



Board of Adjustment Staff Report

Meeting Date: May 6, 2021

Agenda Item: 8D

SPECIAL USE PERMIT CASE NUMBER: WSUP21-0008 Walker Guest House

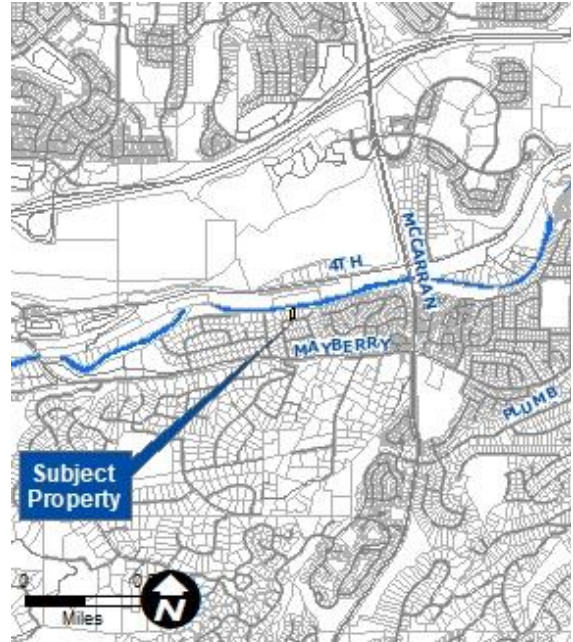
BRIEF SUMMARY OF REQUEST: To approve a special use permit for a ±765 sq. ft. detached accessory dwelling unit

STAFF PLANNER: Planner's Name: Julee Olander
Phone Number: 775.328.3627
E-mail: jolander@washoecounty.us

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit to approve a special use permit to allow a ±765 sq. ft. detached accessory dwelling unit on a parcel at 4837 Idlewild Drive; the regulatory zoning of the parcel is Medium Density Suburban (MDS), and a special use permit is required per Washoe County Code Table 110.302.05.1. and 110.306.25

Applicant/ Property Owner: Walker Family Trust
 Location: 4837 Idlewild Drive
 APN: 009-802-04
 Parcel Size: ±0.47
 Master Plan: Suburban Residential (SR)
 Regulatory Zone: Medium Density Suburban (MDS)
 Area Plan: Southwest Truckee Meadows
 Citizen Advisory Board: West Truckee Meadows/Verdi Township
 Development Code: Authorized in Article 302, Allowed Uses; Article 306, Accessory Uses and Structures; and Article 810, Special Use Permits
 Commission District: 1 – Commissioner Hill



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0008 for Walker Family Trust, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30

(Motion with Findings on Page 8)

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Project Application..... Exhibit D

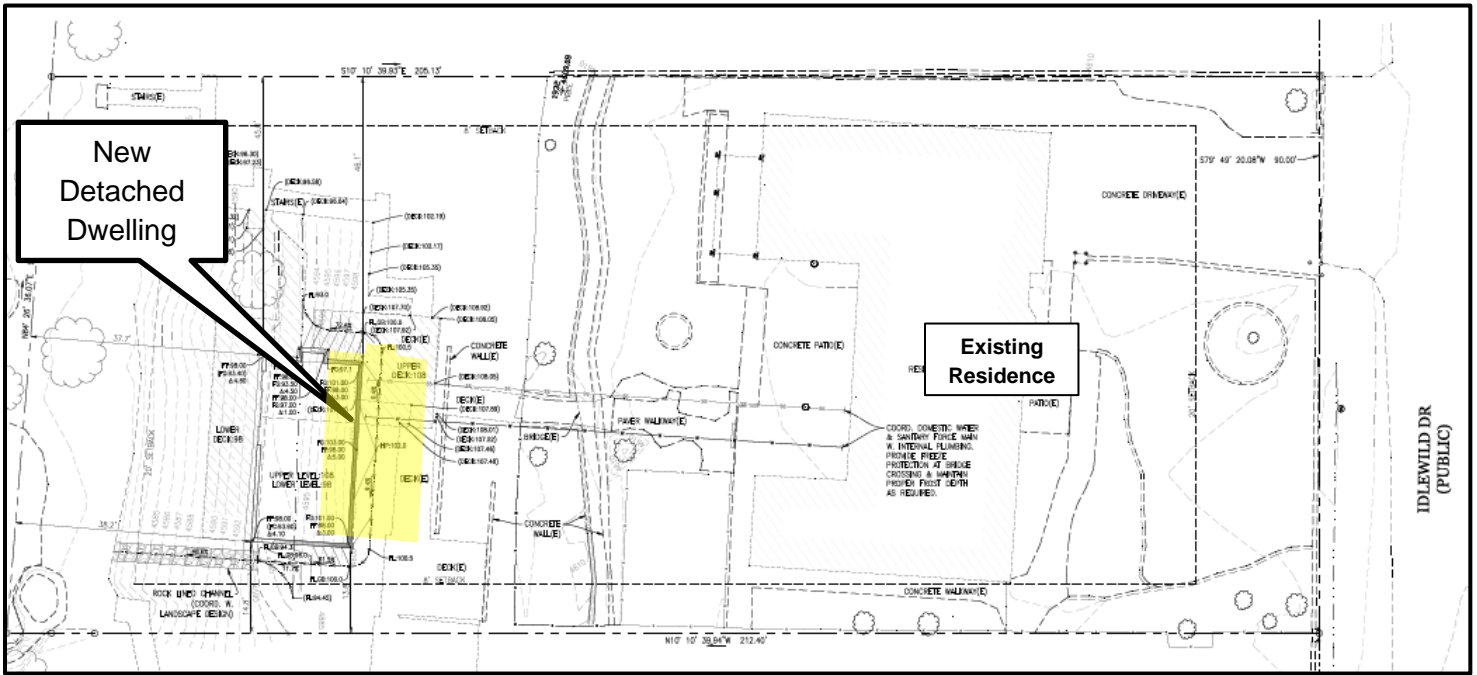
Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

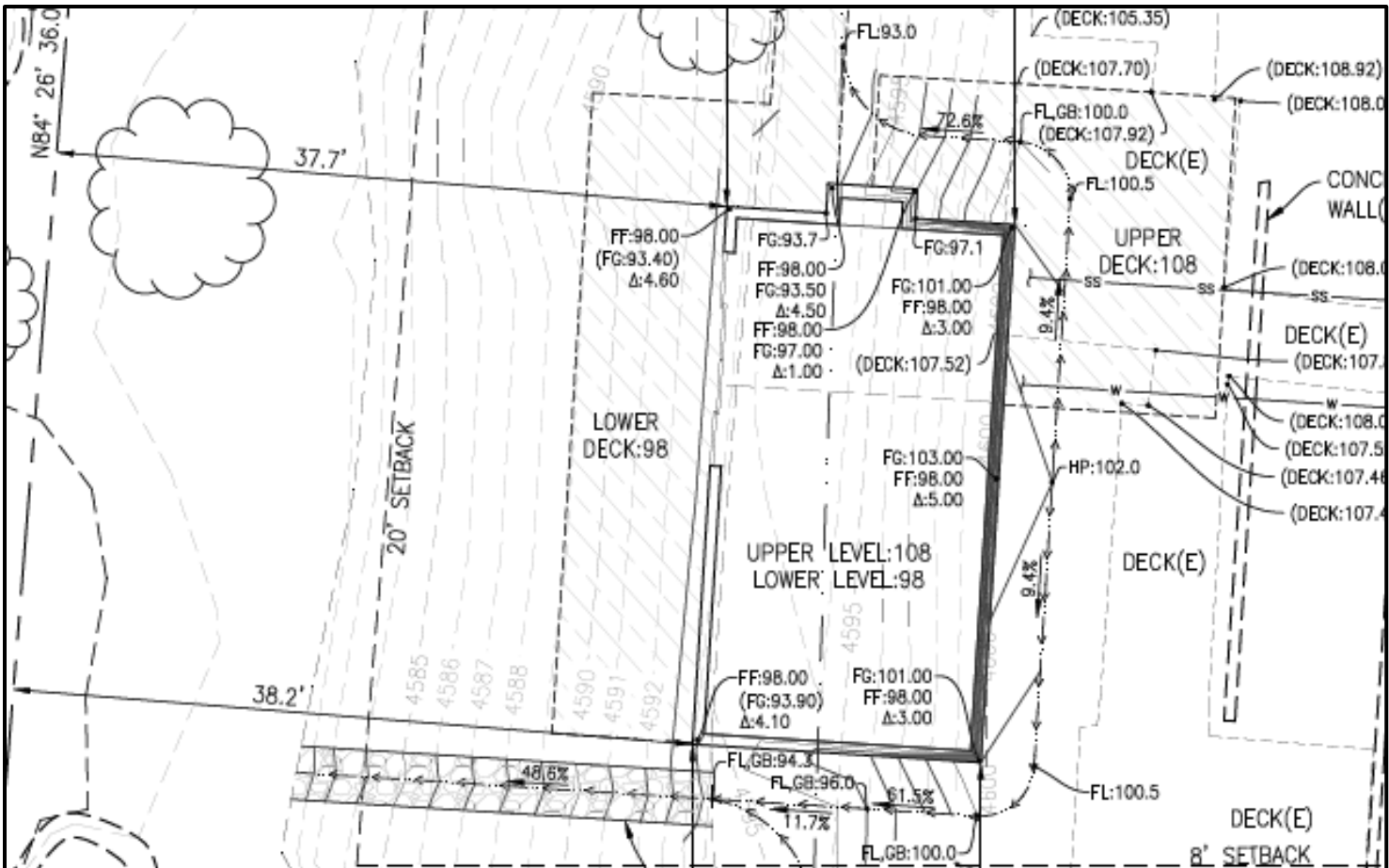
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP21-0008 are attached to this staff report and will be included with the action order.

The subject property is designated as Medium Density Suburban (MDS). The proposed use of detached accessory dwelling unit which is classified as a residential use is permitted in MDS with a special use permit per WCC Table 110.302.05.1. and WCC 110.306.25. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Overall Site Plan

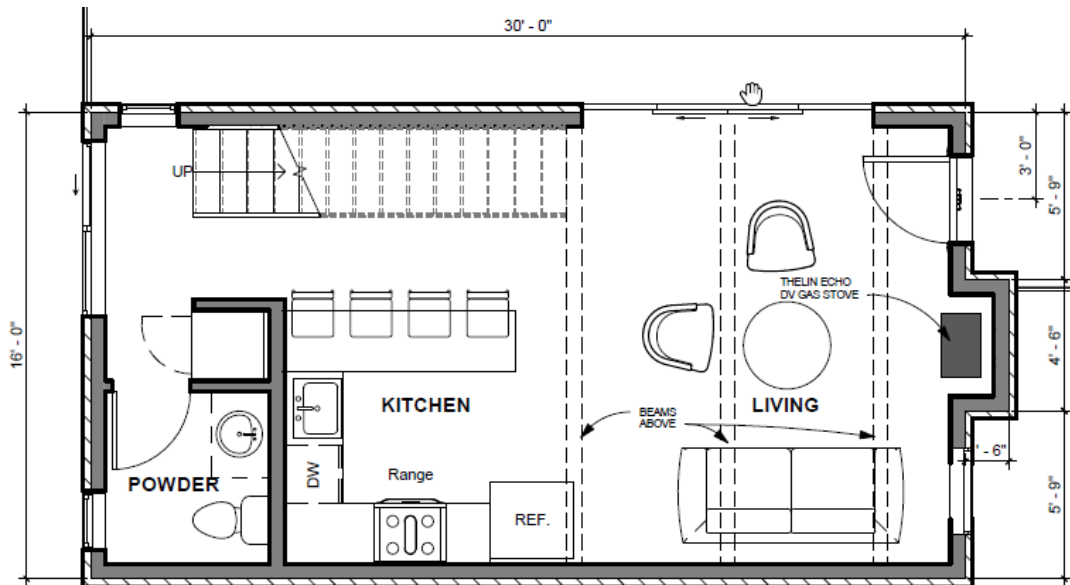


Site plan of DAD

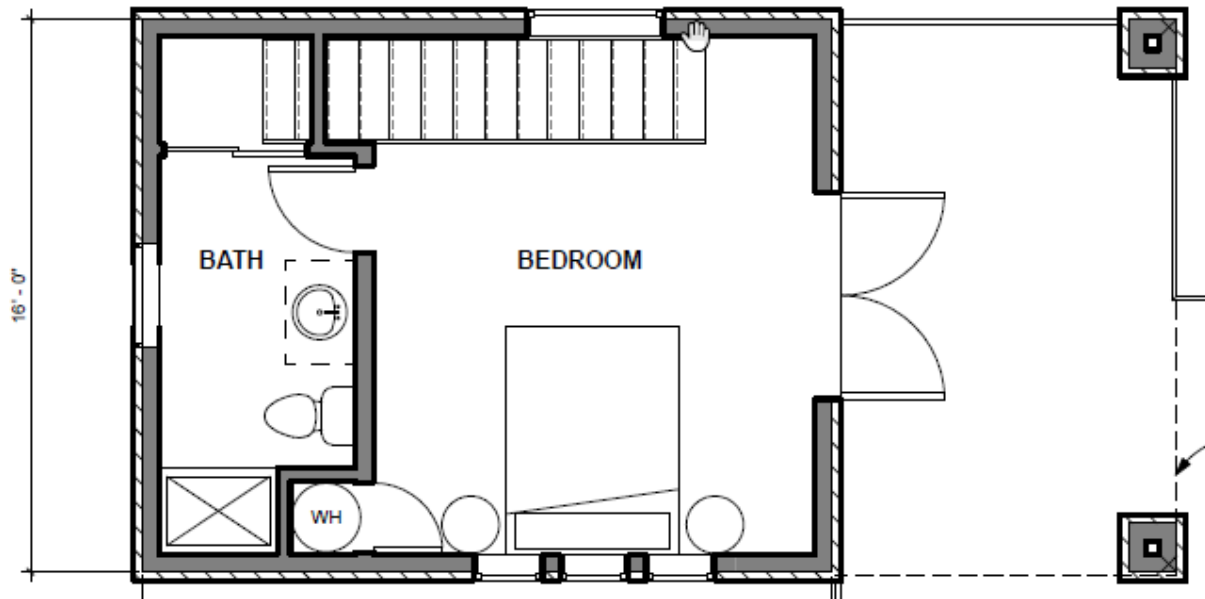
The applicant is requesting a special use permit to approve a ±765 sq. ft. detached accessory dwelling unit (DAD) on the same parcel of land where a ±2,046 sq. ft. residence is located. The parcel has a regulatory zone of Medium Density Suburban (MDS) and a special use permit is required for MDS regulatory zoned property per WCC Table 110.302.05.1 and 110.306. 25.

The detached accessory dwelling (DAD) will be a 2-storey building and will include a half bath, kitchen and living room on the first floor and a bedroom and bathroom on the second floor (See floor plans below). The new DAD will connect to community sewer and water as well as power and gas service. The setbacks for MDS are 20 feet in the front and rear and 8 feet on the sides, the DAD will meet all MDS setback requirements. The property borders the Truckee River to the north and the DAD will be 38.2' from the property line fronting the river. The conditions of approval will require that no construction or excavation occur below the 14,000 cubic feet per second (cfs) zone of the Truckee River, which is located at 4585.8 elevation contour point.

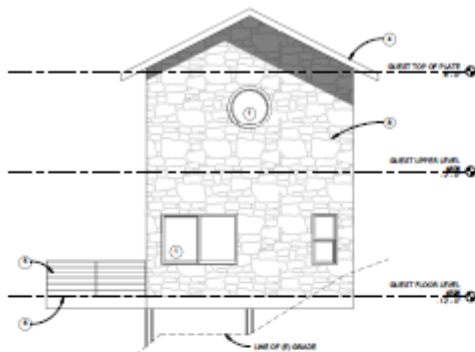
The applicant's elevations (see elevations below on page 6) show the DAD is designed to work with the slope and very little grading will be required. Several other neighboring properties have constructed similar out buildings on the slope.



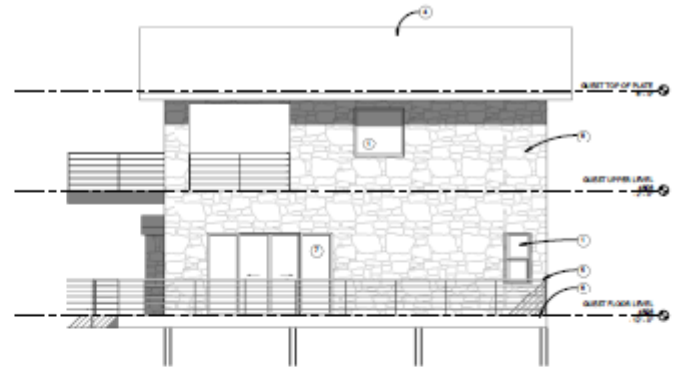
Floor Plan- 1st floor



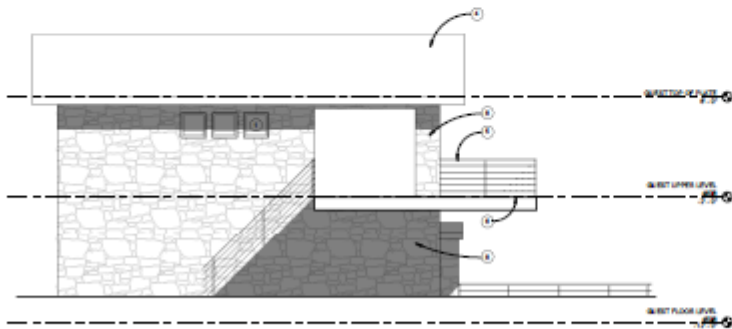
Floor Plan- 2nd story



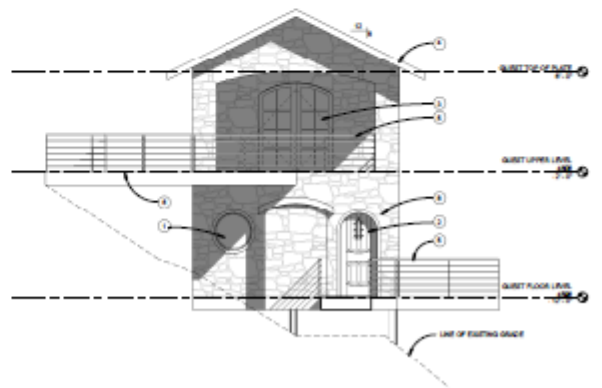
4 GUEST HOUSE WEST ELEVATION



3 GUEST HOUSE NORTH ELEVATION



2 GUEST HOUSE SOUTH ELEVATION



1 GUEST HOUSE EAST ELEVATION

Area Plan Evaluation

The subject parcel is located within the Southwest Truckee Meadows Area Plan. The following is/are the pertinent policies from the Area Plan:

Relevant Area Plan Policies Reviewed

Policy	Brief Policy Description	Complies	Comments
SW.2.3	Present their items to the Citizen Advisory Board (CAB) and submit a statement	Yes	CAB members were sent comment forms
SW.2.14	The character statement can be adequately conserved	Yes	The proposed use will not impact the character statement
SW.10.3	No significant degradation of air quality will occur as a result of the permit.	Yes	The applicant states that the proposed use will not have any negative impacts to the area

West Truckee Meadows/Verdi Township Citizen Advisory Board (WTM/VT CAB)

The West Truckee Meadows/Verdi Township Citizen Advisory Board did not have a scheduled meeting during the review time of this application. Comment forms were sent to the individual CAB members and no comments were received.

Public Notice

The application was noticed per WCC Section 110.810.25, which includes mailing notices to all property owners within five hundred (500) feet of the subject parcel and to Citizen Advisory Board members.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agency	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building & Safety	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Washoe County Parks & Open Spaces	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Washoe County Water Rights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vahid Behmaram vbehmaram@washoecounty.us
Washoe County Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Leo Vesely/ Walt West lvesely@washoecounty.us wwest@washoecounty.us
WCHD – Air Quality	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
WCHD – Environment Health	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
WCHD- EMS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Truckee Meadows Fire Protection District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
RTC Washoe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe Storey Conservation District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan.

Staff Comment: The application request is consistent with Master Plan and the Southwest Truckee Meadows Area Plan.

2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed detached accessory dwelling unit will connect to the existing services, including sewer service, water service and power that are used by the existing residence on the site.

3. **Site Suitability.** That the site is physically suitable for detached accessory dwelling unit, and for the intensity of such a development.

Staff Comment: The parcel is being used for residential housing and the proposed detached accessory dwelling unit will be constructed to meet all Washoe County codes. The detached dwelling unit will meet the setbacks for the regulatory zoning of the parcel. The design of the building will accommodate the slope and very little grading is anticipated.

4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The site has a residence on the property, as doing the surrounding properties. The addition of a detached accessory dwelling unit will have minimum impact to the area.

5. **Effect on a Military Installation.** Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations in the area.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP21-0008 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0008 for Walker Family Trust, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for detached accessory dwelling unit and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant/Owner: Walker Family Trust
P.O. Box 530244
Henderson, NV 89053
Email: hawaiirn@gmail.com

Developer: GuiDenby, Inc.
855 S. Center St., Suite 100
Reno, NV 89501
Email: allysonwong@guidenby.com



Conditions of Approval

Special Use Permit Case Number WSUP21-0008

The project approved under Special Use Permit Case Number WSUP21-0008 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on May 6, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, 775.328.3627, jolander@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. Any imported earthen materials shall be "certified weed free" in order to prevent the spread of noxious weeds within the county.
- f. The grading on site shall be in compliance with applicable best management practices to minimize erosion.
- g. Construction work hours will be limited to 7am to 7pm Monday to Saturday.
- h. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, P.E., (775) 328-2041, ivesely@washoecounty.us

- a. The Regional Road Impact Fee (RRIF) will be charged at the multi-family rate for one unit with the building permit for the accessory dwelling.

- b. The FEMA 100-year floodplain, floodway and/or shaded X boundaries with associated flood elevations shall appear on the site plan to the satisfaction of the County Engineer. Building permits for structures and fill in these areas shall be in conformance with the Washoe County Code Article 416 Flood Hazards.
- c. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with Article 438 Grading and best management practices (BMP's) and shall include proposed grading and site drainage. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to exit the property.

Washoe County Water Management

3. The following condition is a requirement of the Water Management, which shall be responsible for determining compliance with this condition.

Contact Name – Vahid Behmaram, 775.954.4647 vbehmaram@washoecounty.us

- a. The applicant shall provide a letter of acknowledgement with the building permit from TMWA which will indicate the adequacy of water rights to support the Detached Dwelling.

Washoe County Regional Parks and Open Space

4. The following condition is a requirement of the Washoe County Regional Parks and Open Space, which shall be responsible for determining compliance with this condition.

Contact Name – Sophia Kirschenman, Park Planner, 775.328.3623 skirschenman@washoecounty.us

- a. In accordance with Conservation Element Policies C.13.3.1, C.13.3.2, and C.21.2, the vegetated riparian buffer along the Truckee River shall be flagged by a botanist or other qualified professional prior to construction and construction activities shall avoid this area.
- b. In accordance with the Martis Creek Lake Operations and Maintenance Agreement, the applicant shall identify the 4585.1 ft elevation contour on the plan set and label the area between that elevation and the Truckee River as the 14,000 cfs zone.
- c. In conformance with the Martis Creek Lake Operations and Maintenance Agreement, the applicant shall either: redesign the project to avoid the 14,000 cfs flood channel or shall secure a Section 408 Encroachment Permit from the Carson Truckee Water Conservancy District and the United States Army Corps of Engineers prior to the issuance of building or grading permits.
- d. Should the applicant decide to avoid the 14,000 cfs flood channel rather than engaging in the USACE permitting process, the applicant shall include a note on the plan set stating that no construction or excavation will occur in that area.

*** End of Conditions ***



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

Date: March 30, 2021

To: Julee Olander, Planner

From: Leo Vesely, P.E., Licensed Engineer

Re: Special Use Permit Case **WSUP21-0008 – Walker Guest House DAD**
APN 009-802-04

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is to allow a detached accessory dwelling unit on the parcel with the regulatory zoning of Medium Density Suburban (MDS). The Engineering Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by the applicant. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2041 or Walter West, P.E. (775) 328-2310

1. The Regional Road Impact Fee (RRIF) will be charged at the multi-family rate for one unit with the building permit for the accessory dwelling.
2. The FEMA 100-year floodplain, floodway and/or shaded X boundaries with associated flood elevations shall appear on the site plan to the satisfaction of the County Engineer. Building permits for structures and fill in these areas shall be in conformance with the Washoe County Code Article 416 Flood Hazards.
3. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with Article 438 Grading and best management practices (BMP's) and shall include proposed grading and site drainage. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to exit the property.



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE

WSUP21-0008
EXHIBIT B



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

March 18, 2021

TO: Julee Olander, Planner, CSD, Planning & Development Division
FROM: Vahid Behmaram, Water Rights & Water Resources Consultant, CSD
SUBJECT: Special Use Permit Case Number WSUP21-0008 (Walker Guest House)

Project description:

The applicant is proposing to approve a special use permit to allow a detached accessory dwelling unit on the parcel with the regulatory zoning of Medium Density Suburban (MDS) as required by Washoe County Code 110.306.25 at 4837 Idlewild Drive.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

The parcel is currently receiving water service from the Truckee Meadows Water Authority (TMWA). The applicant shall provide a letter of acknowledgement from TMWA which will indicate the adequacy of water rights to support the Detached Dwelling.

TMWA may require additional water rights or if there is sufficient water rights to support the Detached Dwelling, TMWA will simply issues a letter indicating no additional water rights are necessary.

From: [Rosa, Genine](#)
To: [Olander, Julee](#)
Cc: [Restori, Joshua](#)
Subject: March Agency Review Comments
Date: Tuesday, March 16, 2021 4:09:26 PM

Special Use Permit Case Number WSUP21-0008 (Walker Guest House)

No comments

Genine Rosa

Environmental Engineer II | Air Quality Management Division | Washoe County Health District
grosa@washoecounty.us | O: (775) 784-7204 | C: (775) 420-9185 | 1001 E. Ninth St., Bldg. B, Reno, NV 89512

*My schedule is 4 x 10's M-Th 7-5:30 off on Fridays.

www.OurCleanAir.com



From: [Holly, Dan](#)
To: [Olander, Julee](#)
Subject: RE: WSUP21-0008 Walker Guest House
Date: Wednesday, March 31, 2021 8:44:35 AM
Attachments: [image006.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)
[image014.png](#)
[image015.png](#)

Hi Julie: No comments at this time.



Please tell us how we did by taking a quick [survey](#)

Dan Holly

Plans Examiner Supervisor, Planning and Building Division | Community Services Department

dholly@washoecounty.us | Office: (775) 328-2027

1001 E. Ninth St., Bldg. A, Reno, NV 89512



From: Olander, Julee <JOlander@washoecounty.us>
Sent: Wednesday, March 31, 2021 8:24 AM
To: Holly, Dan <DHolly@washoecounty.us>
Subject: WSUP21-0008 Walker Guest House

Dan,

Did you have any comments on WSUP21-0008? Have attached the application again for your review.

Thanks,



Please tell us how we did by taking a quick [survey](#)

Julee Olander

Planner | Community Services Department- Planning & Building Division

jolander@washoecounty.us | Office: 775.328.3627

1001 E. Ninth St., Bldg A., Reno, NV 89512

Visit us first online: www.washoecounty.us/csd

For Planning call (775) 328-6100

Email: Planning@washoecounty.us



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**WSUP21-0008
EXHIBIT B**

From: [Program, EMS](#)
To: [Olander, Julee](#)
Subject: FW: March Agency Review Memo II
Date: Tuesday, March 16, 2021 1:05:06 PM
Attachments: [March Agency Review Memo II.pdf](#)
[image001.png](#)

Good afternoon,

The EMS Oversight Program has reviewed Special Use Permit Case Number WSUP21-0008 (Walker Guest House) and does not currently have any questions, comments or concerns regarding this permit.

Please let me know if you have any questions.

Thank you,

Jackie Lawson

Office Support Specialist | Division of Epidemiology & Public Health Preparedness | [Washoe County Health District](#)
jlawson@washoecounty.us | O: (775) 326-6051 | F: (775) 785-4185 | 1001 E. Ninth St., Bldg B,
Reno, NV 89512



From: Fagan, Donna <DFagan@washoecounty.us>
Sent: Tuesday, March 16, 2021 11:59 AM
To: Rosa, Genine <Grosa@washoecounty.us>; Restori, Joshua <JRestori@washoecounty.us>; English, James <JEnglish@washoecounty.us>; Rubio, Wesley S <WRubio@washoecounty.us>; Kelly, David A <DAKelly@washoecounty.us>; Program, EMS <EMSProgram@washoecounty.us>
Cc: EHS Plan Review <EHSPlanReview@washoecounty.us>
Subject: March Agency Review Memo II

Genine, Josh, James, Wes, David, and EMS,

Please find the attached Agency Review Memo with cases received this month by CSD, Planning and Building.

You've each been asked to review the items as indicated below. Click on the highlighted item description for a link to the application.

Genine/Josh: Items #1, #3 thru #7

James/Wes/David: Items #1, #3 thru #7

**WSUP21-0008
EXHIBIT B**

EMS Program:

Items #1, #2, #4 thru #7

Please send any questions, comments or conditions to the planner for that item.

Thank you,

Donna



Donna Fagan

Planning and Building Division | Community Services Department

dfagan@washoecounty.us | Office: 775.328.3616

1001 E. 9th Street, Reno, NV 89521

Email: planning@washoecounty.us

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

March 24, 2021

Washoe County Community Services
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: 4837 Idlewild Dr; 009-802-04
Walker Guest House; WSUP21-0008

Dear Washoe County Staff:

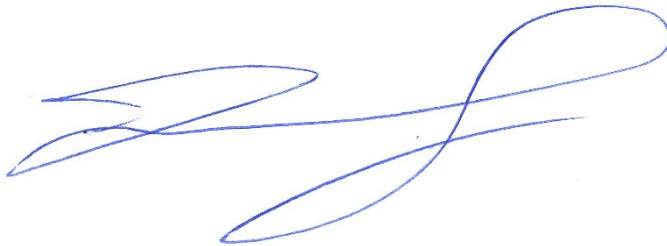
The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

Contact Name – David Kelly

- a) EHS has no issues with project as proposed. House abandoned septic and hooked to sewer March 3, 2021.

If you have any questions or would like clarification regarding the foregoing, please contact Dave Kelly, EHS Supervisor at dakelly@washoecounty.us regarding all Health District comments.

Sincerely,



Dave Kelly, REHS
EHS Supervisor
Environmental Health
Washoe County Health District

From: [Way, Dale](#)
To: [Olander, Julee](#)
Cc: [Lemon, Brittany](#); [Lee, Brett](#)
Subject: WSUP21-0008 (Walker Guest House)
Date: Monday, March 22, 2021 12:36:02 PM

Julee,

We have no specific comments on this request beyond adopted codes and amendments.

Thank you.

Dale Way

Deputy Fire Chief – Fire Prevention | Truckee Meadows Fire & Rescue

dway@tmfpd.us | Office: 775.326.6000

3663 Barron Wy, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"

From: [Fagan, Donna](#)
To: [Olander, Julee](#)
Subject: FW: March Agency Review Memo II
Date: Wednesday, March 17, 2021 10:27:39 AM
Attachments: [image001.png](#)
[March Agency Review Memo II.pdf](#)

Julee,

See below regarding WSUP21-0008.

Thank you,
Donna

From: Heather Manzo <manzoh@reno.gov>
Sent: Wednesday, March 17, 2021 7:24 AM
To: Fagan, Donna <DFagan@washoecounty.us>
Cc: Jeffrey Borchardt <borchardtj@reno.gov>
Subject: Fwd: March Agency Review Memo II

[NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Good Morning Donna,

Thank you for the opportunity to provide comments regarding proposed developments that are identified in the agency review memo for March. The City has no input on all projects with the exception of Project No. 5.

Project No. 5, located on Idlewild Drive is a proposal for a detached ADU. The parcel is adjacent to the Truckee River and as long as applicable standards for proximity to the river are adhered to, it does not appear that the project will create negative impacts on the City.

Sincerely,

Heather Manzo - Associate Planner

Community Development Department

e. manzoh@reno.gov **w.** www.reno.gov

a. One East First Street, Reno NV 89501

o. (775) 334-2668 | **c.** (775) 741-2981

----- Forwarded message -----

From: **Jeffrey Borchardt** <borchardtj@reno.gov>

Date: Tue, Mar 16, 2021 at 6:30 PM

WSUP21-0008
EXHIBIT B

Subject: Fwd: March Agency Review Memo II
To: Heather Manzo <manzoh@reno.gov>

Hey Heather,

Can you take a look at #5 and see if there are any comments you may have? It's the only one in close proximity to the City.

Jeff Borchardt, AICP, MURP - Planning Manager

Community Development Department

e. borchardtj@reno.gov w. www.reno.gov
a. One East First Street, Reno NV 89501
o. 775.334.4267 | c. 775.447.0120

----- Forwarded message -----

From: **Fagan, Donna** <DFagan@washoecounty.us>

Date: Tue, Mar 16, 2021 at 12:41 PM

Subject: March Agency Review Memo II

To: Arlo Stockham (stockhama@reno.gov) <stockhama@reno.gov>, Jeffrey Borchardt <borchardtj@reno.gov>, Angela Fuss <fussa@reno.gov>, Karen Melby (kmelby@cityofsparks.us) <kmelby@cityofsparks.us>, Armando Ornelas (aornelas@cityofsparks.us) <aornelas@cityofsparks.us>, Jim Rundle (jrundle@cityofsparks.us) <jrundle@cityofsparks.us>, Jeremy Smith <JSmith@tmrpa.org>, Chris Tolley (ctolley@tmrpa.org) <ctolley@tmrpa.org>, Hauenstein, Mojra <MHauenstein@washoecounty.us>

Interested Agencies,

Attached, please find the second Agency Review Memo for applications received in Planning for March.

Click on the blue highlighted case description for a link to the application.

If you have any questions or comments, please contact the planner assigned to that item.

Thank you,
Donna



Donna Fagan

Planning and Building Division | Community Services Department

dfagan@washoecounty.us | Office: 775.328.3616

1001 E. 9th Street, Reno, NV 89521

Email: planning@washoecounty.us

**WSUP21-0008
EXHIBIT B**



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

March 29, 2021

Washoe County Community Services Department

C/O Julee Olander, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WSUP21-0008 Walker Quest House

Dear Julee,

In reviewing the special use permit for a detached accessory dwelling, the Conservation District has the following comments.

We recommend as a condition the detached guest house have the same color including roof color as the existing residence. In addition, the District requires planting several trees for visual screening of the detached dwelling.

If possible, we recommend a softer rock facing of the manufactured stone veneer exterior.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Shaffer-Tyler



WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Regional Parks and Open Space

1001 EAST 9TH STREET
 RENO, NEVADA 89520-0027
 PHONE (775) 328-3600
 FAX (775) 328.3699

TO: Julee Olander, Planner

FROM: Sophia Kirschenman, Park Planner

DATE: April 15, 2021

SUBJECT: Special Use Permit Case Number WSUP21-0008 (Walker Guest House)



I have reviewed WSUP21-0008 on behalf of Washoe County Regional Parks and Open Space and prepared the attached comments:

If approved, this project would allow for the construction of a detached accessory dwelling and deck adjacent to the Truckee River. The Truckee River is an important hydrological resource in the region that provides drinking water for the Truckee Meadows community. The riparian area along the river not only filters pollutants, thereby improving water quality, but also provides critical habitat for numerous birds and animals.

Additionally, pursuant to the 1973 Martis Creek Lake Operations and Maintenance Agreement, any development along the Truckee River within the 14,000 cubic feet/second (cfs) flood channel requires a Section 408 Permit from the United States Army Corps of Engineers (USACE). The Carson Truckee Water Conservancy District (CTWCD) coordinates with the USACE to grant encroachment permits for projects within the boundaries of the Truckee River. Upon acceptance of the application for Special Use Permit WSUP21-0008, Washoe County staff notified the CTWCD to determine whether the proposed project would fall under their jurisdiction. The CTWCD has confirmed that portions of the project (everything below 4,585.1 feet in elevation) are within the 14,000 cfs zone (see the attached map). Based on the provided plans, it appears as though the rock-lined channel would be installed within the flood channel, triggering the Section 408 Encroachment Permit requirement.

The CTWCD has recommended that the owner resubmit the plans to keep the proposed channel, as well as their outfalls and any excavation required during construction, above 4585.1 feet in elevation and out of the flood channel. The 408 Permit application is extensive and in order to issue such a permit the CTWCD must have authorization from USACE Flood in Sacramento; the USACE Flood typically takes about 18 months to review and authorize permits and USACE also requires a full National Environmental Policy Act review for every project.

Given these considerations, the Parks Program requires the following conditions of approval:

1. In accordance with Conservation Element Policies C.13.3.1, C.13.3.2, and C.21.2, the vegetated riparian buffer along the Truckee River shall be flagged by a botanist or other



INTEGRITY



EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

WSUP21-0008 EXHIBIT B

Memo to: Julee Olander
Subject: WSUP21-0008
Date: April 15, 2021
Page: 2

qualified professional prior to construction and construction activities shall avoid this area.

2. In accordance with the Martis Creek Lake Operations and Maintenance Agreement, the applicant shall identify the 4585.1 ft elevation contour on the plan set and label the area between that elevation and the Truckee River as the 14,000 cfs zone.
3. In conformance with the Martis Creek Lake Operations and Maintenance Agreement, the applicant shall either: redesign the project to avoid the 14,000 cfs flood channel or shall secure a Section 408 Encroachment Permit from the Carson Truckee Water Conservancy District and the United States Army Corps of Engineers prior to the issuance of building or grading permits.
4. Should the applicant decide to avoid the 14,000 cfs flood channel rather than engaging in the USACE permitting process, the applicant shall include a note on the plan set stating that no construction or excavation will occur in that area.

From: [Kayla Dowty](#)
To: [Olander, Julee](#)
Subject: RE: WSUP21-0008 Walker Guest House
Date: Wednesday, April 14, 2021 3:56:10 PM
Attachments: [image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)
[WSE Figure - Parcel 009-802-04.pdf](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Hello Julee, sorry that it's taken me so long to get back to you on this. I am still in training so it is taking longer than usual, but I promise I'm getting faster and should be much faster in the future!

See the WSEL (water surface elevation) Figure for the Walker parcel attached; this shows the 14,000cfs flood channel jurisdiction of the CTWCD and if they need to do any construction or excavation at or below el 4585.1 on the river bank then their project will need a 408 Encroachment Permit.

From the plans they provided, it appears that there is a rock lined channel that will be installed below 4585.1 and thus within the flood channel and would require a 408 Encroachment Permit from the District.

It is our recommendation that the owner resubmit the plans to keep the proposed channel, as well as their outfalls and any excavation required during construction above the 4585.1 elevation and out of the flood channel. The 408 Permit application is extensive and in order to issue such a permit the District must have authorization from USACE FLOOD in Sacramento; the USACE Flood typically takes about 18 months to review and authorize permits and USACE also requires a full NEPA review for every project.

We always ask the engineer to include the 14,000cfs WSELs on their drawings and confirm that no construction or excavation will occur within this area.

Once that change has been made, we are happy to send over a letter from the District stating that No 408 Permit is required for you to have in your files.

Please let me know if you have any questions.

Thanks,
Kayla

KAYLA DOWTY, P.E.*

775.336.1300 x108 | 775.336.1306 Fax | www.trisage.com
5418 Longley Lane, Suite A | Reno, Nevada 89511

*Licensed in NV, CA, NM & UT

WSUP21-0008
EXHIBIT B



From: Olander, Julee <JOlander@washoecounty.us>
Sent: Thursday, March 18, 2021 1:22 PM
To: Lori Williams <lwilliams@trisage.com>; Kayla Dowty <kdowty@trisage.com>
Subject: RE: WSUP21-0008 Walker Guest House

Thank you for the information. Sorry I didn't mention but do need to hear back from you by 4/16.
Let me know if that is a problem.
Thanks,



Please tell us how we did by taking a quick survey

Julee Olander

Planner | Community Services Department- Planning & Building Division

jolander@washoecounty.us | Office: 775.328.3627

1001 E. Ninth St., Bldg A., Reno, NV 89512

Visit us first online: www.washoecounty.us/csd

For Planning call (775) 328-6100

Email: Planning@washoecounty.us



Connect with us: cMail | [Twitter](https://twitter.com) | [Facebook](https://facebook.com) | www.washoecounty.us

From: Lori Williams <lwilliams@trisage.com>
Sent: Thursday, March 18, 2021 12:40 PM
To: Olander, Julee <JOlander@washoecounty.us>; Kayla Dowty <kdowty@trisage.com>
Subject: Fw: WSUP21-0008 Walker Guest House

[NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Julee, I am forwarding your request to Kayla Dowty at Tri Sage as Kayla is taking over as the CTWCD Engineer as I am retiring soon.

Kayla, I have saved this document in this file and as discussed we need a WSEL from the flow model in order to assess whether the District takes issue with the project or whether a 408 Permit is required for the project.

**WSUP21-0008
EXHIBIT B**

Z:\CTWCD\ENCROACHMENTS\2021 Walker Guest House 4837 Idlewild Drive

Julee, Kayla's contact info is below:

KAYLA DOWTY, P.E.*

775.336.1300 x108 | 775.336.1306 Fax | www.trisage.com

5418 Longley Lane, Suite A | Reno, Nevada 89511

*Licensed in NV, CA, NM & UT

kdowty@trisage.com



From: Olander, Julee <JOlander@washoecounty.us>

Sent: Thursday, March 18, 2021 10:02 AM

To: Lori Williams <lwilliams@trisage.com>

Subject: WSUP21-0008 Walker Guest House

Washoe County received a special use permit application for an detached accessory dwelling unit for a property that is on the Truckee River. I would appreciate if you could review the attached application and let me know if you have any issues with the location of the dwelling unit.

Let me know if you have any questions.

Thank you,



Please tell us how we did by taking a [quick survey](#)

Julee Olander

Planner | Community Services Department- Planning & Building Division

jolander@washoecounty.us | Office: 775.328.3627

1001 E. Ninth St., Bldg A., Reno, NV 89512

Visit us first online: www.washoecounty.us/csd

For Planning call (775) 328-6100

Email: Planning@washoecounty.us



Connect with us: [cMail](mailto:) | [Twitter](https://twitter.com/) | [Facebook](https://www.facebook.com/) | www.washoecounty.us

**WSUP21-0008
EXHIBIT B**



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



J-U-B ENGINEERS, INC.

9160 Double Diamond Pkwy.
Reno, Nevada 89521 Phone: 1-775-852-1440

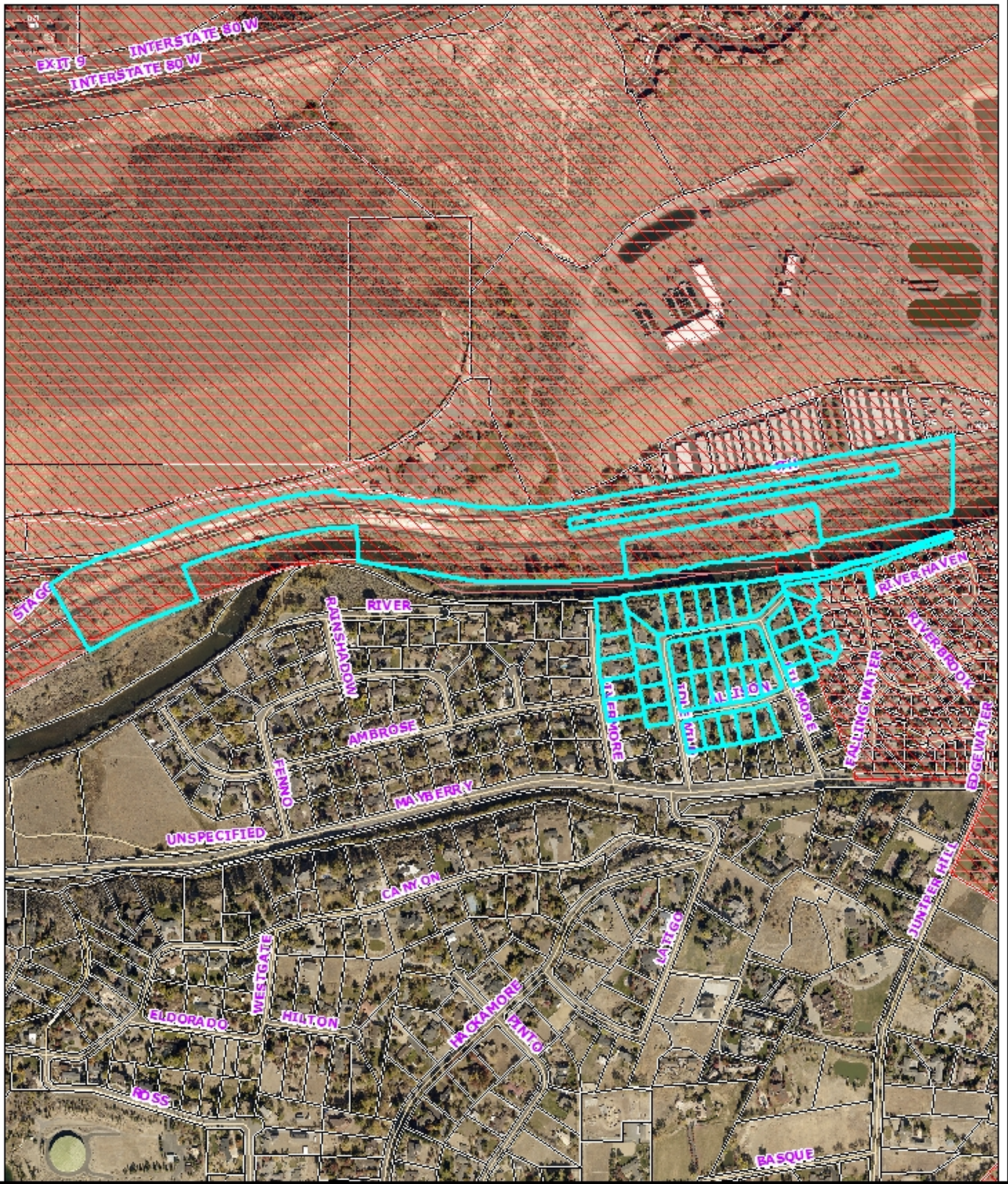
Representations of inundation extents are based on a combination of terrain and bathymetry data including 2014 and 2017 LIDAR datasets. Inundation extents are subject to error resulting from terrain dataset resolution and hydraulic model resolution limitations. Additional study and/or survey may be warranted based on the nature of the adjacent infrastructure.

Parcel 009-802-04
14,000 CFS Inundation Extents
Nevada State Plane - West (FIPS 2703)
NAVD1988 US Feet

Date
4/12/2021

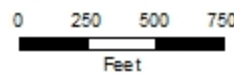
Figure No.
1

V:\Projects\CTWCD\Results Mapping\WSE Figure - 4837 Idlewild Dr.mxd



WSUP21-0008 Walker Guest House

Noticing Map- 500 feet from site



Community Services
Department



1001 E. WASHOE ST.
RENO, NEVADA 89502

WSUP21-0008

EXHIBIT C

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Walker Guest House			
Project Description: New detached guest house at existing residence			
Project Address: 4837 Idlewild Drive			
Project Area (acres or square feet): 764 square feet			
Project Location (with point of reference to major cross streets AND area locator): Idlewild Drive off of Mayberry Drive abutting the Truckee River			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
009-802-04	0.470 acres		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Walker Family Trust		Name: Monte Vista Consulting	
Address: PO Box 530244		Address: 575 E. Plumb Lane, Suite 101	
Henderson, NV	Zip: 89053	Reno	Zip: 89502
Phone: 702-809-3776	Fax:	Phone: 775-636-7905	Fax:
Email: hawaiiirn@gmail.com		Email:	
Cell:	Other:	Cell: 775-235-8404	Other:
Contact Person: Linda Walker		Contact Person: Michael Vicks	
Applicant/Developer:		Other Persons to be Contacted:	
Name: GuiDenby, Inc.		Name:	
Address: 855 S. Center St., Suite 100		Address:	
Reno, NV	Zip: 89501		Zip:
Phone: 775-324-5616	Fax: 324-3239	Phone:	Fax:
Email: allysonwong@guidenby.com		Email:	
Cell: 775-750-4139	Other:	Cell:	Other:
Contact Person: Allyson Wong		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

New construction of a detached guest house

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Site plan is included with location of the existing residence (including addition currently under construction).

3. What is the intended phasing schedule for the construction and completion of the project?

Construction of the project is planned to begin immediately upon approval of the SUP and building permit. Construction is expected to take approximately 5 months.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

This will be a private guest house for use by the owners of the existing residence. The guest house will give them better use of the riverfront on their property. It will not change the use of the existing home.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

This project will not impact the community and will only impact adjacent properties by raising the property value.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

This project will have minimal or no negative impacts on adjacent properties. It should be barely seen by the immediate neighbors.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Complete landscaping of the property is planned, with existing large trees to remain. Lighting will include landscape lighting and other exterior dark-sky compliant downlighting. No signage is planned.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	remodel of the existing residence includes abandonment of the (e) septic and connection to sewer
b. Electrical Service	NV Energy
c. Telephone Service	n/a
d. LPG or Natural Gas Service	NV Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	n/a
g. Water Service	municipal water

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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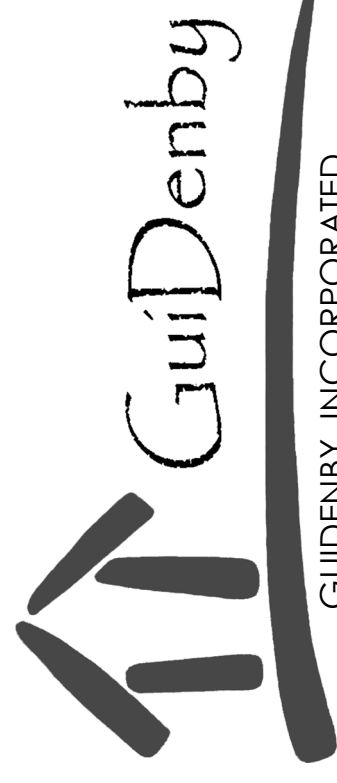
10. Community Services (provided and nearest facility):

a. Fire Station	Reno Station 5, 1500 Mayberry Drive (2 miles away), Reno Station 11 (2.7 miles away)
b. Health Care Facility	Renown or St. Mary's hospitals
c. Elementary School	Roy Gomm Elementary
d. Middle School	Swope Middle School
e. High School	Reno High School
f. Parks	Ambrose Park, Dorostkar Park
g. Library	Northwest Reno Library
h. Citifare Bus Stop	4th Street and Del Curto Drive

KEYNOTES

- 1 WINDOW TO MATCH (E) HOUSE
- 2 FRONT ENTRY DOOR TO BE SELECTED BY OWNER
- 3 ARCH TOP FRENCH DOORS
- 4 40-YEAR COMP. ROOFING
- 5 RAILING PER DETAIL
- 6 WOOD DECK
- 7 BI-PARTING SLIDING GLASS DOORS
- 8 MANUFACTURED STONE VENEER TO BE SELECTED BY OWNER

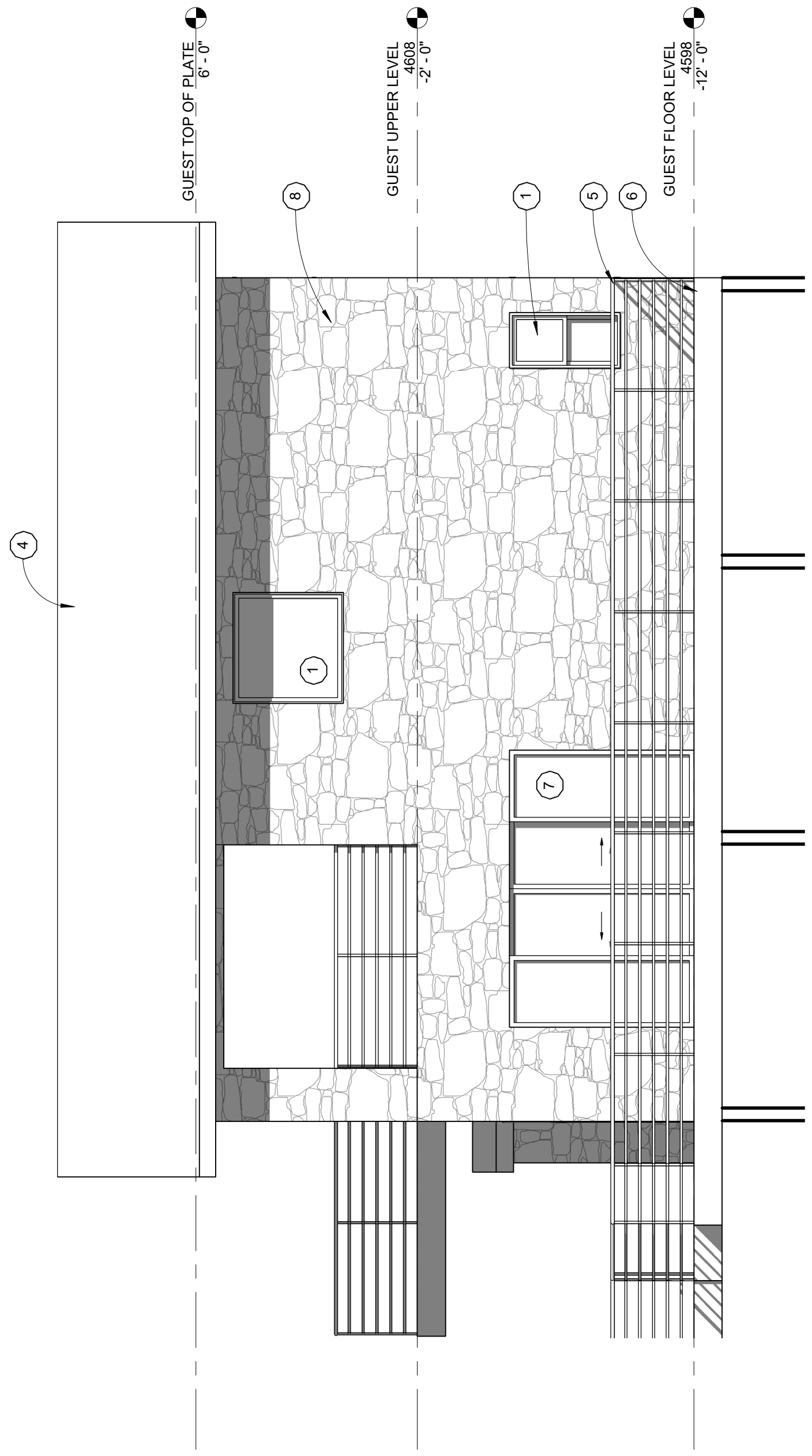
**WALKER
RESIDENCE
REMODEL**
 4837 IDLEWILD DRIVE



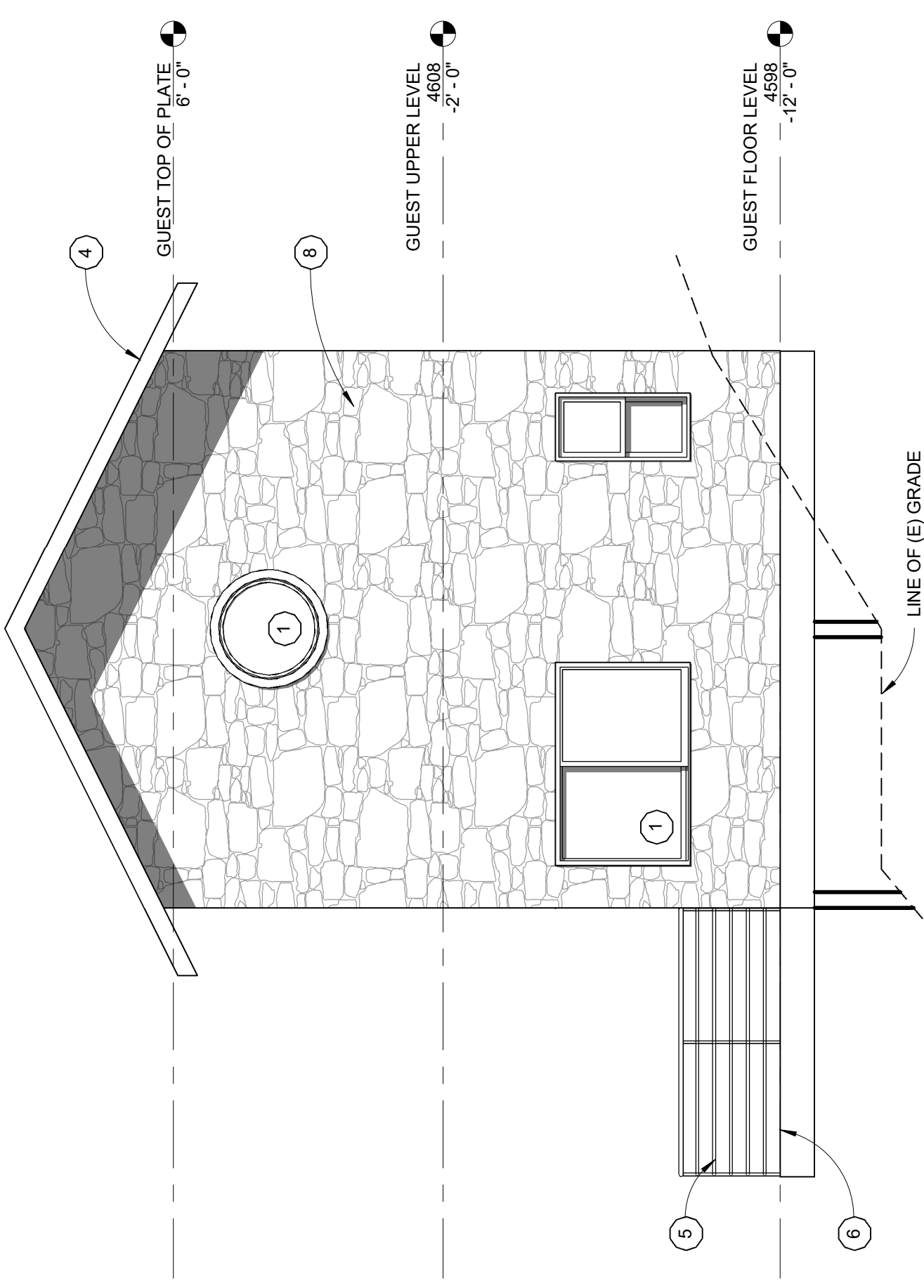
GUIDENBY, INCORPORATED
 NV LIC. #D052260A
 8555 S. CENTER ST. RENO, NV 89501
 PH. 775.324.5616 FAX 775.324.3239

A3.1

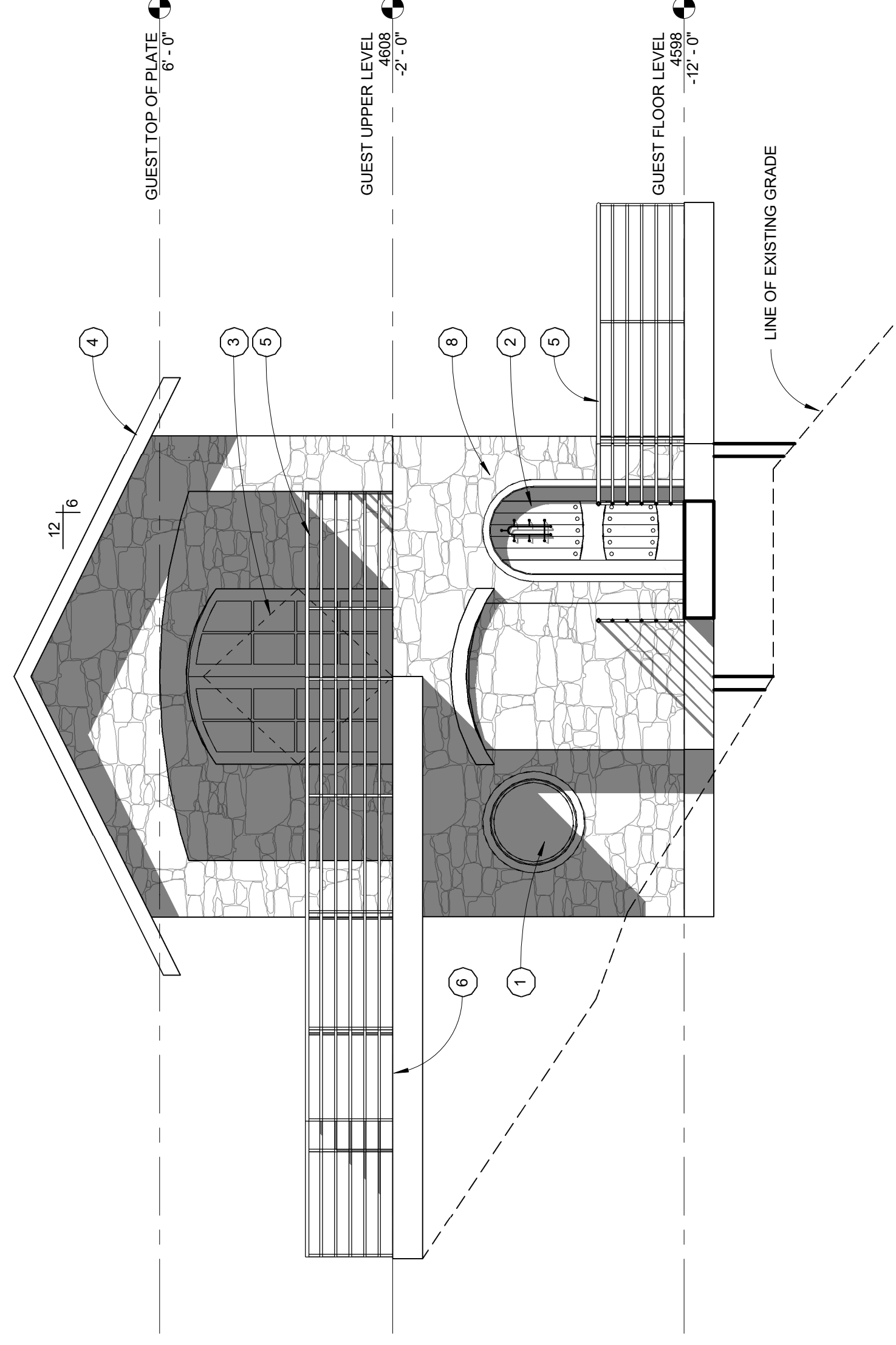
1	GUEST HOUSE ELEVATIONS	
2	DRAWN BY: ADW	
3	CHECKED BY: ADW	
4	DATE: 03/08/2021	
	PROJECT: 20-035	
	SCALE: PER PLAN	



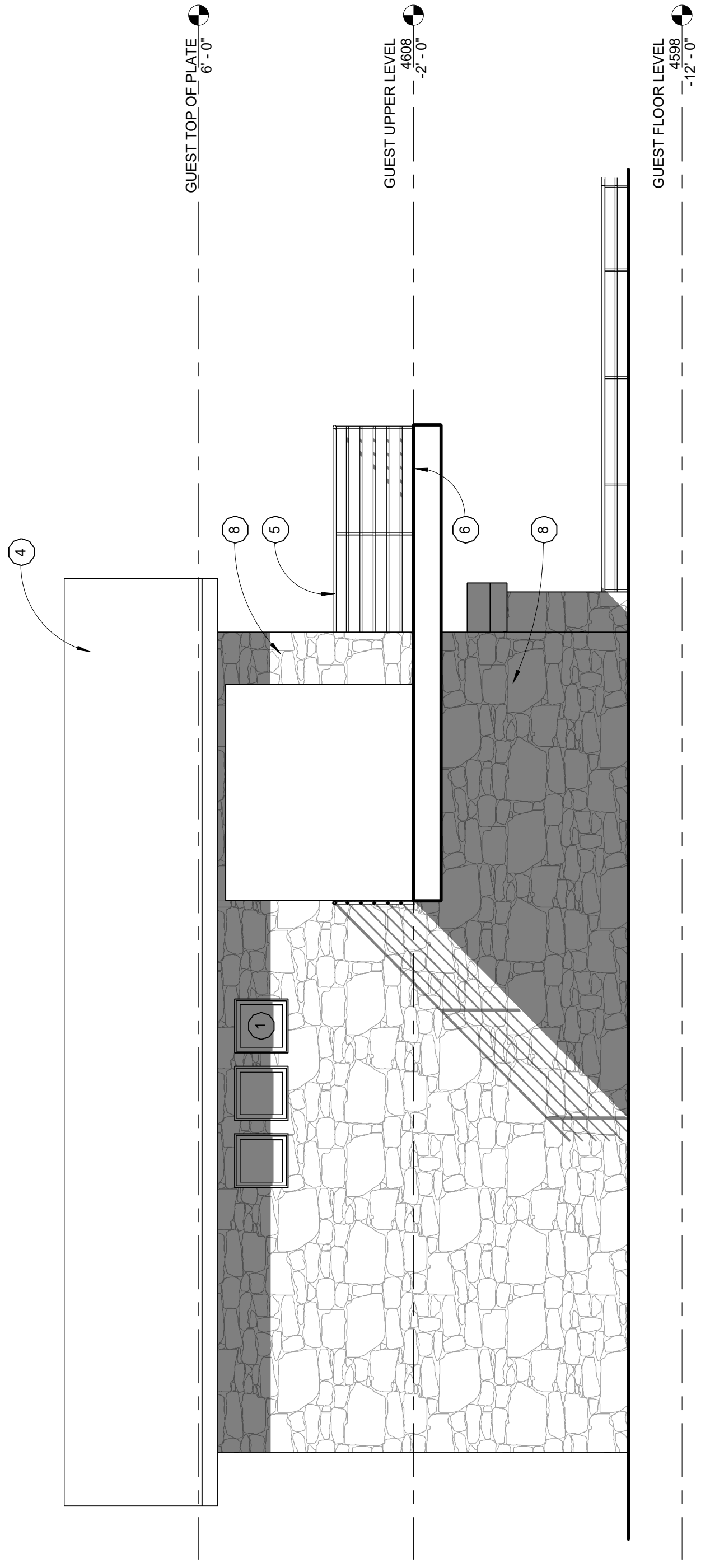
3 GUEST HOUSE NORTH ELEVATION
1/4" = 1'-0"



4 GUEST HOUSE WEST ELEVATION
1/4" = 1'-0"



1 GUEST HOUSE EAST ELEVATION
1/4" = 1'-0"



2 GUEST HOUSE SOUTH ELEVATION
1/4" = 1'-0"

SITE PLAN LEGEND

	DRIVEWAY/PAVED AREA
	DECK AREA
	INFILTRATION TRENCH/DRIVEWAY
	RAINSTORM DRAINWELL INFILTRATION AREA
	PROPERTY LINE
	PROPERTY CORNER
	PROPOSED UTILITY LINE W. DESCRIPTION
	EXISTING UTILITY LINE W. DESCRIPTION
	FIRE HYDRANT ASSEMBLY
	WATER SERVICE
	MANHOLE W. DESCRIPTION
	CLEANOUT
	SANITARY SEWER LATERAL
	YARD DRAIN
	DIRECTIONAL FLOW LINE
	GRADE BREAK
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	FLOW DIRECTION ARROW
	SPOT ELEVATION
	FIBER ROLL (SC-1)
	SILT FENCE (SC-5)
	CONSTRUCTION ENTRANCE (SC-8)
	REVEGETATION (EC-8)
	RIPRAP (EC-7)
	SOLID WASTE MANAGEMENT (GM-3)
	STREET SURFACE CLEANING (GM-5)
	VEHICLE & EQUIPMENT CLEANING (GM-7)
	VEHICLE & EQUIPMENT FUELING (GM-8)
	CONCRETE WASHOUT (GM-9)
	MATERIAL DELIVERY & STORAGE (GM-10)
	SANITARY WASTE MANAGEMENT (GM-14)
	TREE/TREE TO BE REMOVED

SITE NOTES

- MONTE VISTA CONSULTING, LTD. (MVC) IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE SITED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THEIR CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
- MONTE VISTA CONSULTING, LTD. IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE SITED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THEIR CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
- THE FIELD SURVEY PREPARED BY SIERRA SURVEYING, INC. IS THE BASIS OF THIS DESIGN.
- AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.
- ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
- BACKFILL ESTABLISHING SEPARATION AS REQUIRED BY ARCHITECTURAL AND STRUCTURAL DESIGN BETWEEN FINISH GRADE AND SIDING (8" MIN SEPARATION TYP.).
- PROVIDE 5% (2% MIN., 21% MAX.) SLOPE AWAY FROM PROPOSED STRUCTURE TO DRAINAGE SWALE OR APPROVED DRAINAGE OUTFALL 10' MIN. FROM STRUCTURE. DRAINAGE SWALE 10' (5' MIN.) AWAY FROM PROPOSED STRUCTURE WITH A MINIMUM SLOPE OF 1% TOWARDS AN APPROVED DRAINAGE OUTFALL.
- THIS SITE LIES IN FEMA FLOOD ZONES AE & X (UNSHADED) (33033C03036). THE PROPOSED IMPROVEMENTS ARE LOCATED IN FEMA FLOOD ZONE X (UNSHADED). ZONE AE IS DEFINED AS AREAS WITHIN THE 1-PERCENT ANNUAL CHANCE FLOOD IS ALSO REFERRED TO AS THE BASE FLOOD OR 100-YEAR FLOOD. ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE OF THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
- MONTE VISTA CONSULTING, LTD. IS NOT RESPONSIBLE FOR ANY STRUCTURAL DESIGN OF SITE RETAINING WALLS OR FEATURES. REFERENCE STRUCTURAL DESIGN DRAWINGS FOR SUCH FEATURES.
- CONCRETE FRAMEWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
- SLOPE LAWN AREAS 2.0% MIN. TOWARD THE DRAINAGE SWALE OR OTHER APPROVED DRAINAGE FACILITY.
- UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONSTRUCTION MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
- PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
- STABILIZE THE CONSTRUCTION ENTRANCE.
- PRIOR TO PERFORMING ANY WORK, IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADJUSTMENTS IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN. THE REPORT SHALL PREVAIL.
- EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT. MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY THE WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
- ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND NOT TO BE USED FOR MATERIAL EXPANSION OR SHRINKAGE.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOD, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE UNLESS OTHERWISE SPECIFIED, AND ALL OTHER MATERIALS WHICH WILL CREATE DRAINAGE REQUIREMENTS.
- AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY MONTE VISTA CONSULTING, LTD. BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONSTRUCTION SHALL BE COORDINATED WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- THIS SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE CONTRACTOR SHALL FIELD VERIFY AND PROVIDE A BACKWATER VALVE ON THE SANITARY SEWER SERVICE LATERAL IF THE UPSTREAM SEWER MANHOLE RIM IS ELEVATED HIGHER THAN THE FINISH FLOOR ELEVATION OF THE STRUCTURE.
- MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
- CONTRACTOR SHALL PROVIDE A DRAINAGE SWALE FOR THE ENTIRE PERIMETER OF THE PROJECT.
- MONTE VISTA CONSULTING, LTD. IS NOT RESPONSIBLE FOR WATER ANALYSIS INCLUDING PIPE SIZING, PLUMBING, AND WATER PRESSURES.
- REF. INV. ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- ADD: 4500 TO ALL ELEVATIONS.

STANDARD BMP NOTES

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MID, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE WASHOE COUNTY RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- THE CONTRACTOR SHALL DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE STATE OF NEVADA & TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO THE WASHOE COUNTY BEST MANAGEMENT PRACTICES HANDBOOK.
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITION OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT WTR100000, (SECTION 10.11.1-12).
- ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS. WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT SCHEDULED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

- REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHAL.
- DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE, WHICHEVER IS LESS MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
- PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
- TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' VERTICAL CLEARANCE BETWEEN THE SPAN AND STRUCTURES WITHIN THE DEFENSIBLE SPACE. FIREWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
- SPACE REQUIREMENTS SHALL BE INSTALLED ON CHIMNEYS SERVING FIREPLACES, BARBEQUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
- TREE SPACING GUIDELINES: SLOPES 0%-20%: 10'; SLOPES 20%-40%: 20'; SLOPES GREATER THAN 40%: 30'.
- VERTICAL SPACING: THE HEIGHT OF THE SHRUB; SLOPES 20%-40%: 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40%: 6 TIMES THE HEIGHT OF THE SHRUB.
- VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.

NOTE

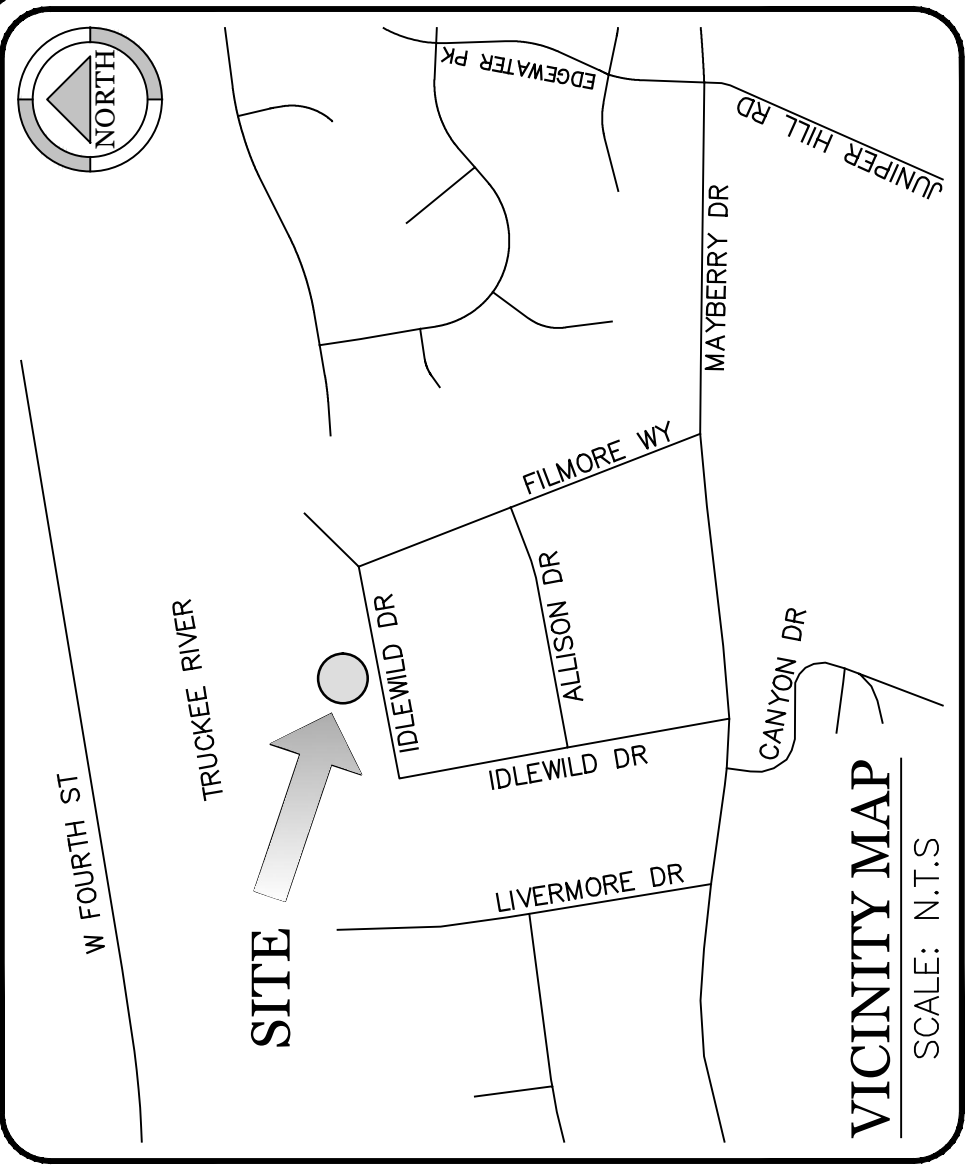
REFERENCE THE MANSUETI RANCH ESTATES CIVIL IMPROVEMENT PLANS AND HYDROLOGIC REPORT FOR ANY DESIGN REQUIREMENTS

ENCROACHMENT NOTE

AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.

IRC DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE INSTALLED TO PREVENT STANDING WATER FROM ACCUMULATING AT POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES FROM OTHER FOUNDATION WALLS, UNLESS THE FOUNDATION SHALL ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPROVISED SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.



SITE INFORMATION	
ADDRESS	4837 IDEWILD DR
APN	009-802-04
LOT SIZE	18,789 S.F.
ZONING	MDS
WUI FIRE RISK RATING	MODERATE
SETBACKS (F/R/S)	20/20/8 (FT)

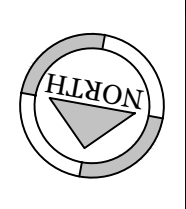
EARTHWORK ANALYSIS	
SITE AREA	0.40 AC
SITE DISTURBANCE	.05 AC
PROPOSED CUT	30 YD ³
PROPOSED FILL	0 YD ³
NET EARTHWORK	30 YD ³ CUT

THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL VERIFY AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

OWNER INFORMATION

WALKER FAMILY TRUST
PO BOX 530244
HENDERSON, NV 89053

MONTE VISTA CONSULTING
575 E. Plumb Lane #101
Reno, NV 89502
775.616.7905
montevistaconsulting.com



Walker Guest House
Site Plan

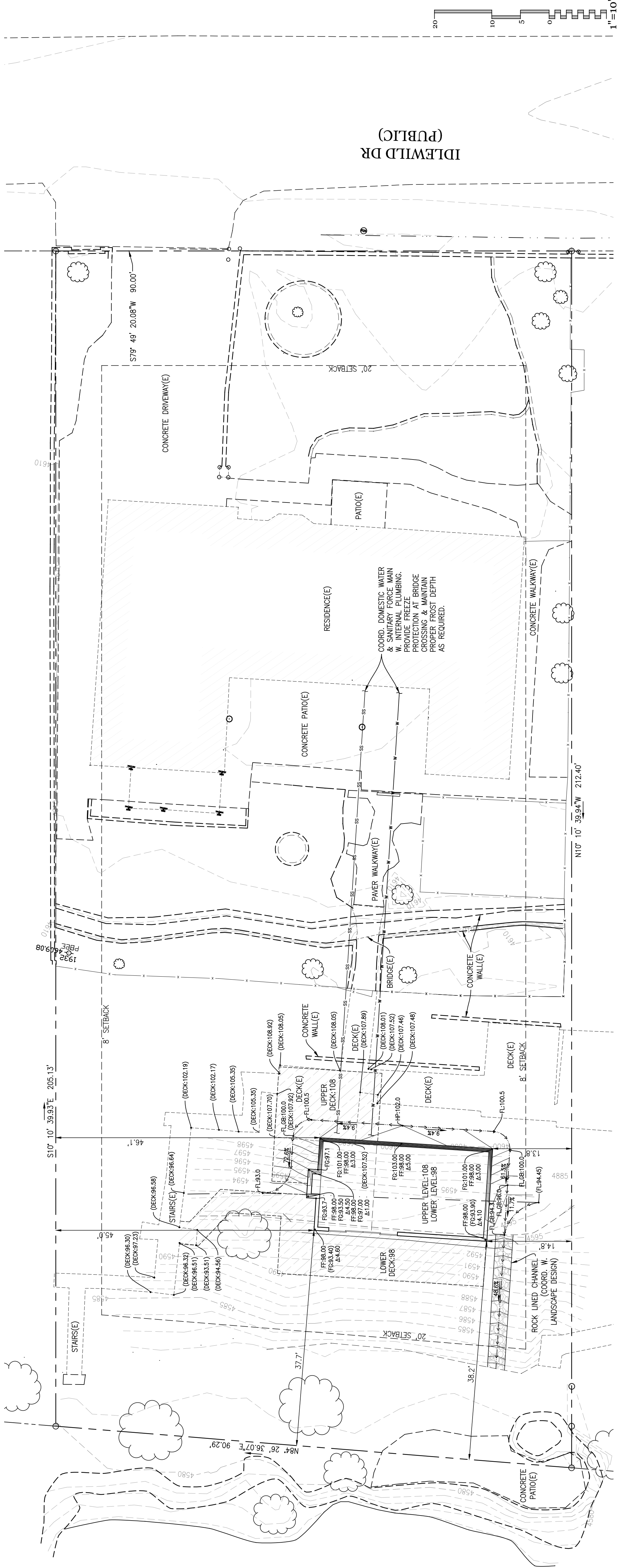
4837 Idlewild Dr
APN: 009-802-04
Washoe County, Nevada

Project # 21.016
Drawn HBA
Checked MWV
Date 3-8-2021
Revisions

PROFESSIONAL ENGINEER
MICHAEL WICKS
No. 21053
Exp. 8.30.2022
CIVIL
March 8, 2021

FOR ENTAILMENTS ONLY
NOT FOR CONSTRUCTION

C1.0
of 1



TRUCKEE RIVER

