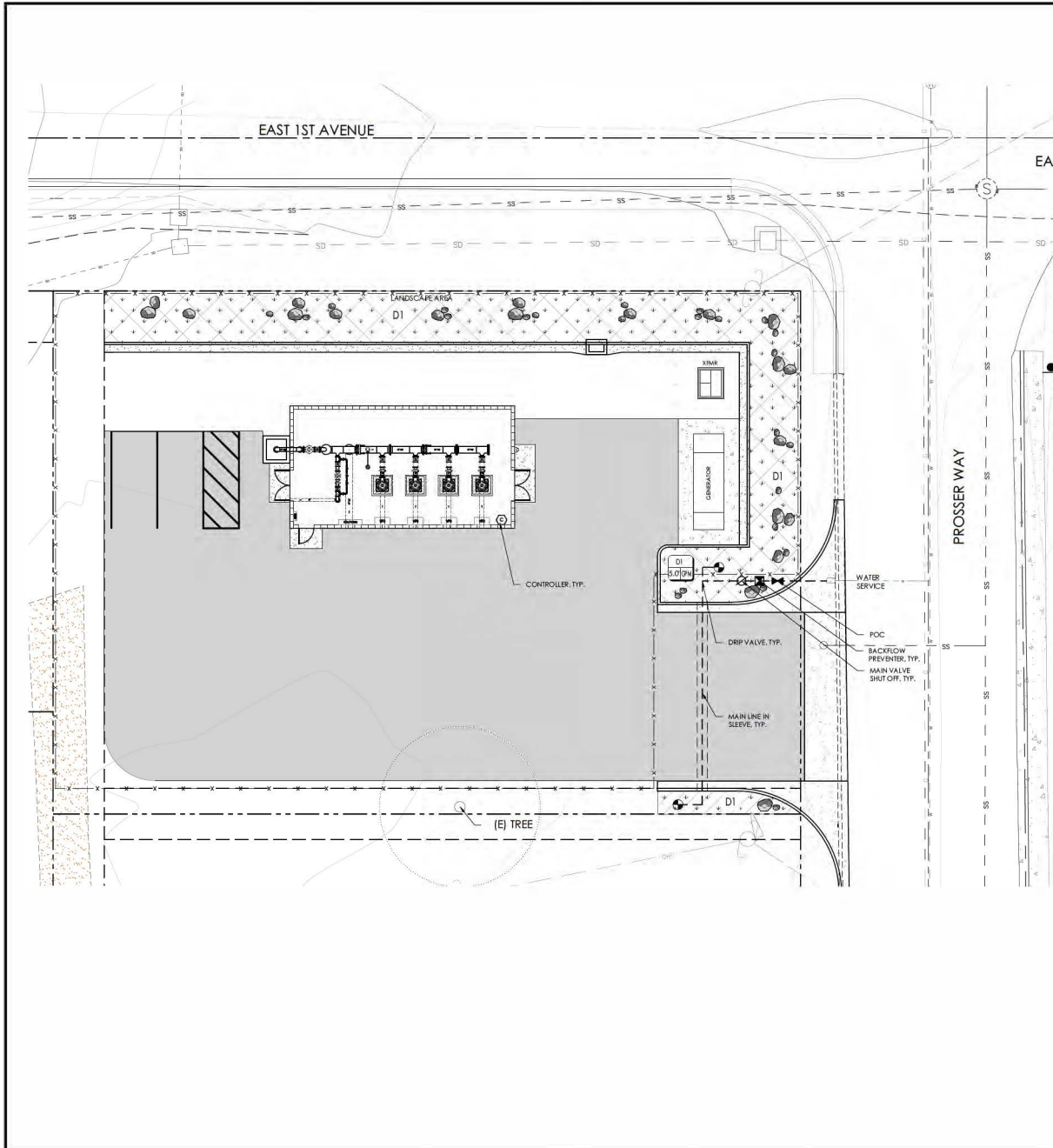
SUN VALLEY GID
 GENERAL IMPROVEMENT DISTRICT
 MAIN PUMP STATION
 GRADING SECTIONS



DRAWN BY: TCR
 DESIGNED BY: SHB
 CHECKED BY: SHB
 DATE: 4/8/24
 JOB NO: 21031.00

SHEET NUMBER
C3

LANDSCAPE AND IRRIGATION PLANS



- IRRIGATION NOTES**
- THIS IRRIGATION PLAN HAS BEEN DEVELOPED TO FULLY CLEAR CREEK TANKS FOR FUTURE CONSTRUCTION TO THE LANDSCAPE ARCHITECT OR OWNER IF ANY DISCREPANCIES OCCUR ON SITE AND ALL SUBSTITUTIONS SHALL BE APPROVED PRIOR TO INSTALLATION.
 - INSTALLING CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND AREAS PRIOR TO START OF JOB. IN THE EVENT OF FULL COVERING OF PLANTING, NOTIFY LANDSCAPE ARCHITECT OR OWNER PRIOR TO TRIMMING.
 - PLAN IS DIMENSIONAL AND NOT INTENDED TO SHOW EXACT LOCATION OF PIPING AND VALVES.
 - ALL MATERIALS SHALL BE NEW AND IN PERFECT CONDITION. NO DEVIATIONS FROM THE SPECIFICATIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR IS INVITED TO OTHER SUBSTITUTIONS AND/OR CHANGES FOR CONSIDERATION BY LANDSCAPE ARCHITECT OR OWNER.
 - MANLINE SHALL BE SCH 40 PVC MINIMUM 8" DEPTH OF FINISH GRADE. LATERAL LINES SHALL BE SCH 40 PVC AT A MINIMUM DEPTH OF 8" BELOW AND RECOMMENDED BY THE MANUFACTURER TO MAKE PLASTIC PIPE JOINTS ALLOW 15 MINUTES SET-UP CURING TIME BEFORE MOVING OR HANDLING, AND 24 HOURS CURING TIME BEFORE WATER IS PLACED IN PIPE. APPLY WEIGHT ON LOAD PIPE WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND WIPING UNDER PRESSURE.
 - WHERE NEARER THAN ONE PIPE IS INSTALLED IN A TRENCH, PLACE PIPE BY SIDE AT A MINIMUM OF 2" APART, WHERE SOIL CONDITIONS ARE NOT FAVORABLE, PLACE A FLAT IR OF THE MATERIAL ON BOTTOM OF TRENCH PRIOR TO INSTALLATION OF PIPE.
 - ALL VALVES SHALL BE BELOW GRADE IN CARBON POLY-PLASTIC VALVE BOXES, OR EQUAL SIZE AS NEEDED FOR VALVE METHOD. INSTALL VALVE BOX ON MAINLINE WHENEVER POSSIBLE.
 - SECRETLY MOUNT CONTROLLER AS DIRECTED BY MANUFACTURER. COMPLETE ALL ELECTRICAL CONNECTIONS TO CONTROLLER. ALL CONTROLS WIRE SHALL BE AT LEAST 18" DEPTH, 18" AND BUNDLE EVERY 22" MAXIMUM PLACE AT A MINIMUM DEPTH OF 8". INSTALLING IN COMMON TRENCH WITH MAINLINE WHENEVER POSSIBLE. WHERE WIRE CROSS SPRINKLING EMITTERS IN A SCH 40 PVC SLEEVE, FOR EXTRA STATIONS ON CONTROLLER, RUN ONE WIRE FROM EACH REMAINING STATION TO THE LAST VALVE ON THE MAINLINE, LABEL AND LEAVE IN VALVE BOX FOR FUTURE ACCESS.
 - AT VALVES, BOTH WIRES SHALL BE BROUGHT INTO VALVE BOX AND SHALL HAVE AN EXCISE LOOP OF 24" BEFORE BEING SPLICED INTO THE EXISTING PIGTAIL USING FERTILE CONNECTORS.
 - AFTER VALVES HAVE BEEN INSTALLED, TEST ALL MAINLINE FOR LEAKS AT FULL LINE PRESSURE FOR A PERIOD OF TWO HOURS WITH COUPPLERS EXPOSED AND PIPES EXPOSED CENTER JOINTS. BEFORE TESTING, FILL TRENCH WITH WATER FOR AT LEAST 24 HOURS. PATCHES SHALL BE MADE FOR THOROUGHLY BLEEDING THE LINE OF AIR AND DEBRS, CORRECT ALL DEFECTS AND RETEST.
 - ALL EXCAVATIONS SHALL BE BACKFILLED WITH FINE MATERIAL TO 4" ABOVE CROWN OF PIPE AND TAMPED. THEN FILL WITH 4" AND TAMP. ALL TRENCHES SHALL BE FLOW TESTED WITH ADJOINING GRADE AND NO FIRM, UNDESIRABLE CONDITIONS. UNDESIRABLE SETTLING SHALL BE CORRECTED BY THE CONTRACTOR.
 - INSTALL ALL SYSTEMS WITHOUT SPRAY NOZZLES AND DRIP EMITTERS. FLUSH AND OPERATE EACH VALVE SYSTEM AT FULL PRESSURE UNTIL ALL DEBRIS IS REMOVED. INSTALL SPRAY NOZZLES AND DRIP EMITTERS.
 - TEST TO DETERMINE THAT ALL SPRINKLERS AND EMITTERS FUNCTION ACCORDING TO MANUFACTURER'S DATA AND ONE GPM LOSS COVERAGE ACCORDING TO INTENT OF DRAWING. REPLACE AND ADJUST AS NECESSARY. ADDITIONAL HEADS AND EMITTERS SHALL BE PROVIDED BY THE CONTRACTOR TO COVER AREAS SHOWN TO BE DEFICIENT BY TEST.
 - CONTRACTOR SHALL SET INITIAL PROGRAM FOR THE CONTROLLER AND SHALL PROVIDE OWNER WITH THE INSTRUCTION MANUAL AND DEMONSTRATE ITS OPERATION TO THE OWNER.
 - CONTRACTOR SHALL GUARANTEE ALL PARTS AND LABOR BY MINIMUM ONE YEAR WITH EXCEPTED DAMAGE CAUSED BY VANDALISM, TREE ADVERSE NATURAL CONDITIONS OR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.
 - WHEN THE SYSTEM IS INSTALLED, KING BRAIN AUTOMATIC DRAIN VALVES AT ALL LOW POINTS. INSTALL MANUAL DRAIN VALVE BEHIND STREAM OF VALVE MANFOLD. BACKFLOW PREVENTER SHALL BE INSTALLED WITH UNION JOINTS AND REMOVED WHEN THE TANK IS FULL FOR STORAGE IN A WARM, DRY LOCATION.
 - ADD FETER AT P.O.C. TO FILTER ALL WATER PASSED ON TO IRRIGATION SYSTEM.
 - P.O.C. MAIN SHUTOFF VALVE AND BACKFLOW DEVICES SHALL BE INSTALLED WITH THE SUPPLYING UTILITY OR BUILDING ENVELOPE PER STATE OF NEVADA REQUIREMENTS.

NOTE:
 SHUT OUT MAINLINE IN AN IRRIGATION BOX FOR FUTURE IRRIGATION EXPANSION.

IRRIGATION LEGEND

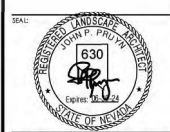
SYMBOL	QTY.	DESCRIPTION	SIZE
+	1	P.O.C. - POINT OF CONNECTION - SUPPLY LINE FROM MUNICIPAL SUPPLY	1.5" SCHED 40
+	1	BACKFLOW PREVENTION DEVICE - REDUCED PRESSURE ASSEMBLY WELKINS 975 XL	1"
+	1	AUTOMATIC CONTROLLER WITH WEATHER SENSORS - HUNTER PRO-C	4.6 STATIONS
+	1	MAIN VALVE SHUTOFF	
+	2	IRRIGATION DRIP VALVE - HUNTER IC3 (6) W/ FILTER SYSTEM	3/4"
+	78	SCHEDULE 40 PVC MANLINE AT 8" BELOW GRADE	8"
+	39	SCHEDULE 40 PVC SLEEVE, 4" UNLESS OTHERWISE NOTED ON PLAN - 24" BELOW SURFACE FOR MAINLINE, 18" FOR LATERALS	
+	XX	SCHEDULE 40 LATERAL LINE	
+	01	DRIP ZONE	
+	X	VALVE SEE. GPM= ESTIMATED GALLONS PER MINUTE	

- NOTES:**
- LANDSCAPE IS TO BE IRRIGATED WITH DRIP IRRIGATION. IRRIGATION TO BE INSTALLED PER MANUFACTURER INSTALLATION INSTRUCTIONS. IRRIGATION TO BE CONTROLLED WITH SMART CONTROLLER. INSTALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE AND LOCATE ELECTRIC CONTROLS AND QUICK COUPLING VALVES IN GROUND COVER SHUB AREAS AT 12" AWAY FROM EDGE OF SIDEWALK FOR EASY ACCESS.
 - DRIP IRRIGATION TO BE INSTALLED AT A CAPACITY AS DESIGNED WITH MAXIMUM FLOW RATES. INSTALL PRESSURE REGULATOR AND COMPENSATE FOR THE SLOPE OF THE OVERALL SYSTEM. GPM RATES SHOWN PER VALVE ARE APPROXIMATE. LANDSCAPE CONTRACTOR SHALL TEST AND VERIFY PRESSURE AND FLOW PRIOR TO STARTING. JOB AND NOTIFY LANDSCAPE ARCHITECT IF WATER PRESSURE AND FLOWS DO NOT MEET MINIMUM REQUIREMENTS.
 - INSTALL KING BRAIN AUTOMATIC DRAIN VALVES AT VALVE MANIFOLDS AND AT ALL LOW POINTS IN HARD PIPE PORTIONS OF SYSTEM.
 - TO WINTERIZE SYSTEM INSTALL CHAMPION MANUAL DRAIN VALVE OR EQUAL WITH CROSS HANDLE AT VALVE MANFOLD. BACKFLOW PREVENTER AND DRIP ZONE IN THE DRAWING - SEE AS REQUIRED.
 - PIPE SIZES SHOWN ARE APPROXIMATE - CONTRACTOR TO ADJUST PIPE SIZING FOR OPTIMUM FLOW AND PRESSURE.

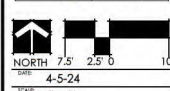
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IRRIGATION PLAN



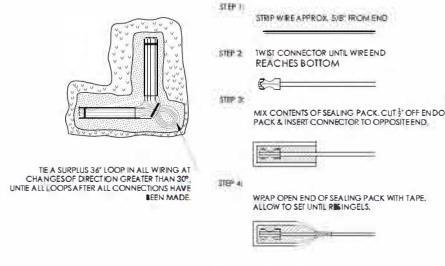
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 DRAWN BY: DDP
 CHECKED BY: JPP



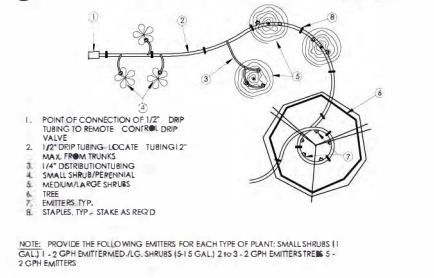
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 5095 PROSSER WAY,
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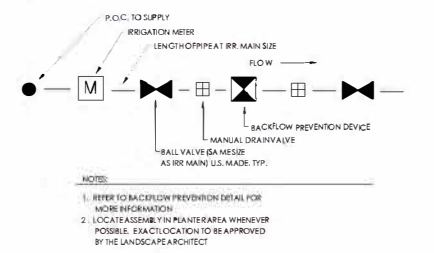
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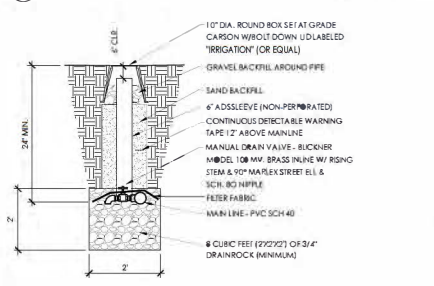
5 CONTROLLER WIRING & SPlicing DETAIL NOT TO SCALE



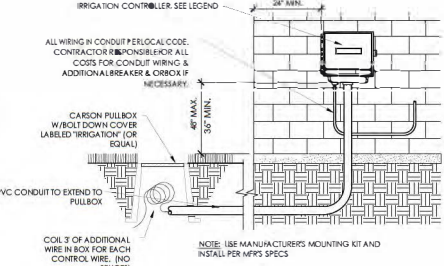
6 TYPICAL DRIP LAYOUT DETAIL NOT TO SCALE



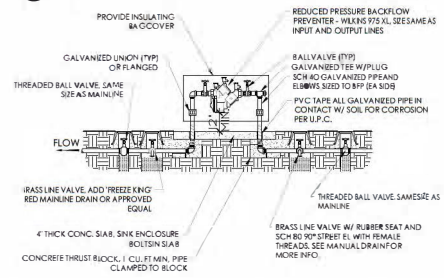
7 POINT OF CONNECTION DETAIL NOT TO SCALE



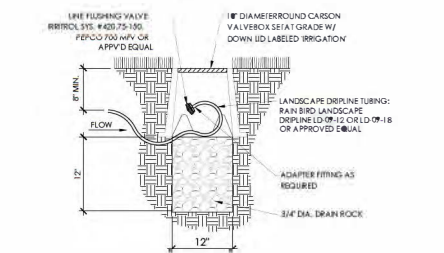
8 MANUAL DRAIN VALVE DETAIL NOT TO SCALE



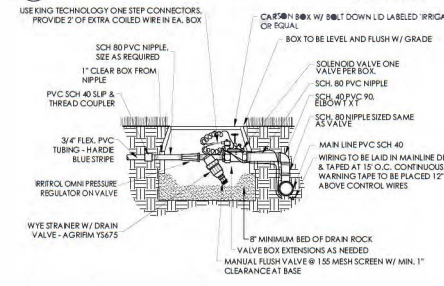
9 WALL MOUNTED CONTROLLER DETAIL NOT TO SCALE



2 R.P. BACKFLOW PREVENTER DETAIL NOT TO SCALE



3 FLUSHING END PLUG DETAIL NOT TO SCALE

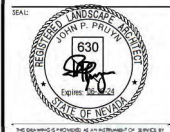


4 DRIP VALVE DETAIL NOT TO SCALE

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 NV. LIC. 430

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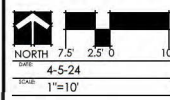
IRRIGATION DETAILS



DATE: _____

BY: _____

DRAWN BY: DDP CHECKED BY: JPP



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 5095 PROSSER WAY,
 SUN VALLEY, NV 89433

IRR. DETAILS

L2.1

BUILDING ELEVATIONS

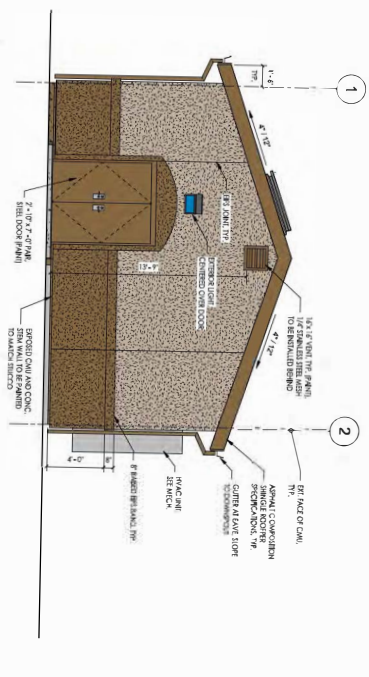
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 DRAWING BY: JLS
 CHECKED BY: AS
 DESIGNED BY: JLS
 DATE: APRIL 2024
 SHEET NO. 05
 SHEET TITLE: EXTERIOR ELEVATIONS

WSUP24-004
EXHIBIT D

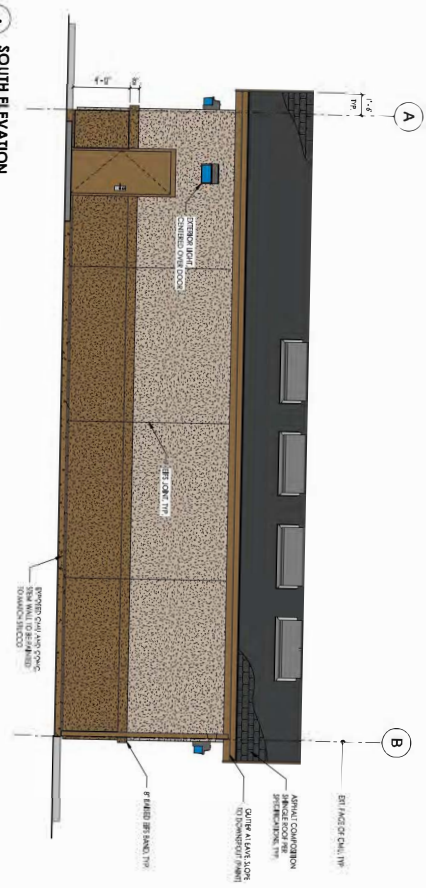
NELSON WILCOX
STRUCTURAL ENGINEERS
 321 S. Arlington Ave.
 Reno, Nevada 89501
 (775) 848-3166
 (702) 290-5750

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SUN VALLEY, NV 89433

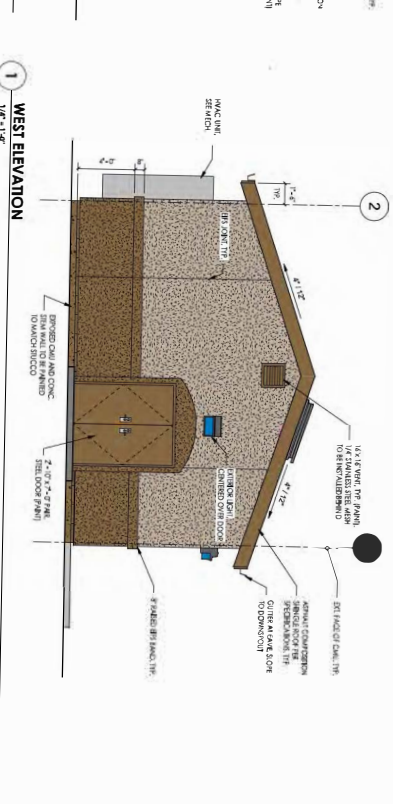
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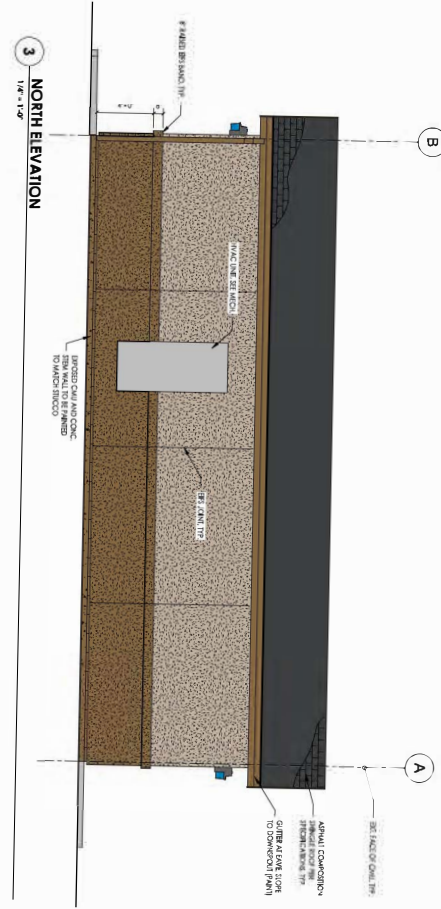
2 EAST ELEVATION



4 SOUTH ELEVATION



1 WEST ELEVATION



3 NORTH ELEVATION

EXTERIOR FINISHES

	BRICKWORK
	SPRINKLER RISER
	CONCRETE
	SIDING

EXTERIOR MATERIALS

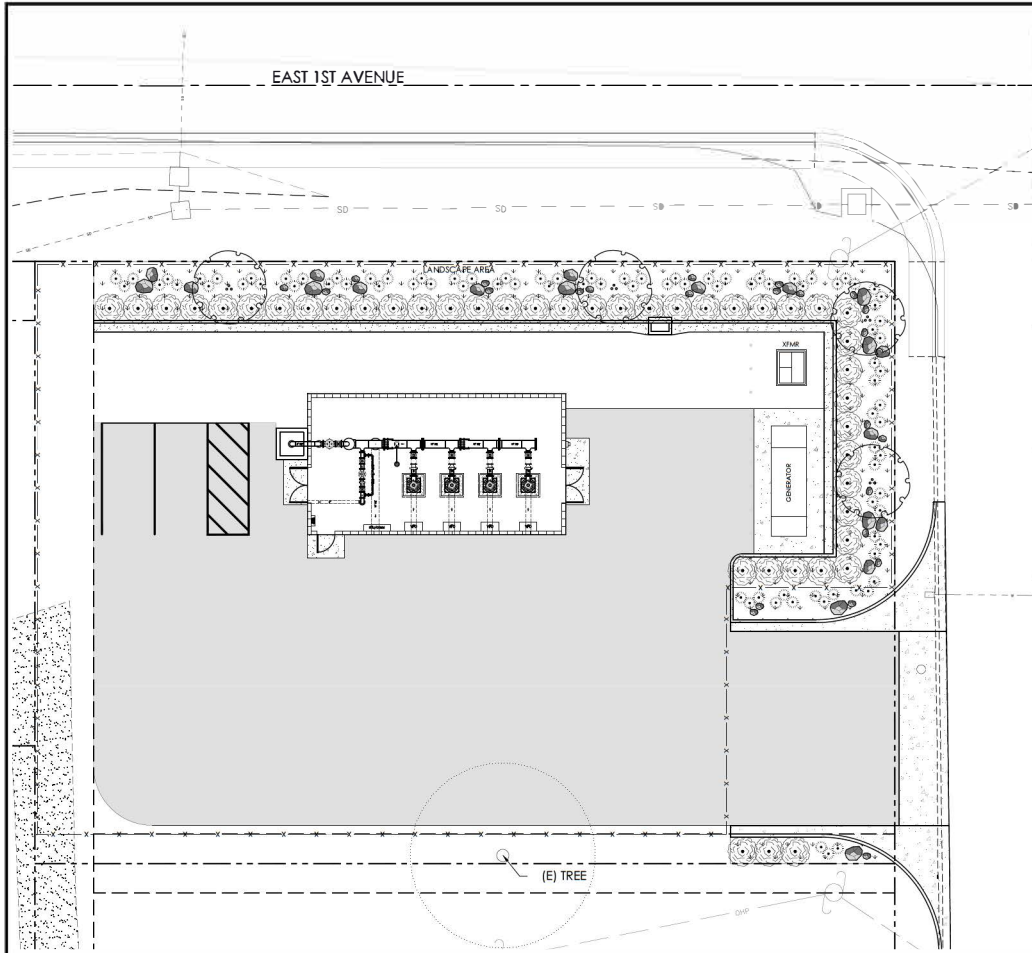
1	SEE TECHNICAL SPECIFICATIONS FOR BRICK AND CONCRETE REQUIREMENTS.
2	SEE THE ELECTRICAL PLAN FOR LIGHT FIXTURES AND CONDUIT.
3	SEE THE MECHANICAL PLAN FOR VENTILATION AND EXHAUST SYSTEMS.



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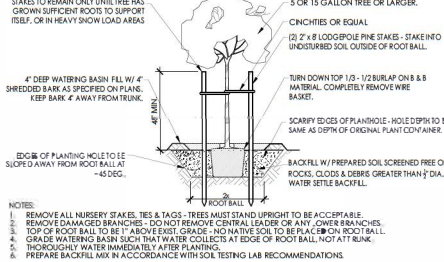
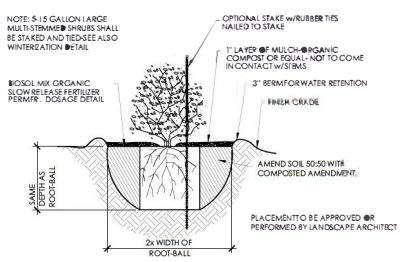
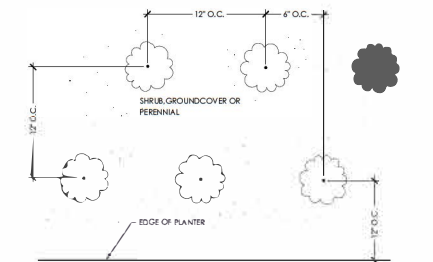
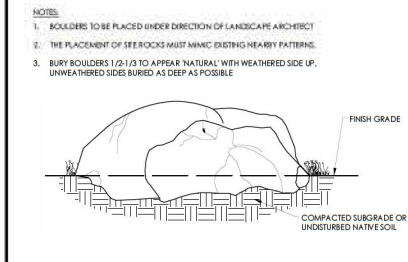


PROSSER WAY

PLANTING NOTES

- PLANT SHALL BE HEALTHY AND SPECIFIED ON THE PLAN AND BE HEALTHY SHIRTS AND WELL ROOTED AND CONFORM TO AMERICAN NURSERYMAN STANDARDS. TREES SHALL BE PLACED UNDER DIRECTION OF LANDSCAPE ARCHITECT. ANY CHANGES TO PLANT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT AND OWNER RESERVE THE RIGHT OF REVISION THROUGH THE PERMITS AND QUALITY CONTROL PHASES OF THE PROJECT. INSPECTION BY LANDSCAPE ARCHITECT IS A CONDITION OF THE CONTRACT. MATERIALS SHALL BE COMPLETELY FREE OF BRUISES, BRANCHES AND BARK DAMAGE. STRUCTURE OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND SPECIES TO BE PLANTED AND VERIFY CONTRACT AREA SHALL BE SUFFICIENT TO RECEIVE PLANTING. SOME ADJUSTMENTS MAY BE NECESSARY TO ACCOMMODATE PLANTING.
- THE PLANTING HOLES SHALL BE 18" DEEP AND 18" IN DIAMETER TO THE SLOPE OF THE EXISTING GROUND. HILLS SHALL BE REPAIRED AND SLOPES SHALL BE REPAIRED TO ORIGINAL GRADE. ALL PLANTING HOLES SHALL BE REPAIRED TO ORIGINAL GRADE AND SLOPES SHALL BE REPAIRED TO ORIGINAL GRADE. ALL PLANTING HOLES SHALL BE REPAIRED TO ORIGINAL GRADE AND SLOPES SHALL BE REPAIRED TO ORIGINAL GRADE.
- ROCKFALL SHALL BE REMOVED FROM CONTAINER AND ROOT PROTECTED PLANTING HOLES SHALL BE REPAIRED TO ORIGINAL GRADE AND SLOPES SHALL BE REPAIRED TO ORIGINAL GRADE. ALL PLANTING HOLES SHALL BE REPAIRED TO ORIGINAL GRADE AND SLOPES SHALL BE REPAIRED TO ORIGINAL GRADE.
- PLANT SHALL BE DELIVERED TO THE PROJECT SITE WITH A 4" DEEP WATERING BASIN FULL WITH 4" SHREDDED BARK AS SPECIFIED ON PLAN. KEEP BARK 4" AWAY FROM TRUNK.
- EDGES OF PLANTING HOLES TO BE SLOPED AWAY FROM ROOT BALLS AT 45 DEG.
- ROCKFALL WITH PREPARED SOIL SCREENED FREE OF ROCKS, CLODS & DEBRIS GREATER THAN 3" DIA. WATER SETTLE BACKFILL.
- REMOVE ALL NURSERY STAKES, TIES & TAGS - TREES MUST STAND UPRIGHT TO BE ACCEPTABLE.
- REMOVE DAMAGED BRANCHES - DO NOT REMOVE CENTRAL LEAD OR ANY LOWER BRANCHES.
- TOP OF ROOT BALL TO BE ABOVE EXIST. GRADE - NO NATIVE SOIL TO BE PLACED ON ROOT BALL.
- GRADE WATERING BASIN SUCH THAT WATER COLLECTS AT EDGE OF ROOT BALLS AT 1" DIA.
- THOROUGHLY WATER IMMEDIATELY AFTER PLANTING.
- PREPARE BACKFILL MIX IN ACCORDANCE WITH SOIL TESTING LAB RECOMMENDATIONS.

PRELIMINARY PLANTING LEGEND					TYPE
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTED SIZE	
EG/JAP	EUCYTHUS JAPONICUS (HEDGE)	JAPANESE EUCYTHUS	43	5-GAL	H
FR/GLA	FIBRICA GLAUCA OVINA	BLUE RESQUE	14	5-GAL	H
DN/BL	QUINCO BILBA	QUINCO	4	2' CALIPER	H



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Toll Free: (800) 329-5559
Fax: (775) 329-5458
E-Mail: john@shawengineering.com
Website: www.shawengineering.com

PREPARED FOR:

PLANTING PLAN

STATE OF NEVADA
630
REGISTERED PROFESSIONAL ENGINEER
PLANTING

DATE:

BY:

CHECKED BY:

DATE:

PROJECT:

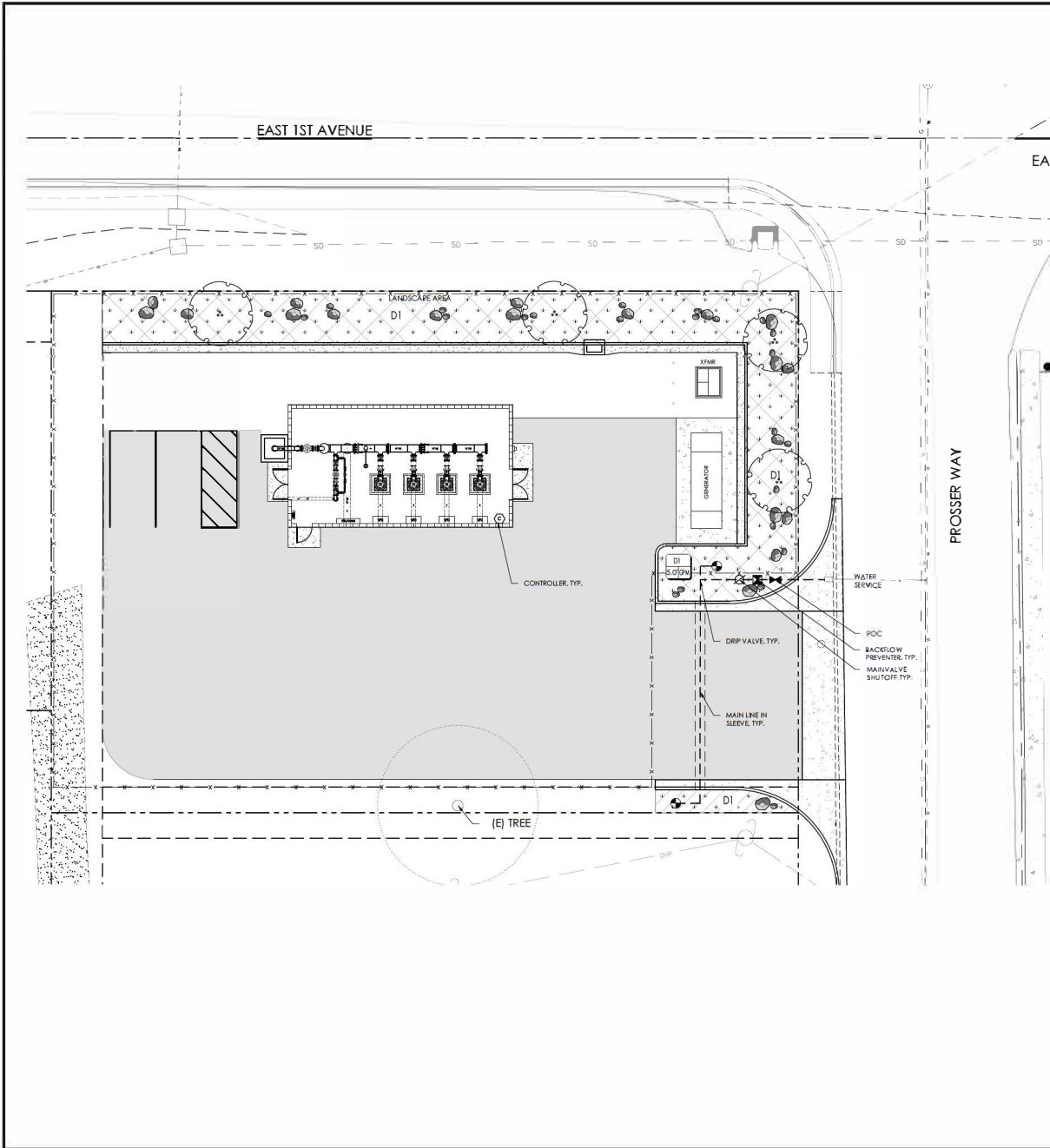
5095 PROSSER WAY,
SUN VALLEY, NV 89433

PRELIM. PLAN

DATE:

SCALE:

L1.0



- IRRIGATION NOTES**
1. THIS IRRIGATION PLAN HAS BEEN DEVELOPED TO FULFILL CLEAR CHECK SAMPLE REQUIREMENTS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OR OWNER IF ANY DISCREPANCIES OCCUR ON SITE AND ALL SUBSTITUTIONS SHALL BE APPROVED PRIOR TO INSTALLATION.
 2. INSTALL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND AREAS PRIOR TO START OF JOB. INTENT IS FOR FULL COVERAGE OF PLANTING. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO TRENCHING.
 3. PLAN IS DIMENSIONAL AND NOT INTENDED TO SHOW EXACT LOCATION OF PIPES AND VALVES.
 4. ALL MATERIALS SHALL BE NEW AND IN PERFECT CONDITION. NO DEVIATIONS FROM THE SPECIFICATIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR IS INVITED TO OFFER SUBSTITUTIONS AND/OR CHANGE ORDER FOR CONSIDERATION BY LANDSCAPE ARCHITECT OR OWNER.
 5. MAINLINE SHALL BE SCHEDULE 40 PVC. MINIMUM DEPTH OF 24" BELOW FINISH GRADE. LATERAL LINES SHALL BE SCHEDULE 40 PVC AT A MINIMUM DEPTH OF 18" BELOW AND RECOMMENDED BY THE PIPE MANUFACTURER TO MAKE PLASTIC PIPE JOINTS. ALLOW 15 MINUTE SETUP CURING TIME BEFORE MOVING OR HANDLING AND 24 HOURS CURING TIME BEFORE WATER IS PLACED IN PIPE. APPLY WEIGHT LOAD PER WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND WHISTLE UNDER PRESSURE.
 6. WHERE MORE THAN ONE PIPE IS INSTALLED IN A TRENCH, PLACE PIPE SIDE BY SIDE AT A MINIMUM OF 2" APART. WHERE SOIL CONDITIONS ARE ROCKY, PLACE A LAYER OF FINE MATERIAL ON BOTTOM OF TRENCH PRIOR TO INSTALLATION OF PIPE.
 7. ALL VALVES SHALL BE BELOW GRADE IN CARSON POLY-PLASTIC VALVE BOXES, OR EQUAL SIZE AS NEEDED FOR VALVE MANIFOLD. INSTALL VALVE BOXES IN PLANTERS WHENEVER POSSIBLE.
 8. SECURELY MOUNT CONTROLLER AS DIRECTED BY MANUFACTURER. COMPLETE ALL ELECTRICAL CONNECTIONS TO CONTROLLER. ALL CONTROLLER WIRES SHALL BE 1/4" DI. DIRECT BURIAL TAPS AND BUNDLE EVERY 20" MAXIMUM. PLACE AT A MINIMUM DEPTH OF 8" INSTALL IN COMMON TRENCHES WITH MAINLINE WHENEVER POSSIBLE. WHERE WIRE CROSSES PAVING, EXPOSE WIRE HAS CHOD PVC SLEEVE FOR EXTRA STATION GO ON CONTROLLER. RUN ONE WIRE FROM EACH REMAINING STATION TO THE LAST VALVE ON THE MAINLINE. LEAVE AND LEAVE IN LAST VALVE BOX FOR FUTURE ACCESS.
 9. AT VALVES, BOTH WIRES SHALL BE BROUGHT INTO VALVE BOX AND SHALL HAVE A 6" BICUS LOOP OF 24" BEFORE BEING SPLICED INTO THE SOLENOID PIGTAIL USING PETTIE CONNECTORS.
 10. AFTER VALVES HAVE BEEN INSTALLED, TEST ALL MAINLINE FOR LEAKS AT FULL LINE PRESSURE FOR A PERIOD OF TWO HOURS WITH COUPLINGS EXPOSED AND PIPE SECTIONS CENTER LOADED. BEFORE TESTING, FILL LINE WITH WATER FOR AT LEAST 24 HOURS. PROVIDED SHALL REMAIN FOR THOROUGHLY BLEEDING THE LINE OF AIR AND DEBBS. CORRECT ALL DEFECTS AND RE-TEST.
 11. ALL EXCAVATIONS SHALL BE BACKFILLED WITH FINE MATERIAL TO 4" ABOVE GROUND SURFACE AND TAMPED. BERT FILL WITH LATERAL AND TAMP. ALL TRENCHES SHALL BE LEFT FLUSH WITH FINISH GRADE AND IN A FIRM, UNSETTLING CONDITION AND SUBSEQUENT SETTLING SHALL BE CORRECTED BY THE CONTRACTOR.
 12. INSTALL ALL SYSTEMS WITHOUT SPRAY NOZZLES AND DRIP EMITTERS. FLUSH AND OPERATE ALL VALVES TO NORMAL PRESSURE UNTIL ALL DEBBS IS REMOVED. INSTALL SPRAY NOZZLES AND DRIP EMITTERS.
 13. TEST TO DETERMINE THAT ALL SPRINKLERS AND EMITTERS FUNCTION ACCORDING TO MANUFACTURER'S DATA AND ONE FULL COVERAGE ACCORDING TO INTENT OF DRAWING. REPLACE AND ADJUST AS NEEDED. ANY ADDITIONAL HEADS AND EMITTERS SHALL BE PROVIDED BY THE CONTRACTOR TO COVER AREAS SHOWN TO BE DEFICIENT BY TEST.
 14. CONTRACTOR SHALL SET UP INITIAL PROGRAM FOR THE CONTROLLER AND SHALL PROVIDE OWNER WITH THE INSTRUCTION MANUAL AND DEMONSTRATE OPERATION TO THE OWNER.
 15. CONTRACTOR SHALL GUARANTEE ALL PARTS AND LABOR FOR A MINIMUM ONE YEAR WITH ACCEPTABLE DAMAGE CAUSED BY VANDALISM. THESE ADVERSE NATURAL CONDITIONS OR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.
 16. WHERE SYSTEM BY INSTALLING KING DRAIN AUTOMATIC DRAIN VALVES AT ALL LOW POINTS. INSTALL MANUAL DRAIN VALVE DOWN STREAM OF VALVE MANIFOLD. BACKFLOW PREVENTER SHALL BE INSTALLED WITH INCH PORTS AND REMOVED IN THE FALL FOR STORAGE IN A WARM, DRY LOCATION.
 17. ADD FILTER AT P.O.C. TO FILTER ALL WATER PUMPED ON TO IRRIGATION SYSTEM.
 18. P.O.C. MAIN SHUTOFF VALVE AND BACKFLOW DEVICES SHALL BE INSTALLED WITH THE BUILDING SETBACK OR BUILDING ENVELOPE PER STATE OF NEVADA REQUIREMENTS.

NOTE:
START MAINLINE IN AN IRRIGATION BOX FOR FUTURE IRRIGATION EXPANSION.

IRRIGATION LEGEND

SYMBOL	QTY.	DESCRIPTION	SEE
—	1	P.O.C. - POINT OF CONNECTION - SUPPLY LINE FROM MUNICIPAL SUPPLY	1.4.5 REQUIRED
⊘	1	BACKFLOW PREVENTION DEVICE - REDUCED PRESSURE ASSEMBLY WILKINS 975 XL	3"
⊙	1	AUTOMATIC CONTROLLER WITH WEATHERSensors - HUNTER PRO-C	4.6 STATIONS
⊕	1	MAIN VALVE SHUTOFF	
⊕	2	IRRIGATION DRIP VALVE - HUNTER 1/2" (1) W/ FILTER SYSTEM	3.4"
—	78 LF	SCHEDULE 40 PVC MAINLINE AT 24" BELOW GRADE	3"
---	30 LF	SCHEDULE 40 PVC SLEEVE 6" UNLESS OTHERWISE NOTED ON PLAN	
---	24 LF	24" BELOW SURFACE FOR MAINLINE, 18" FOR LATERALS	
---	40 LF	SCHEDULE 40 LATERAL LINE	
⊕	1	DRIP ZONE	
⊕	1	VALVE SEE, GPM: ESTIMATED GALLONS PER MINUTE	

- NOTES:**
1. LANDSCAPE IS TO BE IRRIGATED WITH DRIP IRRIGATION. IRRIGATION TO BE REINSTALLED PER MANUFACTURE INSTALLATION INSTRUCTIONS. IRRIGATION TO BE CONTROLLED WITH SMART CONTROLLER. INSTALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE AND LOCATE ELECTRIC CONTROLS AND QUICK COUPLING VALVES IN GROUND COVERED AREAS 4'-12" AWAY FROM EDGE OF SIDEWALK FOR EASY ACCESS.
 2. DRIP IRRIGATION TO BE INSTALLED AT A ACCEPTABLE DESIGNERS WITH MAXIMUM FLOW RATES. INSTALL PRESSURE REGULATOR AND COMPENSATE FOR THE BEF OF THE OVERALL SYSTEM. GPM RATE SHOWN FOR VALVE ARE APPROXIMATE. LANDSCAPE CONTRACTOR SHALL TEST AND VERIFY PRESSURE AND FLOW PRIOR TO STARTING JOB AND NOTIFY LANDSCAPE ARCHITECT IF WATER PRESSURE AND FLOWS DO NOT MEET MINIMUM REQUIREMENTS.
 3. INSTALL KING DRAIN AUTOMATIC DRAIN VALVE AT VALVE MANIFOLD AND AT ALL LOW POINTS IN HARD PIPE PORTION OF SYSTEM.
 4. TO WATERBIDE SYSTEM INSTALL CHAMPION MANUAL DRAIN VALVE OR EQUAL WITH CROSS HANDLE AT VALVE MANIFOLD. BACKFLOW PREVENTER AND BARGE PRINT IN THE CLEAN. SEE AS REQUIRED.
 5. PIPE SIZES SHOWN ARE APPROXIMATE - CONTRACTOR TO ADJUST PIPE SIZES FOR OPTIMUM FLOW AND PRESSURE.

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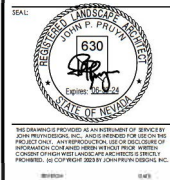
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CONSULTANT:

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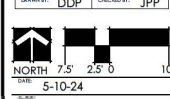
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E-mail: shaw@shawengineering.com
Website: www.shawengineering.com

IRRIGATION PLAN



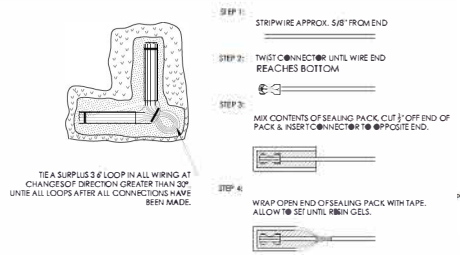
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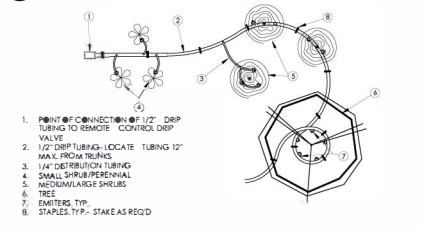


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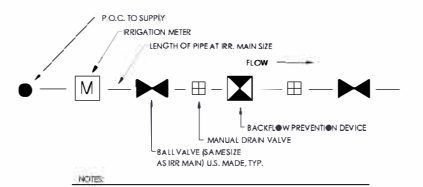
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DRAWING NO.:
L2.0



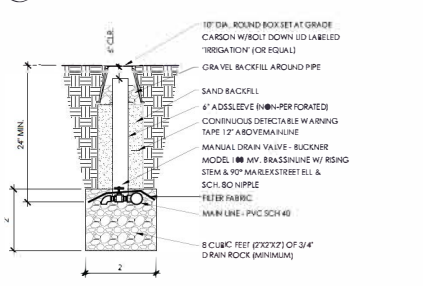
5 CONTROLLER WIRING & SPlicing DETAIL NOT TO SCALE



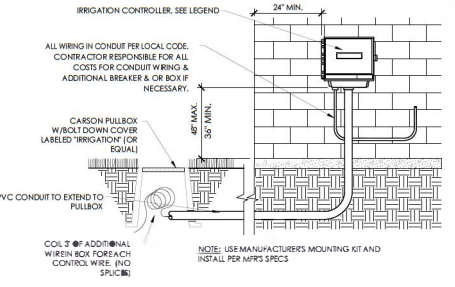
6 TYPICAL DRIP LAYOUT DETAIL NOT TO SCALE



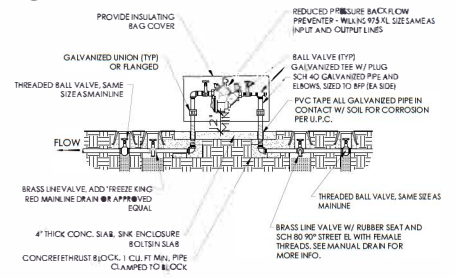
7 P.O.C. TO FLOW DETAIL NOT TO SCALE



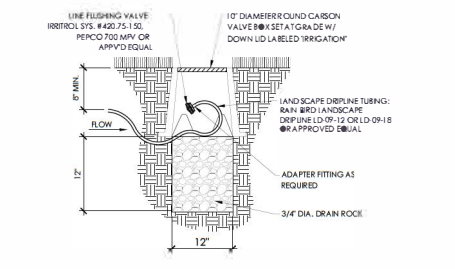
8 M. ANUADRAIN VALVE DETAIL NOT TO SCALE



9 WALL MOUNTED CONTROLLER DETAIL NOT TO SCALE



2 R.P. BACKFLOW PREVENTER DETAIL NOT TO SCALE



3 FLUSHING END PLUG DETAIL NOT TO SCALE

4 DRIP VALVE DETAIL NOT TO SCALE

john pruy designs, inc.
landscape architecture & planning

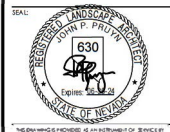
28 Vine Street
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Toll Free: (800) 329-5539
Fax: (775) 329-5450
E-mail: john@johnpruydesigns.com
Website: www.johnpruydesigns.com

CONSULTANT:

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Toll Free: (800) 329-5539
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E-mail: john@shawengineering.com
Website: www.shawengineering.com

IRRIGATION DETAILS

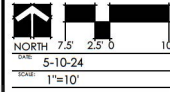


DATE: _____

SCALE: _____

PROJECT: _____

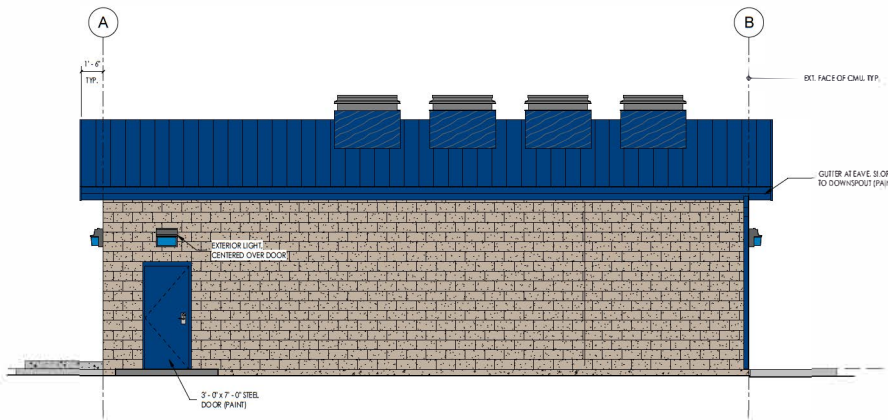
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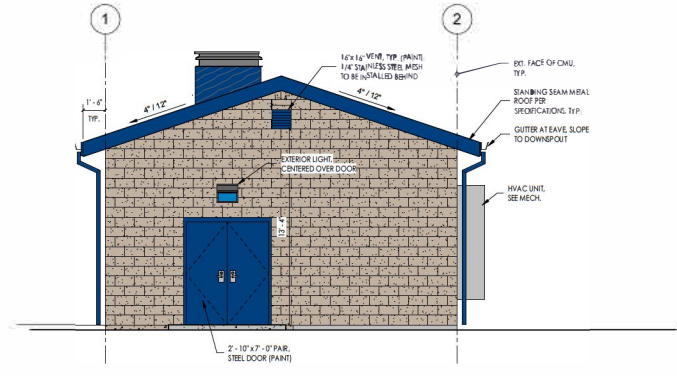
SVGD PUMP STATION
5095 PROSSER WAY,
SUN VALLEY, NV 89433

DATE: IRR. DETAILS

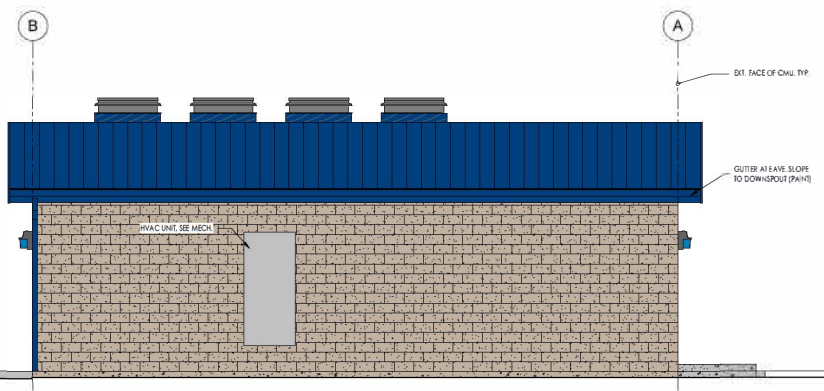
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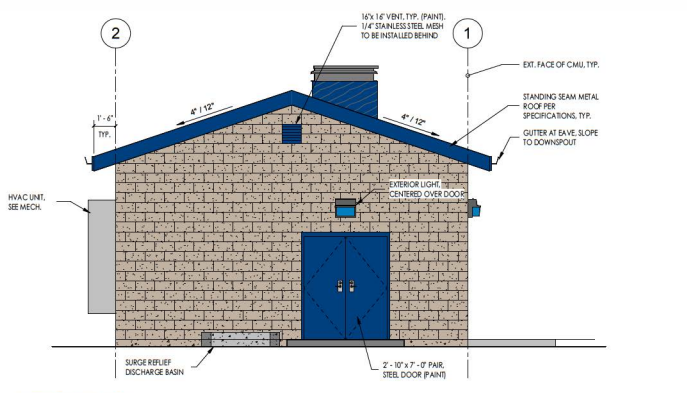
4 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH LEGEND:

	BUILDING SURFACE BLOCK; SOLID TAN
	ROOF COLOR/DOORS/TRIM/LIGHTS/GUTTERS; SOLID BLUE

- ELEVATION NOTES:
1. SEE TECHNICAL SPECIFICATIONS FOR FINISH AND ROOFING REQUIREMENTS.
 2. SEE THE ELECTRICAL PLANS FOR LIGHT REQUIREMENTS.
 3. CONTRACTOR TO PROVIDE AN IRS CONTROLLED JOINT PLAN FOR APPROVAL.

REVISIONS

No.	DESCRIPTION	DATE	BY

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 Toll Free: (888) 329-5559
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SUN VALLEY GID
 MAIN BOOSTER PUMP STATION
 BUILDING ELEVATIONS



DRAWN BY: AS
 DESIGNED BY: AS
 CHECKED BY: BRW
 DATE: APRIL 2004
 JOB NO.: 21031.00



SHEET NUMBER
S5