



Board of Adjustment Staff Report

Meeting Date: May 6, 2021

Agenda Item: 8C

SPECIAL USE PERMIT CASE NUMBER: WSUP21-0005 Duarte Grading

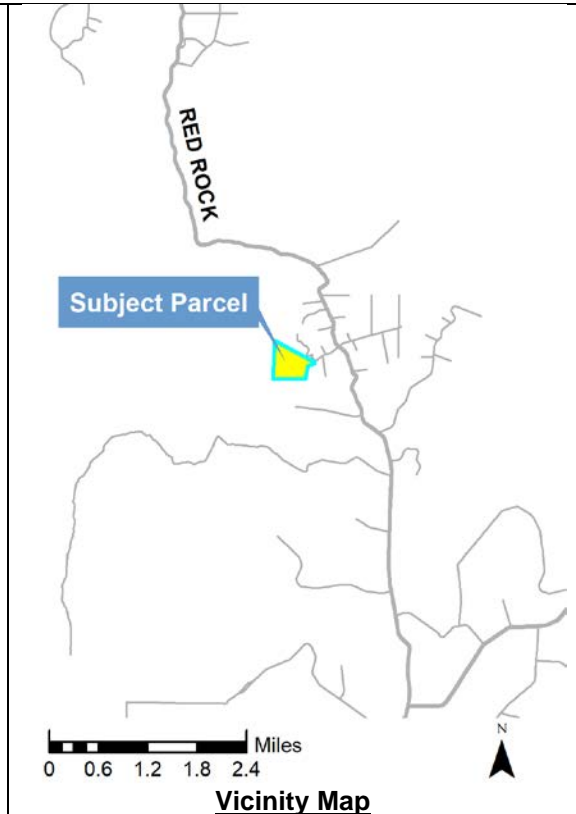
BRIEF SUMMARY OF REQUEST: Major grading to build a roadway.

STAFF PLANNER: Planner's Name: Dan Cahalane
Phone Number: 775.328.3628
E-mail: dcahalane@washoecounty.us

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit for a major grading permit to build a road across slopes greater than 30%, 3040cy of cut and 30,40cy of fill on slopes greater than 15% with 2.42 acres of disturbance.

Applicant/Property Owner:	Mark Duarte
Location:	120 Cobalt Ln, Reno
APN:	079-371-23
Parcel Size:	99.21
Master Plan:	Rural Residential
Regulatory Zone:	Low Density Rural
Area Plan:	North Valleys
Citizen Advisory Board:	North Valleys
Development Code:	Authorized in Article 438, 810
Commission District:	5 - Commissioner Herman



STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0005 for Mark Duarte, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30

(Motion with Findings on Page 11)

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Washoe Storey Conservation District Memo Exhibit F

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Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

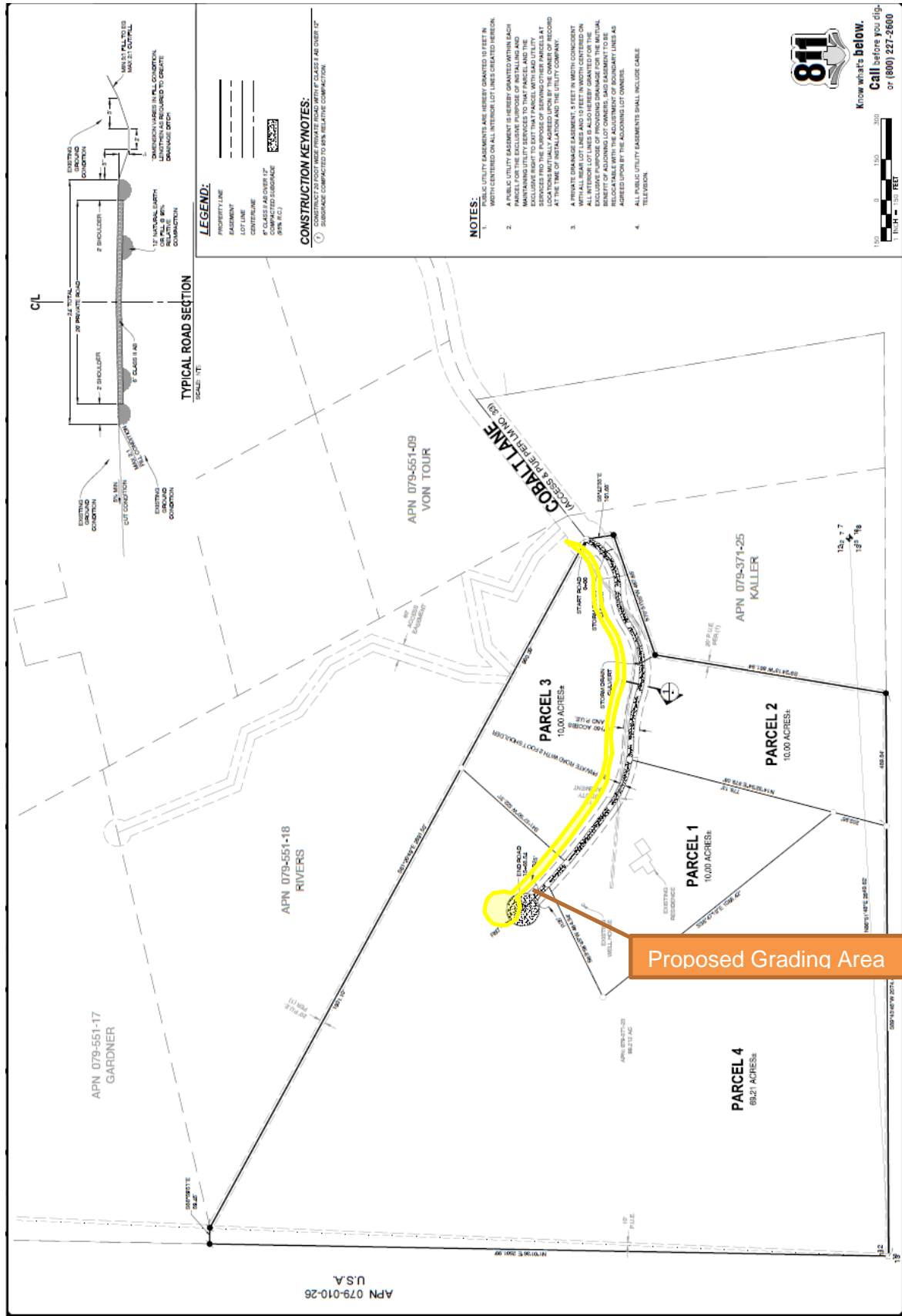
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP21-0005 are attached to this staff report and will be included with the action order, if approved.

The subject property is designated as Low Density Rural (LDR). The proposed use of major grading is permitted in LDR with a special use permit per WCC 110.438.35. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.

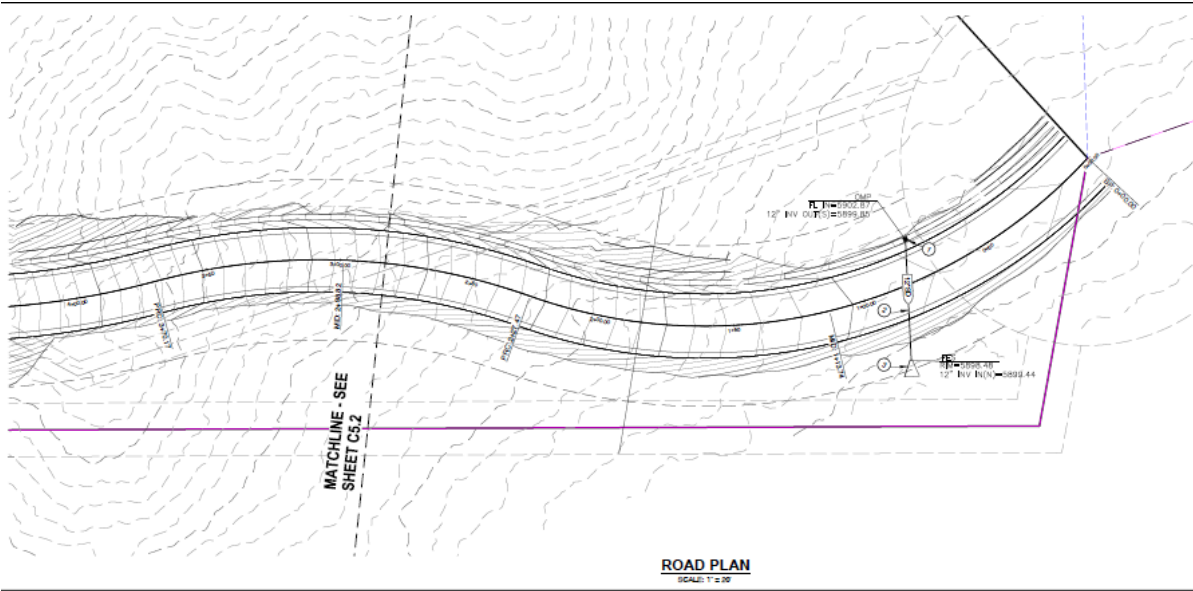
Additionally, Article 810, Special Use Permits, allows the Board of Adjustment to vary development code standards in conjunction with the approval process per WCC 110.810.20(e). The Board of Adjustment will be ruling on the request(s) to vary standards below:

Variance(s) Requested	Relevant Code
None	

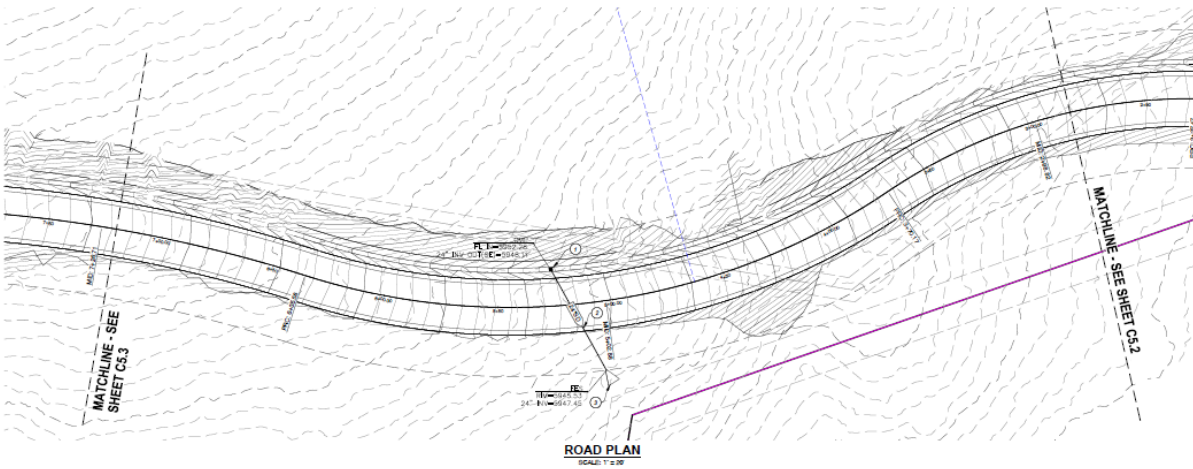


Plan

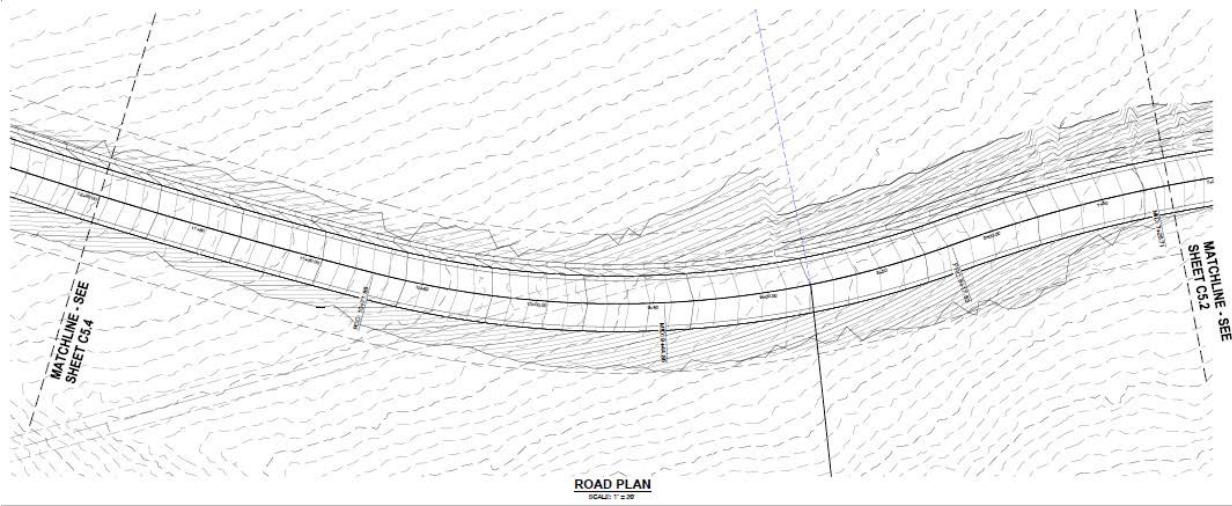
Site



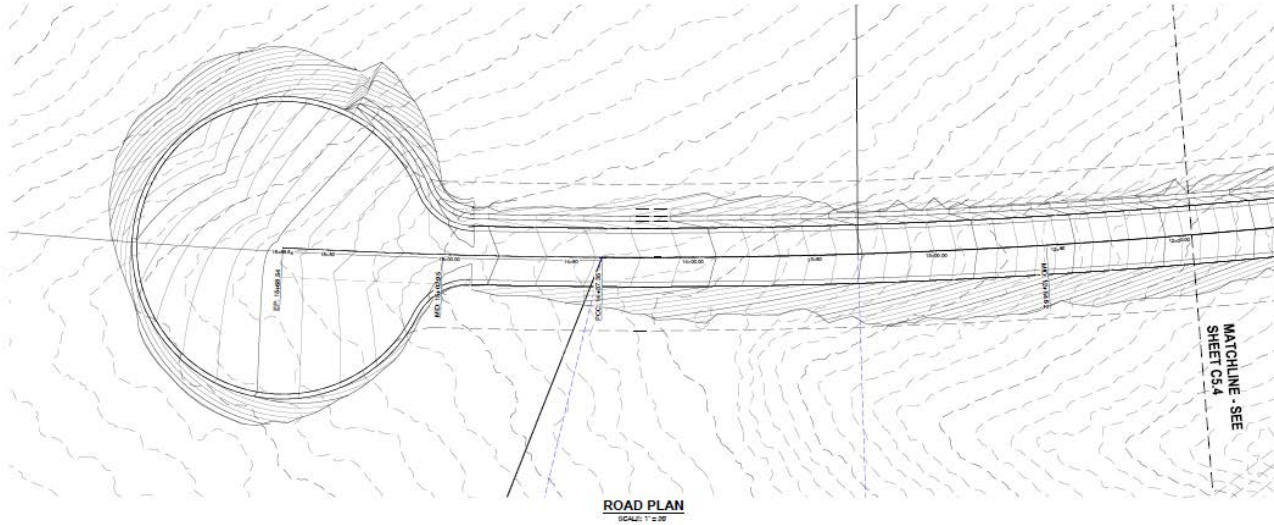
SE Start Section



SE Middle Section



W Middle Section

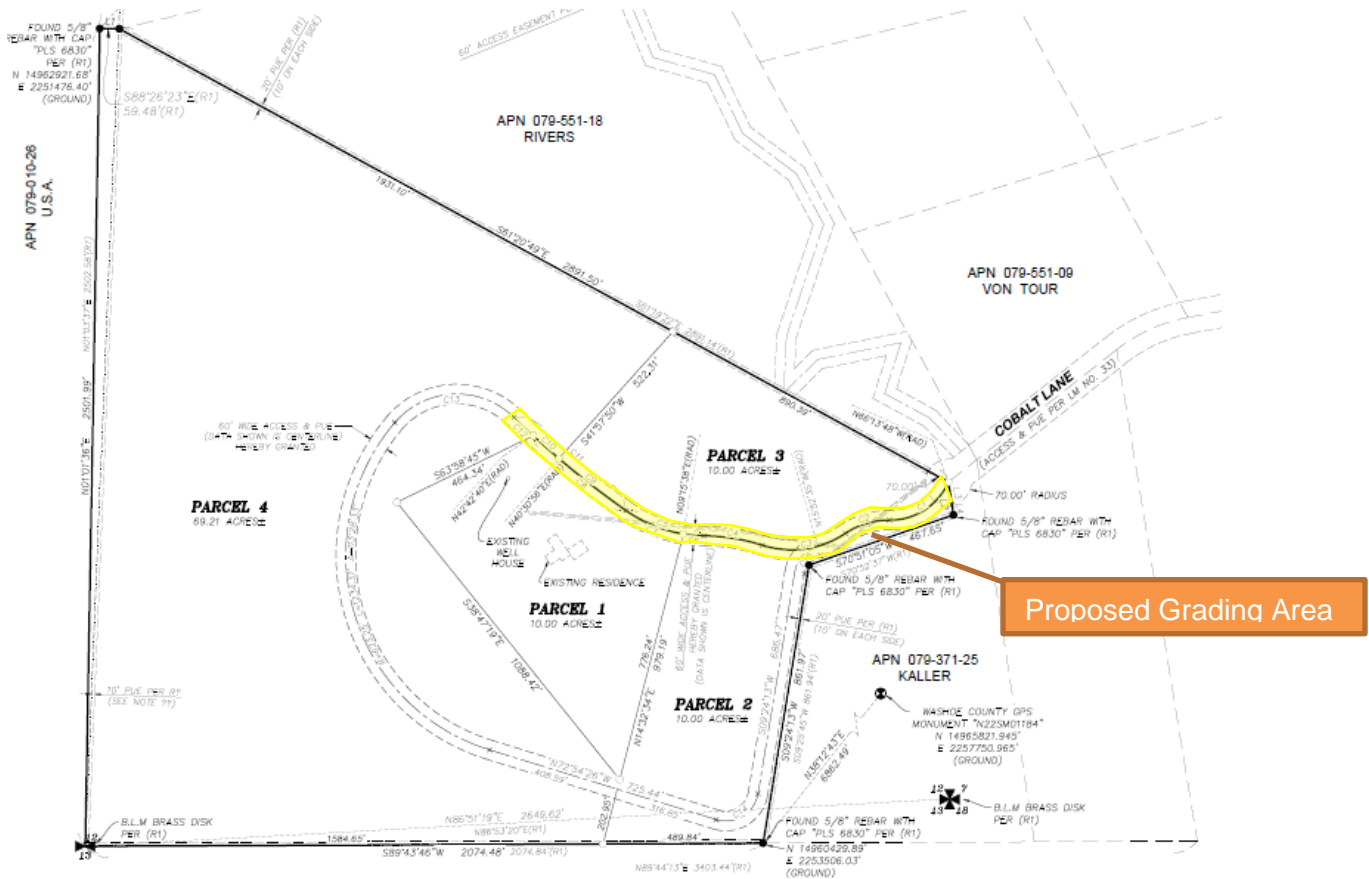


West Terminus

Project Evaluation

The applicant is requesting a major grading permit to construct a gravel road to service four parcels created under WTPM19-0015 (approved 12/12/19) within the approved access easement.

Approved WTPM19-0015 Site Plan



The proposed road exceeds the major grading thresholds for traversing slopes greater than 30% and cuts and fills in excess of 1000cy for both cut and fill on slopes greater than 15%.

Article 424- Hillside Development

Staff Comment: 110.424.45 – street standards.

The easement location was approved through the parcel map. Engineering provided conditions of approval regarding grading

Article 438 – Grading

Staff Comment: The applicant is requesting a major grading permit for a proposed roadway which traverses slopes in excess of 30% and will require 3,040 cy of cut and 3,040cy of fill on slopes greater than 15% and 2.42 acres of disturbance. The proposal exceeds the major grading permit thresholds in 110.438.35(a)3, 110.438.35(a)2(ii)(a-b), and 110.438.35(a)2(i)(c) respectively. There is no anticipated import of fill.

This roadway roughly follows the layout of the existing residential driveway, but needs to be widened flattened, and strengthened to meet Washoe County Street design standards.

Staff notes that the area that the roadway traverses 30% slope is very minor and that the cut and fill requirements are only triggered because the road is **unpaved** as outlined below. If the road was paved, a special use permit for the cuts and fills would not be required per 110.438.35(b)3.



The applicant is not requesting to vary any of the grading standards. Therefore, all slopes must comply with Washoe County Code 110.438.45, which are summarized in the table below:

Type of Regulation	Requirements			
	Front Yard	Side Yard	Rear Yard	Setback Envelope
Slopes	3:1	3:1	3:1	3:1
Difference from Natural Grade	. See Exhibit A.			
Retaining Wall Height	4.5ft	6ft Res/8ft non res	6ft Res/8ft non res	10ft
Retaining Wall Terrace Widths	Min. 6ft	Min. 6ft	Min. 6ft	Min. 6ft
Retaining Wall Bench Widths	Min. 4ft	Min. 4ft	Min. 4ft	Min. 4ft
Intersection Angle	45 degrees	45 degrees	45 degrees	45 degrees
Transitions	Contoured	Contoured	Contoured	Contoured

The proposed grading conforms to the standards outlined in Article 438 as all slopes are 3:1 or less with the exception of areas exempted for drainage purposes or heights less than 30 inches per WCC110.438.45(a)1-2, exemptions.

The application was routed to the Engineering Division (memo Exhibit C) and Washoe County Air Quality Management (memo Exhibit D), and both provided conditions of approval in Exhibit A.

Area Plan Evaluation

The subject parcel is located within the North Valleys Area Plan. The following are the pertinent policies from the Area Plan:

Relevant Area Plan Policies Reviewed

Policy	Brief Policy Description	Complies	Condition of Approval
NV 2.1	Use of curb and gutter minimized	Yes	NA
NV 2.3	Noxious weed plan required	No	Staff provided conditions requiring a noxious weed plan in Exhibit A.
NV 2.4	Applicants shall provide written feedback to CAB comments	Yes	NA
NV 9.3	Slopes will not exceed 3:1 slope	Yes	Engineering staff provided conditions outlining grading requirements in Exhibit A
NV 13.1	Development proposals will include detailed soils and geotechnical studies sufficient to ensure structural integrity, provide adequate setbacks from faults and other hazards, and minimize erosion potential	No	Staff provided conditions requiring detailed soils and geotechnical studies in Exhibit A.
NV 14.1	NDOW to be contacted for discretionary permits	Yes	NA

North Valleys Citizen Advisory Board (NVCAB)

The proposed project was presented by the applicant’s representative at the regularly scheduled Citizen Advisory Board meeting on April 12, 2021. The bullet points below reflect discussion on the following items:

- Location of the proposed grading relative to the approved parcel map
 - Applicant clarified that the proposed grading was widening the existing driveway.

CAB unanimously voted in favor of the proposal.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agency	Sent to Review	Responded	Provided Conditions or Comments	Contact
Nevada Dept of Env Protection	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Nevada Div. of Wildlife	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Building & Safety	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Parks & Open Spaces	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Sophia Kirschenman skirschenman@washoecounty.us
Washoe County Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Leo Vesely, PE ivesely@washoecounty.us
Washoe County Sherriff	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WCHD – Air Quality	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Genine Rosa grosa@washoecounty.us

WCHD – Environment Health	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Truckee Meadows Fire Protection District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
RTC Washoe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe Storey Conservation District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Jim Shaffer Shafferjam51@gmail.com
Nevada Historic Preservation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the North Valleys Area Plan.

Staff Comment: The proposed use of major grading is consistent with the action programs, policies, standards, and maps of the Master Plan with the conditions recommended in Exhibit A.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed use is to place roadway improvements. There are no utility, sanitation, or water supply facilities necessary. The proposed grading incorporates drainage to protect the structural integrity of the proposed roadway.

3. Site Suitability. That the site is physically suitable for major grading, and for the intensity of such a development.

Staff Comment: The proposed site is physically suitable for a roadway. It is located within the approved access easement in WTPM19-0015.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The proposed grading is required to ensure the safe access to parcels approved in WTPM19-0015 by future property owners, Truckee Meadows Fire Protection District, and EMS.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations within the notice area.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP21-0005 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0005 for Mark Duarte, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the North Valleys Area Plan
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for major grading, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Mark Duarte
120 Cobalt Ln.
Reno, NV 89508
Email: Momentsfromnow@aol.com

Developer: Andrew Hammond
3359 Peace Ct.
Sacramento, CA 95826
Email: andrew@elementengineer.com



Conditions of Approval

Special Use Permit Case Number WSUP21-0005

The project approved under Special Use Permit Case Number WSUP21-0005 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on May 6, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Dan Cahalane, Planner, dcahalane@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. If import is required in the course of construction, the applicant shall submit a noxious weed plan in accordance with NN 2.3.
- e. Applicant shall submit soils and geotechnical studies as determined by WC Planning in consultation WC Engineering in accordance with NC 13.2 sufficient to:
 - a. Ensure structural integrity of roads and buildings
 - b. Provide adequate setbacks from potentially active faults or other hazards.
 - c. Minimize erosion potential.
- f. The following **Operational Conditions** shall be required for the life of the business:
 - i. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - ii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, PE, 775-328-3600

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. The applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The Truckee Meadows Regional Stormwater Quality Management Program Construction Permit Submittal Checklists and Inspection Fee shall be submitted with the grading permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to permit approval.
- e. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
- f. The maximum allowable cut or fill slope shall be 3:1.
- g. All cut slopes and fill slopes shall be setback from parcel lines and access easements in accordance with Washoe County Code Article 438.
- h. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Specifications for revegetation procedure and seed mix shall be prepared by a licensed landscape architect.

Washoe County Air Quality Management

3. The following conditions are requirements of the Washoe County Air Quality Management Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Genine Rosa, grosa@washoecounty.us

- a. A Dust Control Permit will be required prior to breaking ground, failure to do so may result in enforcement action resulting in a Notice of Violation with associated fines. For Dust Control Permit questions call AQMD at 775-784-7200 or visit www.OurCleanAir.com.

Washoe County Parks Program

4. The following conditions are requirements of the Washoe County Parks Program, which shall be responsible for determining compliance with these conditions.

Contact Name – Sophia Kirschenman, skirschenman@washoecounty.us

- a. The application indicates that there will be no earthen materials imported from off site to support grading activities. However, should imported fill materials be required they shall be "certified weed free" to prevent the spread of noxious weeds in Washoe County.

- b. All undeveloped disturbed areas shall be revegetated utilizing a native and/or adapted perennial seed mix as reviewed and approved by the Washoe-Storey Conservation District and/or the Washoe County Parks Program.

*** End of Conditions ***

Cahalane, Daniel

From: Andrew Hammond <andrew@elementengineer.com>
Sent: Friday, April 16, 2021 3:51 PM
To: Cahalane, Daniel
Subject: RE: WSUP21-0005 Duarte Grading

[NOTICE: This message originated outside of Washoe County -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

I have no response to the unanimous approval at the CAB. Thanks!

-Andrew

On 04/16/2021 3:45 PM Cahalane, Daniel <dcahalane@washoecounty.us> wrote:

Hi Andrew,

Could you send me an email stating that you have no response to the unanimous approval at the CAB?
We technically need a written response to the CAB's input per the area plan.

Regards,



Let us know how we're doing. Please tell us how we did by taking a quick [survey](#)

Dan Cahalane

Planner | Community Services Department- Planning & Building Division

dcahalane@washoecounty.us | Office: 775.328.3628 | Fax: 775.328.6133

Visit us first online: www.washoecounty.us/csd

For Planning call (775) 328-6100 | Email: Planning@washoecounty.us

1001 E. Ninth St., Bldg A., Reno, NV 89512



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

Date: March 29, 2021

To: Dan Cahalane, Planner

From: Leo Vesely, P.E., Licensed Engineer

Re: Special Use Permit Case **WSUP21-0005 – Duarte Grading**
APN 079-371-23

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is to allow for major grading permit for building a road across slopes greater than 30%, 3040 cy of cut and 3040 cy of fill on slopes greater than 15%. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Element Engineering. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-3600

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. The applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The Truckee Meadows Regional Stormwater Quality Management Program Construction Permit Submittal Checklists and Inspection Fee shall be submitted with the grading permit.
4. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to permit approval.
5. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
6. The maximum allowable cut or fill slope shall be 3:1.
7. All cut slopes and fill slopes shall be setback from parcel lines and access easements in accordance with Washoe County Code Article 438.



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE

WSUP21-0005
EXHIBIT C

Subject: **WSUP21-0005 – Duarte Grading**
Date: March 29, 2021
Page: 2

8. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Specifications for revegetation procedure and seed mix shall be prepared by a licensed landscape architect.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Leo Vesely, P.E. (775) 328-3600

1. There are no drainage related conditions of approval.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink (775) 328-2050

1. There are no traffic and roadway related conditions of approval.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. There are no utility related conditions of approval.

From: [Rosa, Genine](#)
To: [Cahalane, Daniel](#)
Cc: [Restori, Joshua](#)
Subject: March Agency Review Comments
Date: Tuesday, March 16, 2021 4:11:03 PM

Special Use Permit Case Number WSUP21-0005 (Duarte Grading)

Dust Control Permit will be required prior to breaking ground, failure to do so may result in enforcement action resulting in a Notice of Violation with associated fines. For Dust Control Permit questions call AQMD at 775-784-7200 or visit www.OurCleanAir.com.

Genine Rosa

Environmental Engineer II | Air Quality Management Division | Washoe County Health District
grosa@washoecounty.us | O: (775) 784-7204 | C: (775) 420-9185 | 1001 E. Ninth St., Bldg. B, Reno, NV 89512

*My schedule is 4 x 10's M-Th 7-5:30 off on Fridays.

www.OurCleanAir.com





WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Regional Parks and Open Space

1001 EAST 9TH STREET
 RENO, NEVADA 89520-0027
 PHONE (775) 328-3600
 FAX (775) 328.3699

TO: Dan Cahalane, Planner

FROM: Sophia Kirschenman, Park Planner

DATE: March 31, 2021

SUBJECT: Special Use Permit Case Number WSUP21-0005 (Duarte Grading)



I have reviewed WSUP21-0005 on behalf of the Washoe County Regional Parks and Open Space Program and prepared the following comments:

If approved, this special use permit would approve major grading, including 3,040 cubic yards of cut and 3,040 cubic yards of fill, to support the construction of a 20'-wide access road. The total disturbed area would be 2.42 acres. The subject site is located adjacent to public lands administered by the Bureau of Land Management. Due to the location near public lands, it is crucial to ensure that disturbed areas along the road are successfully revegetated with native vegetation. Given these considerations, the Parks Program requires the following conditions of approval:

1. The application indicates that there will be no earthen materials imported from off site to support grading activities. However, should imported fill materials be required they shall be "certified weed free" to prevent the spread of noxious weeds in Washoe County.
2. All undeveloped disturbed areas shall be revegetated utilizing a native and/or adapted perennial seed mix as reviewed and approved by the Washoe-Storey Conservation District and/or the Washoe County Parks Program.



INTEGRITY



EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

**WSUP21-0005
 EXHIBIT E**



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

March 29, 2021

Washoe County Community Services Department

C/O Dan Cahalane, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WSUP21-0005 Duarte Grading

Dear Dan,

In reviewing the special use permit for building a road across slopes greater than 30%, the Conservation District has the following comments.

If revegetation is required with the major grading, the applicant submits to the District for approval a plan prepared by a qualified professional that includes a seed mix based on soil type, a contingency water plan, fertilizer plan, erosion control structures and a monitoring plan with updates provided to the Conservation District after completion of the growing season (October 31) every year for a 3-year period.

If roadside swales are required, that the flow line covered with 4–6-inch rock to minimize the transport of sediment flow downstream.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Shaffer-Tyler

FIRSTNAME	LASTNAME	MAILING2	MAILING1	MAILCITY	MAILSTATE	MAILZIP
RICHARD &	BUDETTI		16855 N RE	RENO	NV	89508
CORA &	MI CASE		115 MOON	RENO	NV	89508
SCOTT	CHADWICK et al		110 MOON	RENO	NV	89508
THOMAS W	COX		15090 RED	RENO	NV	89508
SHONNA D	COX		15081 RED	RENO	NV	89508
LARS &	GRI CUNNINGHAM		5031 TAHIT	RENO	NV	89502
ERICK JR &	DELIZ		15032 RED	RENO	NV	89508
	DUARTE 2001 TRUST		14044 SHO	JAMESTOW	CA	95327
MATTHEW	DURLEY		15091 RED	RENO	NV	89508
RICHARD U	GARDNER		15702 RED	RENO	NV	89508
	GARVEY FAMILY TRUST		2770 ALBA	SPARKS	NV	89436
DANIEL J	GUY		109 COBAL	RENO	NV	89508
BILLY & AM	HOLLER LIVING TRUST		405 SPRINC	HOLLISTER	CA	95023
DOUGLAS F	HUTTEN		15190 RED	RENO	NV	89508
REN S &	KE JOHNSON		15050 RED	RENO	NV	89508
ROBERT &	LAMPKIN		15030 RED	RENO	NV	89508
JENNY S	LIKES		105 COBAL	RENO	NV	89508
STACEY	LUCE		15040 RED	RENO	NV	89508
ROBERT &	MCELROY FAMILY TRU		425 LANCA	RENO	NV	89506
ROBERT G	MCKEE		15020 RED	RENO	NV	89508
JEFF J	MODALAN		15085 RED	RENO	NV	89508
GARY L	NAUSLAR et al		300 JOHN T	RENO	NV	89508
TRENTON	PALMER		15010 RED	RENO	NV	89508
RICHARD L	PRIOR et al		15034 RED	RENO	NV	89508
	REDROCK VALLEY RAN		3675 LAKE	RENO	NV	89509
NANCY V	RIVERS		240 BOBCA	RENO	NV	89508
C A	STEVENS FAMILY TRUS		1360 STERI	RENO	NV	89521
DENNIS A	SWEENEY		240 BOBCA	RENO	NV	89508
BETSY	SWENEY		11075 INDI	JUPITER	FL	33478
KENNETH F	TAVENER		113 COBAL	RENO	NV	89508
TAMI L &	W VON TOUR		106 COBAL	RENO	NV	89508
JOSEPH F &	WARD		15062 RED	RENO	NV	89508
STEFAN	WEBER		19815 HEA	RENO	NV	89521
ELZIE N JR	WHITESIDE		15095 RED	RENO	NV	89508

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Zendra R. Duarte

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Zendra R. Duarte
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 079-371-23

Printed Name Zendra R. Duarte

Signed Zendra R. Duarte

Address 14044 Shotgun Creek Dr.

Janestown, CA 95327

Subscribed and sworn to before me this
day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

SEE ATTACHED FOR CALIFORNIA STATE
NOTARY JURAT

*Owner refers to the following: (Please mark appropriate box.)

- Owner
Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
Power of Attorney (Provide copy of Power of Attorney.)
Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
Property Agent (Provide copy of record document indicating authority to sign.)
Letter from Government Agency with Stewardship

COBALT LANE PRIVATE ROAD SITE IMPROVEMENT PLANS

WASHOE COUNTY, NV
APN: 079-371-23

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
DITCH / FLOWLINE	---	---
STORM DRAIN	---	---
SDMH	○	○
CATCH BASIN	□	□
DIRECTION OF SURFACE FLOW	→	→
OVERLAND RELEASE PATH	→	→
INDEX CONTOUR	~25~	~25~
INTERMEDIATE CONTOURS	---	---
CULVERT WITH FES	---	---
MATCH (E) GRADE ELEVATION	---	---
BUILDING	▧	▧

NOTICE TO CONTRACTOR - SWPPP

THIS PROJECT HAS AN APPROVED STATE GENERAL CONSTRUCTION PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
WIDID # XXXXXXXXXX
 CONTRACTOR IS RESPONSIBLE TO HIRE A STATE CERTIFIED OSP (QUALIFIED SWPPP PRACTITIONER) TO OVERSEE IMPLEMENTATION OF THE SWPPP PRIOR TO START OF CONSTRUCTION. THE SWPPP SHALL BE MAINTAINED AND REQUIRED TESTING AND REPORTING SHALL BE OVERSEEN BY THE OSP.
 THE FINAL APPROVED SWPPP SHALL BE KEPT ON THE CONSTRUCTION SITE DURING CONSTRUCTION AND MAINTAINED BY THE OSP.
 CONTRACTOR SHALL SEND THE FINAL SWPPP WITH ALL INSPECTION, TESTING, AMENDMENTS, REPORTS AND OTHER DOCUMENTATION TO THE OWNER ONCE CONSTRUCTION HAS BEEN COMPLETED AND THE NOTICE OF TERMINATION SUBMITTED.
 CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING AND INCLUDE THE OSP AND CIVIL ENGINEER IN THE MEETING, EITHER ON-SITE OR VIA TELEPHONE CONFERENCE.

NOTICE TO CONTRACTOR - ORDER OF WORK:

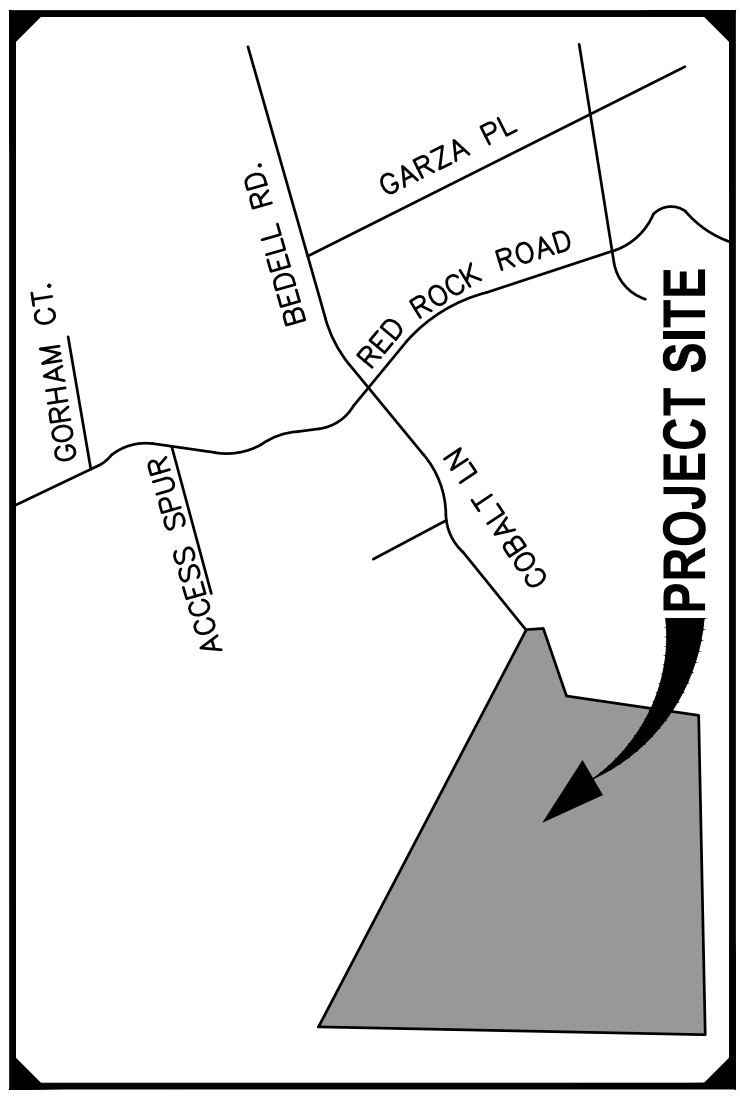
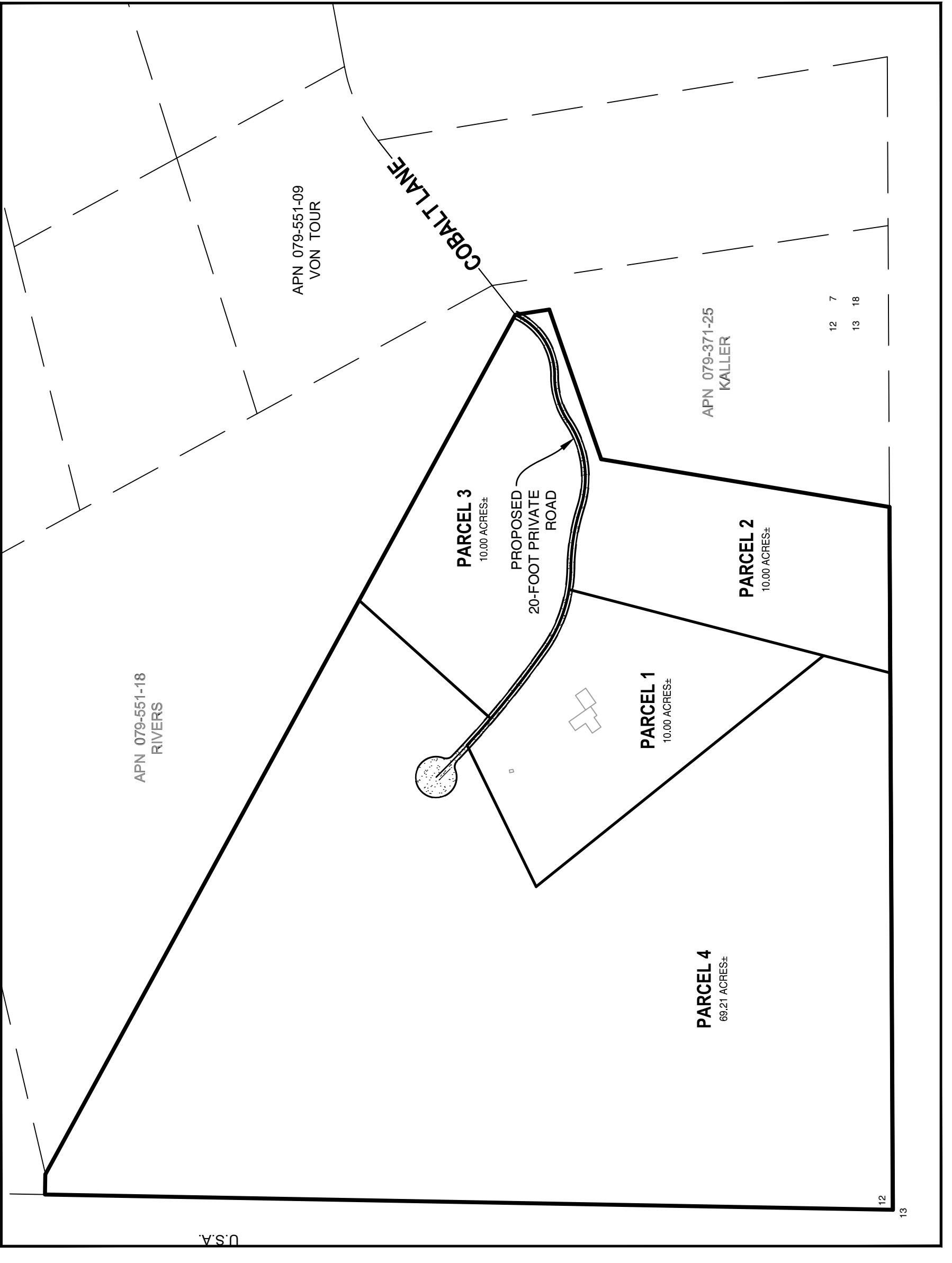
PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-Holing AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

ABBREVIATIONS:

AB	AGGREGATE BASE	LP	LOW POINT	RP	REDUCED PRESSURE
AC	ASPHALT CONCRETE	LT	LEFT TURN OR LEFT	RW	RETAINING WALL
ARV	AIR RELEASE VALVE	MAX	MAXIMUM	SDMH	STORM DRAIN MANHOLE
BCR	BEGIN CURVE	MIN	MINIMUM	SD	STORM DRAIN
BLDG	BUILDING	NE	NORTHEAST	SE	SOUTHEAST
BLOC	BACK OF CURB	NW	NORTHWEST	SS	SANITARY SEWER
BVC	BEGIN VERTICAL CURVE	OC	OVERHEAD	SSOH	SANITARY SEWER CLEAN OUT
CAB	CABINET	OT&E	OVERHEAD TELEPHONE & ELECTRIC	SWCT	SAWCUT
CONC	CONCRETE	OMP	OPEN METAL PIPE	SW	SIDEWALK OR SOUTHWEST
2&G	CURB & GUTTER	P	PROPOSED	STA	STATION
CHORD	CURB & GUTTER & SIDEWALK	PCC	PORTLAND CEMENT CONCRETE	TC	TOP OF CURB
HP	HANDICAP RAMP	PG	PROFILE GRADE	TP	TOP OF PAVEMENT
HTV	HIGH DENSITY POLYETHYLENE	PV	POST INDICATOR VALVE	TS	TOP OF SIDEWALK
ICDA	DOUBLE CHECK DETECTOR	PC	POINT OF CONNECTION	UNO	UNKNOWN
IP	INVERT	PRC	POINT OF REVERSE CURVE	W	WATER
JIP	JOINT	PT	POINT OF TANGENCY	WM	WATER METER
PS	DOWN SPOUT	PUE	PUBLIC UTILITY EASEMENT	WMF	WELDED WIRE FABRIC
PS	DOWN SPOUT	PVI	POINT OF VERTICAL INTERSECTION	VCP	VITRIFIED CLAY PIPE
RF	EXISTING	PCP	REINFORCED CONCRETE PIPE	VIF	VERIFY-IN-FIELD
RF	EXISTING	ROW	RIGHT-OF-WAY		
RF	EXISTING	RT	RIGHT TURN OR RIGHT		

TOTAL DISTURBED AREA:	2.42 AC
RAW EARTHWORK SUMMARY	
CUT:	3,040 CY
FILL:	3,040 CY
NET:	0 CY EXPORT

NOTE:
 EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS.
 CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.



VICINITY MAP

NOT TO SCALE

- SHEET INDEX:**
- C1 COVER PAGE
 - C2 GENERAL NOTES
 - C3 GENERAL CONDITIONS
 - C4 GENERAL SPECIFICATIONS
 - C5.1 PLAN AND PROFILE 1 OF 4
 - C5.2 PLAN AND PROFILE 2 OF 4
 - C5.3 PLAN AND PROFILE 3 OF 4
 - C5.4 PLAN AND PROFILE 4 OF 4

PROPERTY OWNER

PATTY DUARTE
 MOMENTSFROMNOW@AOL.COM

BASIS OF BEARINGS

THE BASIS OF BEARINGS AND COORDINATES FOR THIS SURVEY IS NAD 83/04 NEVADA STATE PLANE COORDINATE SYSTEM WEST ZONE BASED ON TIES TO WASHOE COUNTY GPS CONTROL POINTS "N63SSM01094" AND "N63SSM01100", HAVING A BEARING OF N01°49'09"E AS SHOWN HEREON.

A COMBINED GRID TO GROUND FACTOR OF 1.000197939 WAS USED TO CONVERT PUBLISHED GRID COORDINATES TO GROUND.

ALL DISTANCES AND COORDINATES SHOWN HEREON ARE GROUND VALUES.

BENCHMARK

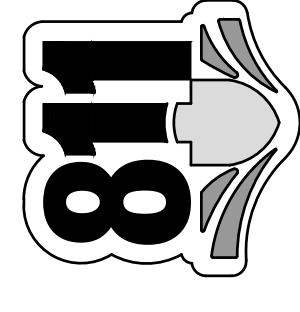
DATUM: NAVD88

UTILITIES:

N/A

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 32031C2625H DATED: 3/16/2009



Know what's below.
Call before you dig.
 or (800) 227-2600

PROJECT #	20-079
DESIGNED BY	AH
DRAFTED BY	AH
CHECKED BY	AH
DATE	2/10/2021

REGISTERED PROFESSIONAL ENGINEER
 ANDREW HAMMOND
 CIVIL
 STATE OF NEVADA
 No. 08888

ELEMENT ENGINEERING

IMPROVEMENT PLANS
 COBALT LANE PRIVATE ROAD
 APN: 079-371-23
 COVER PAGE

8 OF 8
 SHEET 1

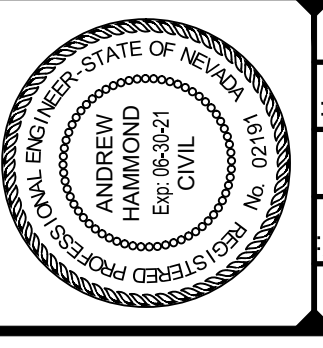
M O P Q R
 K L M N O P Q R
 H I J K L M N O P Q R
 E F G H I J K L M N O P Q R
 D E F G H I J K L M N O P Q R
 C D E F G H I J K L M N O P Q R
 B C D E F G H I J K L M N O P Q R
 A B C D E F G H I J K L M N O P Q R

PROJECT GENERAL NOTES:

1. THE EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS FROM A TOPOGRAPHIC SURVEY PLAN PREPARED BY ELEMENT ENGINEERING AND REFERENCED ON SHEET C1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, ESPECIALLY JOINTS OF CONNECTION TO EXISTING UTILITIES, BEFORE PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY ELEMENT ENGINEERING, INC. IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS DISCOVERED.
2. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO, THE SAFETY OF THE WORKING CONDITIONS, THE USE OF APPROPRIATE SAFETY MEASURES, AND THE PROTECTION OF THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PALM SPRINGS AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY (CALIFORNIA OSHA). THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
3. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO AS TO PROTECT ADJACENT PROPERTIES AND UTILITIES. ALL EXCAVATIONS SHALL BE FULLY PROTECTED FROM DAMAGE ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL AFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT, TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH THE CONTRACTOR SHALL PROVIDE A PROTECTIVE SYSTEM TO PROTECT THE EXISTING UTILITIES. THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
4. OWNER WILL OBTAIN THE GENERAL BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY ADDITIONAL PERMITS NECESSARY TO PERFORM THE WORK SHOWN ON THESE PLANS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS FAILURE TO DO SO.
6. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION. TRAFFIC MOVEMENT SHALL BE MAINTAINED AT ALL TIMES. IF WORKING CONDITIONS REQUIRE THE USE OF TRAFFIC CONTROL DEVICES, THE CONTRACTOR SHALL COMPLY WITH THE MANUAL OF TRAFFIC CONTROL DEVICES AND THE TRAFFIC MANUAL CITY/COUNTY ENGINEERS APPROVAL IS REQUIRED PRIOR TO ANY DETOURING, DISRUPTION, OR INTERRUPTION OF THE NORMAL TRAFFIC FLOW.
7. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING ALL WARNING SIGNS AND DEVICES NECESSARY TO SAFEGUARD THE GENERAL PUBLIC AND THE WORK AND PROTECT ALL UTILITIES FROM DAMAGE. ALL TRAFFIC CONTROL DEVICES AND PRESTRAINT TRAFFIC DURING THE PERFORMANCE OF THE WORK REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS.
8. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOBSITE.
9. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND MATERIAL BASIS, AND PAID FOR BY THE CONTRACTOR.
10. STATIONING HEREON IS ALONG STREET CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
11. ALL RETURN RADII AND CURB DATA ARE TO BOTTOM FACE OF CURB.
12. ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
13. LENGTHS OF SANITARY SEWERS AND STORM DRAINS ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED OFF TO THE NEAREST FOOT.
14. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR ORIGINAL PLANS AND RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE TOPOGRAPHIC SURVEY AND UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF DESIGN AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT 800-227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
15. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE APPLICABLE AGENCY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
16. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
17. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
18. ELEMENT ENGINEERING, INC. DOES NOT SPECIFY NOR RECOMMEND THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS. ANY PARTY INSTALLING OR USING SUCH MATERIAL OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGE OR LIABILITIES, OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT. THE PROVISIONS OF THIS NOTE SHALL APPLY UNLESS THEY ARE EXPRESSLY WAIVED IN WRITING BY OWNER AND ELEMENT ENGINEERING, INC.
19. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ELEMENT ENGINEERING, INC. AT (916) 772-7800 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

PROJECT GENERAL NOTES (CONT.)

20. CONTRACTOR SHALL PROVIDE PROTECTIVE FENCING AROUND EXISTING TREES TO REMAIN. SEE OTHER NOTES ON THESE PLANS. PROJECT CONDITIONS OF APPROVAL, AND SPECIFIC JURISDICTIONAL REQUIREMENTS FOR SUCH FENCING.
21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT REFERENCED ON SHEET C1.
22. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL REGULATIONS, LAWS AND ORDINANCES, INCLUDING ALLOWABLE CONSTRUCTION HOURS, CONSTRUCTION NOISE NEAR RESIDENCES, DUST CONTROL AND EROSION CONTROL.
23. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL PREPARED DOCUMENTS INCLUDING ALL PLANS AND SPECIFICATIONS BEFORE BY OTHER DISCIPLINES FOR THIS PROJECT PRIOR TO THE START OF CONSTRUCTION. SUCH REVIEW SHALL BE CONTINUOUS THROUGHOUT THE CONSTRUCTION PROCESS. ANYTIME THAT A CONFLICT BETWEEN SUCH PLANS AND SPECIFICATIONS IS IDENTIFIED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON DISCOVERY. IF AS DIRECTED BY THE ENGINEER OR CITY/COUNTY ENGINEER, THE CONTRACTOR SHALL STOP WORK UNTIL MITIGATION CAN BE MADE. ANY COST INCURRED RESULTING FROM THE CONTRACTOR'S FAILURE TO STOP WORK AS DIRECTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
25. THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER "AS BUILT" DRAWINGS AT PROJECT COMPLETION. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF "AS BUILT" DRAWINGS TO THE ENGINEER AND ONE SET TO THE OWNER. A CLEAN SET OF PROJECT DRAWINGS IN RED, AND GIVEN TO THE ENGINEER AT JOB COMPLETION.
26. THE ENGINEERS ESTIMATE OF QUANTITIES IS FOR DESIGN REFERENCE ONLY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID AND FIELD INSTALLATION. ALL CALCULATED EARTHWORK QUANTITIES FURNISHED FOR THIS PROJECT ARE APPROXIMATE AND BASED ON THE INFORMATION FURNISHED AND ARE VARIABLE DEPENDING UPON THE CONTRACTOR'S METHOD OF OPERATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR ANY EXCESS OR SHORTAGE OF EARTH MATERIAL FOR THIS PROJECT AND NO ADDITIONAL PAYMENT WILL BE MADE.
27. THESE DRAWINGS ARE FOR THIS SPECIFIC PROJECT AND NO OTHER USE IS AUTHORIZED. ELEMENT ENGINEERING, INC. DISCLAIMS ALL RESPONSIBILITY FOR CONSTRUCTION BEYOND WHAT IS SPECIFICALLY DESIGNED OR DETAILED HEREIN.
28. THE CONTRACTOR SHALL TAKE CARE TO PROTECT THE EXISTING SITE AND ADJACENT IMPROVEMENTS FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THE CONSTRUCTION AND SHALL REPAIR OR MAKE REPLACEMENT TO CURRENT CITY/COUNTY STANDARDS. ALL SUCH WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, DEBRIS AS DIRECTED BY ELEMENT ENGINEERING, INC. OR THE CITY/COUNTY ENGINEER.
29. THE AGENCY CITY/COUNTY ENGINEER, OWNER OR ELEMENT ENGINEERING, INC. MAY REQUIRE THE CONTRACTOR TO UNCOVER ANY IMPROVEMENTS THAT HAVE BEEN COMPLETED WITHOUT PROPER INSPECTION AND/OR APPROVAL. IF THE INSTALLATION IS FOUND NOT TO MEET APPLICABLE STANDARDS OR PREVIOUSLY APPROVED ALTERNATIVES SHOWN ON THE PLANS, THE CONTRACTOR SHALL REMOVE AND REPLACE SUCH IMPROVEMENTS AT HIS OWN EXPENSE.
30. THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND PROTECTION OF EXISTING SURVEY AND PROPERTY CORNER MONUMENTS THAT EXIST AT THE TIME OF CONSTRUCTION IN THE AREA WHERE CONSTRUCTION ACTIVITIES OCCUR. MONUMENTS DISTURBED OR LOST, DUE TO CONSTRUCTION ACTIVITIES WILL REQUIRE THAT THE CONTRACTOR HAVE THEM REPLACED IN ACCORDANCE WITH THE CALIFORNIA SURVEYING BOARD'S REQUIREMENTS TO BE MET BY A LICENSED SURVEYOR AND SIGNED OFF BY THE SURVEYOR'S ACT. SECTION 8771(B).



PROJECT #	20-079
DESIGNED BY	AH
DRAFTED BY	AH
CHECKED BY	AH
DATE	2/10/2021

IMPROVEMENT PLANS
COBALT LANE PRIVATE ROAD
APN: 079-371-23
GENERAL NOTES

SHEET #	2
OF	8
C2	

UTILITY NOTE:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

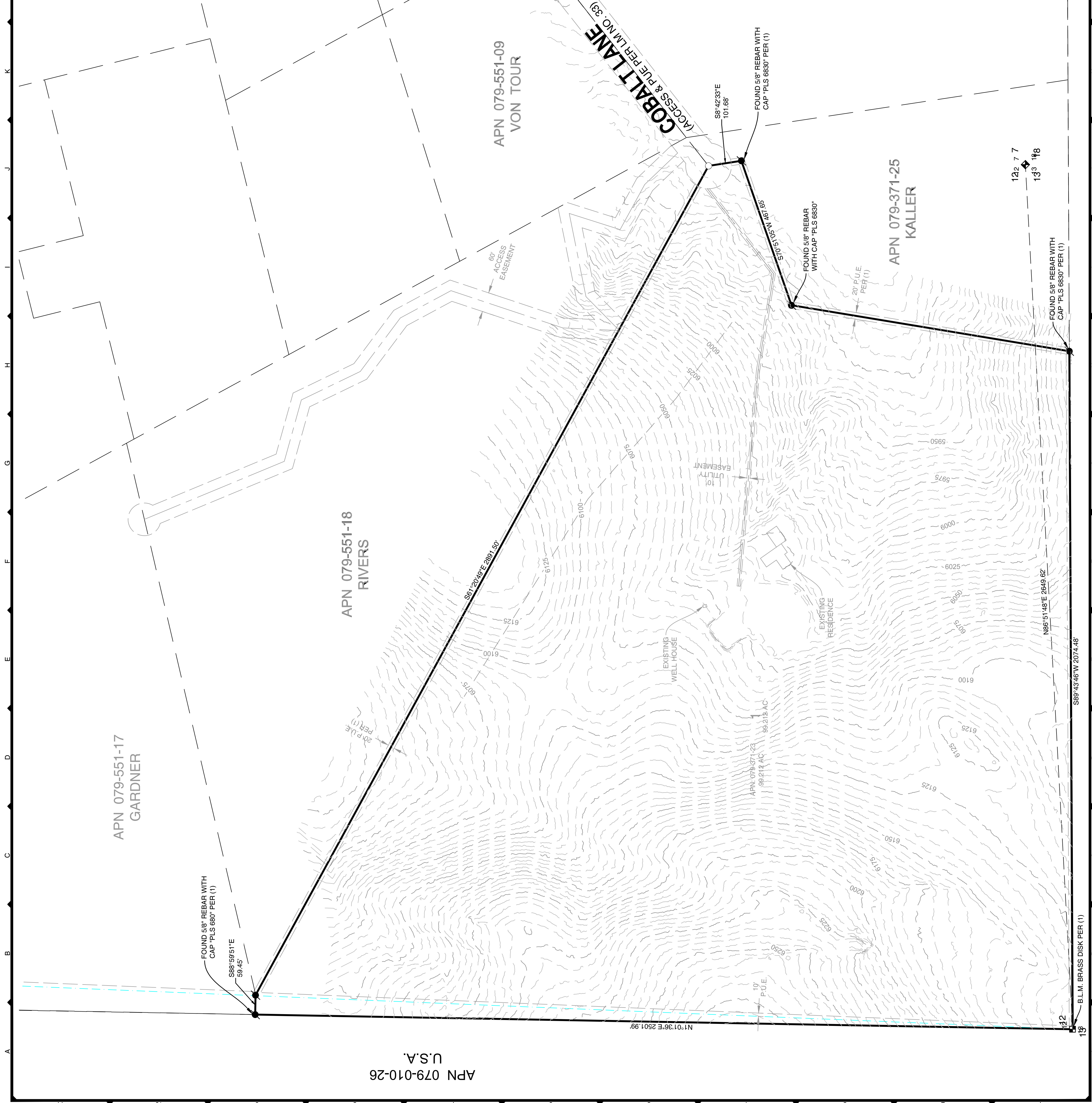
NOTICE TO CONTRACTOR - ORDER OF WORK:
 PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

NOTES:
 1. REFER TO TITLE SHEET C1 FOR NOTICE TO CONTRACTOR ABOUT VERIFYING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE PROJECT FLOOD ZONE, BASIS OF BEARING, AND PROJECT DATUM.

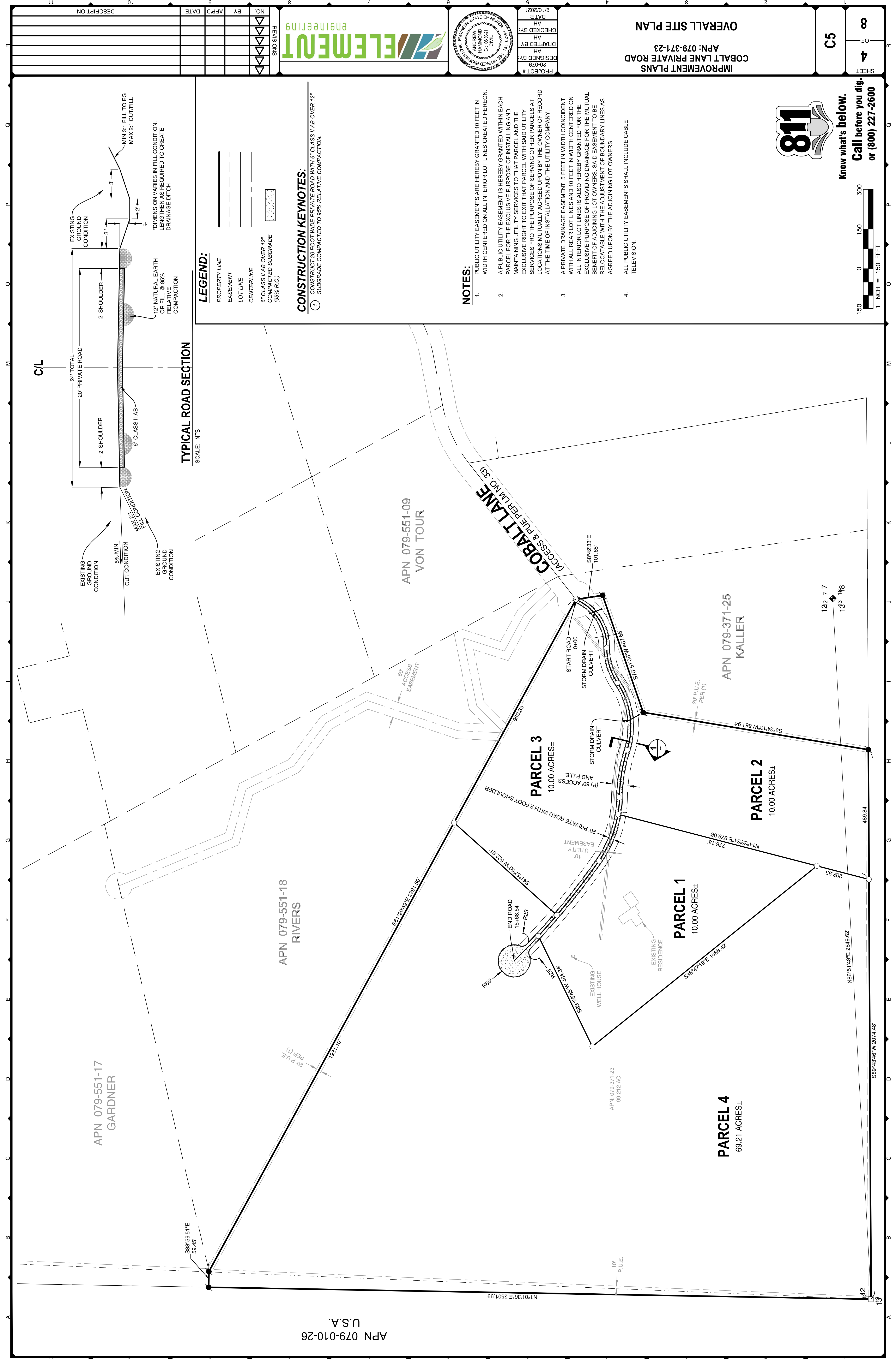
AREAS
 PARCEL 1 AREA = 10.00 ACRES±
 PARCEL 2 AREA = 10.00 ACRES±
 PARCEL 3 AREA = 10.00 ACRES±
 PARCEL 4 AREA = 69.21 ACRES±
 TOTAL AREA = 99.21 ACRES±

REFERENCE DOCUMENTS
 (1) RECORD OF SURVEY MAP NO. 5373, RECORDED JANUARY 6, 2012.
 (2) DEED DOCUMENT NO. 3567160, RECORDED AUGUST 20, 2007.
 (3) DEED DOCUMENT NO. 4504600, RECORDED AUGUST 19, 2015.

NOTICE TO CONTRACTOR - ORDER OF WORK:
 PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

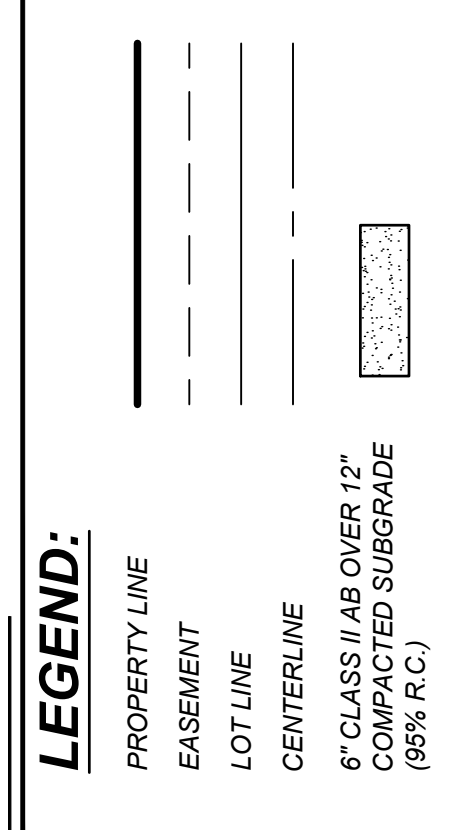


APN 079-010-26 U.S.A.



TYPICAL ROAD SECTION

SCALE: NTS



CONSTRUCTION KEYNOTES:

- 1. CONSTRUCT 20 FOOT WIDE PRIVATE ROAD WITH 6" CLASS II AB OVER 12" SUBGRADE COMPACTED TO 95% RELATIVE COMPACTION.

NOTES:

- 1. PUBLIC UTILITY EASEMENTS ARE HEREBY GRANTED 10 FEET IN WIDTH CENTERED ON ALL INTERIOR LOT LINES CREATED HEREON.
- 2. A PUBLIC UTILITY EASEMENT IS HEREBY GRANTED WITHIN EACH PARCEL FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY SERVICES TO THAT PARCEL AND THE EXCLUSIVE RIGHT TO EXIT THAT PARCEL WITH SAID UTILITY SERVICES FOR THE PURPOSE OF SERVING OTHER PARCELS AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THE TIME OF INSTALLATION AND THE UTILITY COMPANY.
- 3. A PRIVATE DRAINAGE EASEMENT, 5 FEET IN WIDTH COINCIDENT WITH ALL REAR LOT LINES AND 10 FEET IN WIDTH CENTERED ON ALL INTERIOR LOT LINES IS ALSO HEREBY GRANTED FOR THE EXCLUSIVE PURPOSE OF PROVIDING DRAINAGE FOR THE MUTUAL BENEFIT OF ADJOINING LOT OWNERS, SAID EASEMENT TO BE RELOCATABLE WITH THE ADJUSTMENT OF BOUNDARY LINES AS AGREED UPON BY THE ADJOINING LOT OWNERS.
- 4. ALL PUBLIC UTILITY EASEMENTS SHALL INCLUDE CABLE TELEVISION.



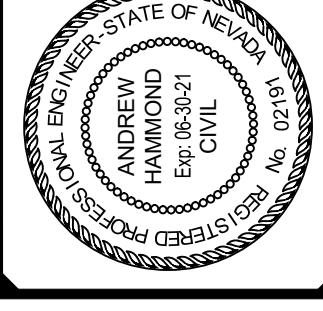
Know whats below.
Call before you dig.
or (800) 227-2600



IMPROVEMENT PLANS
COBALT LANE PRIVATE ROAD
APN: 079-371-23
OVERALL SITE PLAN

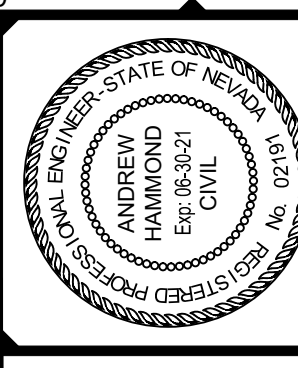
C5

SHEET 4 OF 8



PROJECT #	20-079
DESIGNED BY	AH
DRAFTED BY	AH
CHECKED BY	AH
DATE	2/10/2021

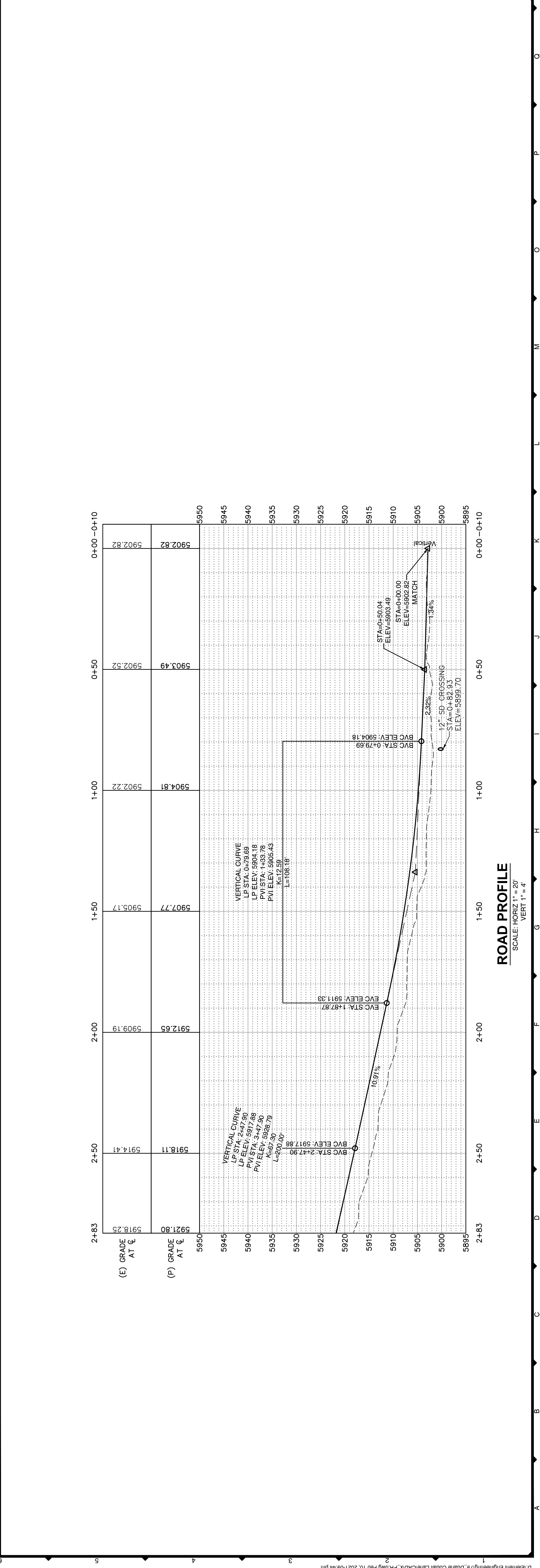
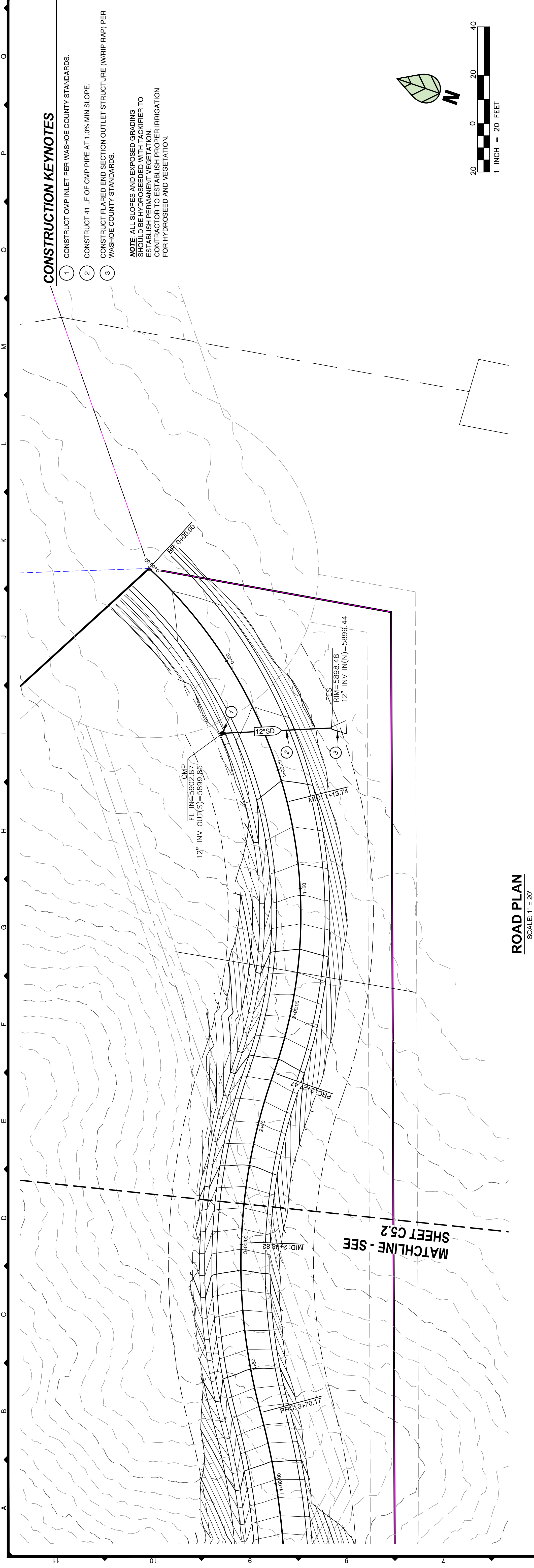
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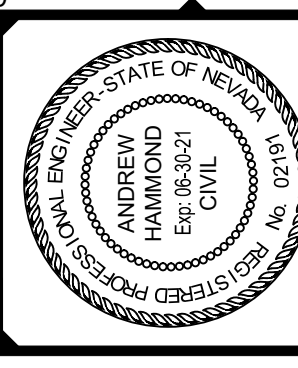


NO.	BY	APPD.	DATE	DESCRIPTION

REVISIONS

NO.	BY	APPD.	DATE	DESCRIPTION

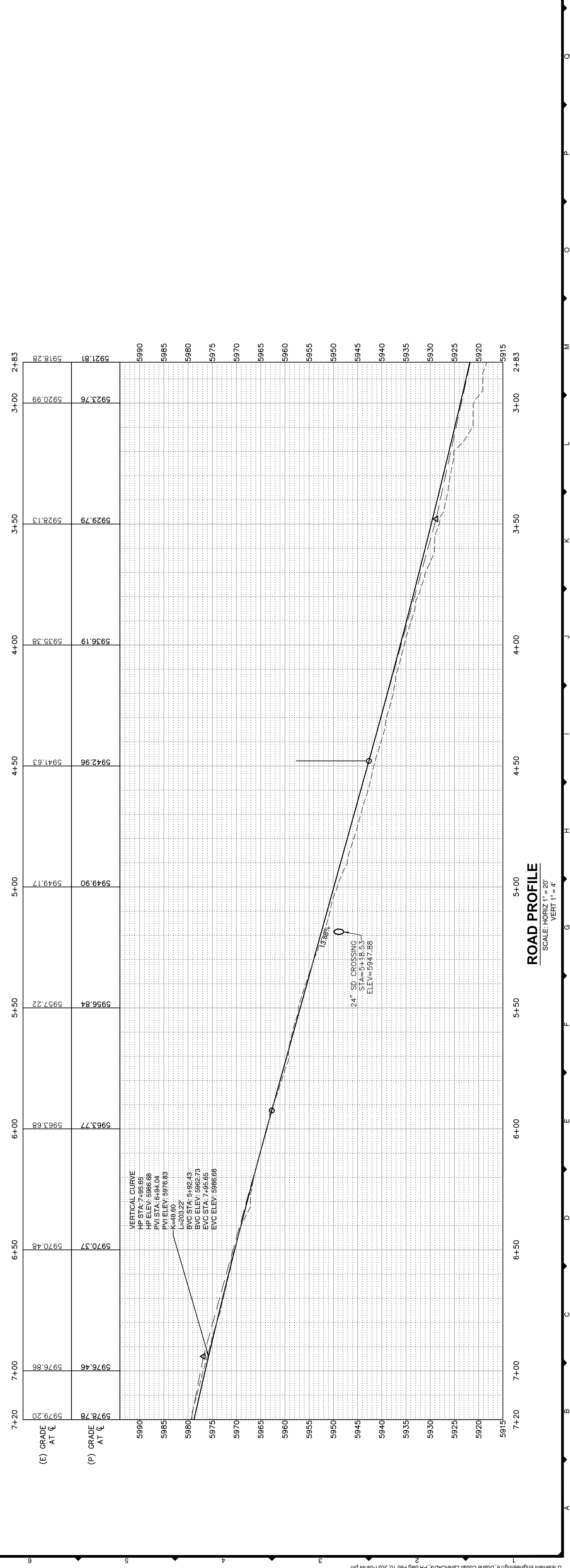
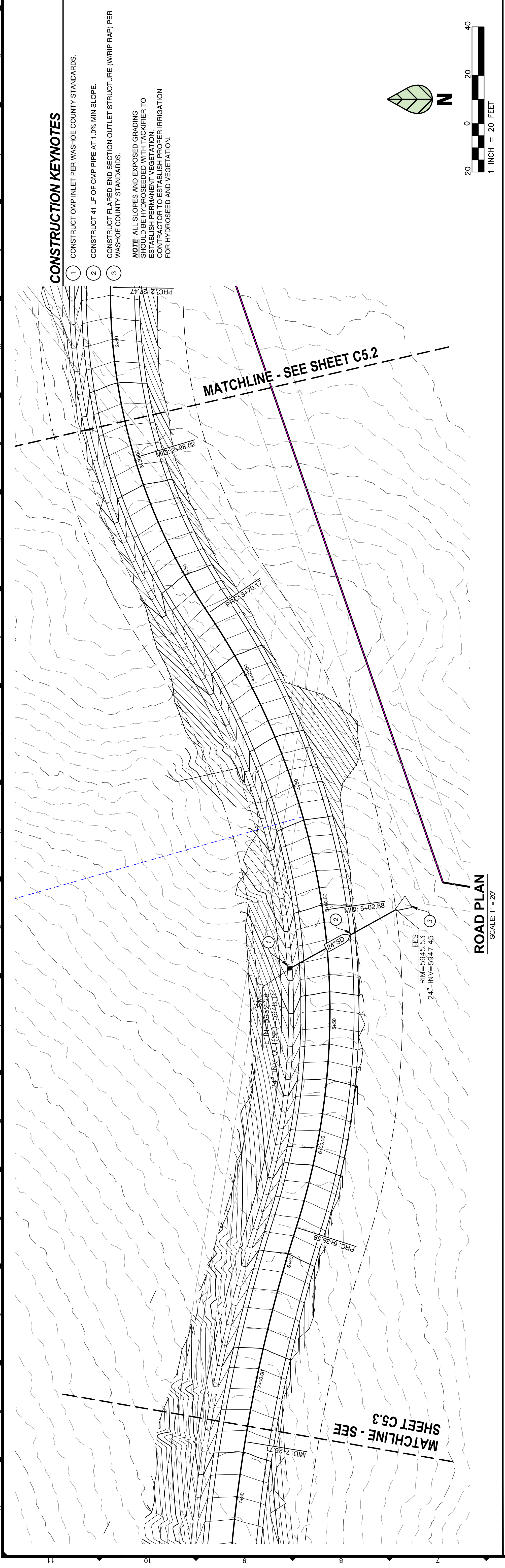




NO.	BY	APP'D	DATE	DESCRIPTION

REVISIONS

NO.	BY	APP'D	DATE	DESCRIPTION

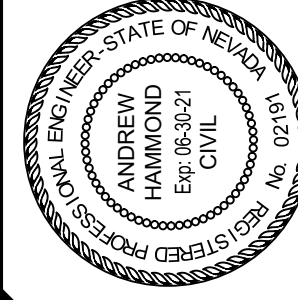


SHEET
7
OF
8

C5.3

IMPROVEMENT PLANS
COBALT LANE PRIVATE ROAD
APN: 079-371-23
PLAN & PROFILE 3 OF 4

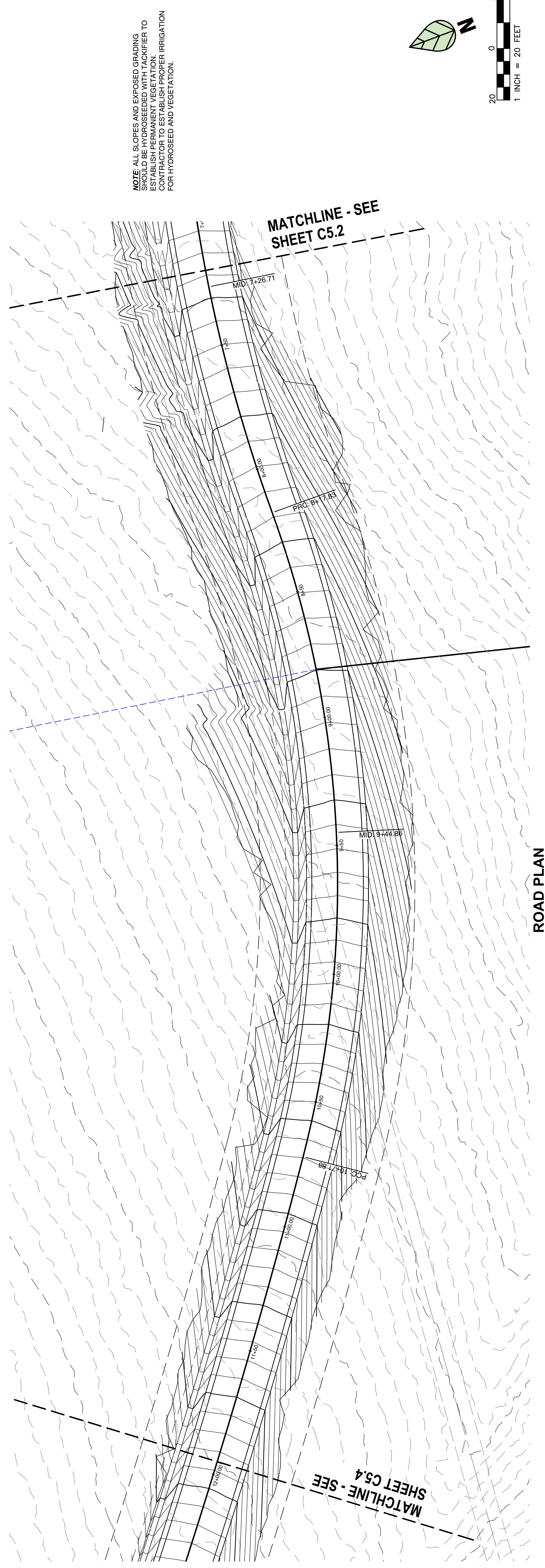
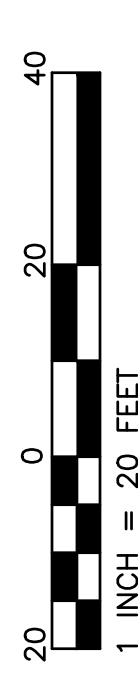
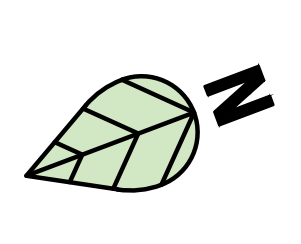
PROJECT #
20-079
DESIGNED BY
AH
DRAFTED BY
AH
CHECKED BY
AH
DATE
2/10/2021



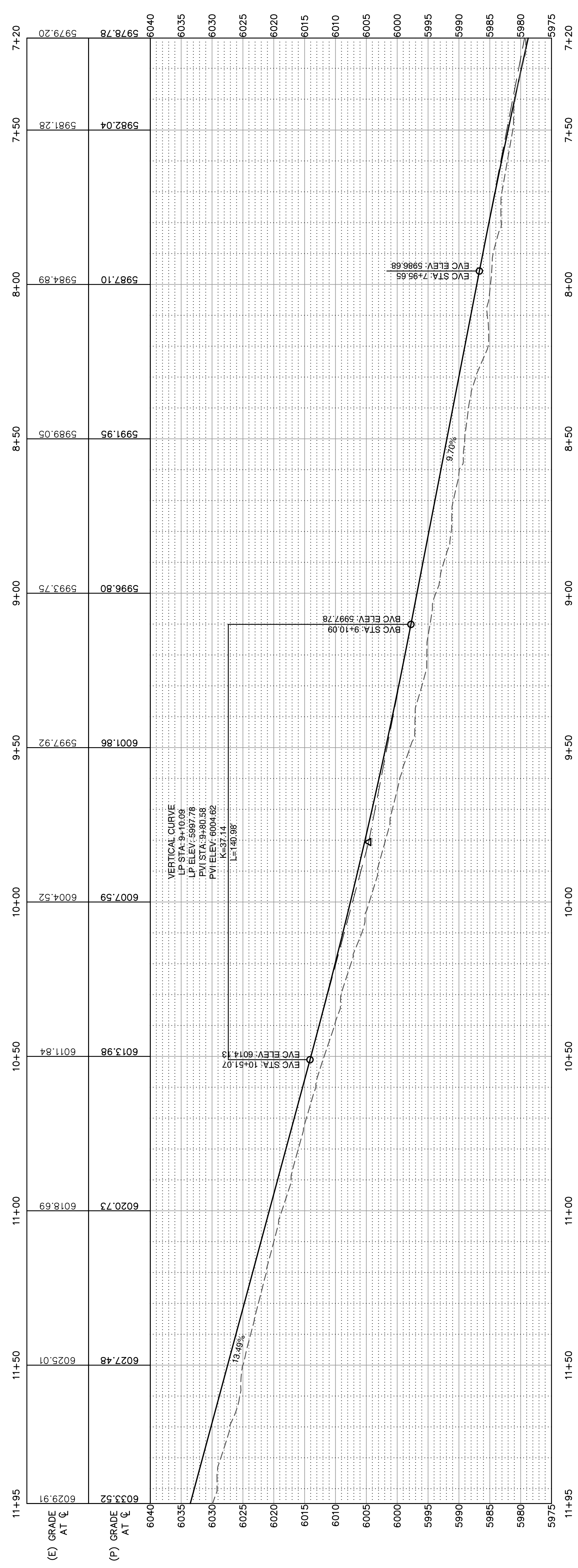
REVISIONS

NO.	BY	APP'D	DATE	DESCRIPTION

NOTE: ALL SLOPES AND EXPOSED GRADING SHOULD BE HYDROSEEDED WITH TACKIFIER TO ESTABLISH PERMANENT VEGETATION. CONTRACTOR TO ESTABLISH PROPER IRRIGATION FOR HYDROSEED AND VEGETATION.

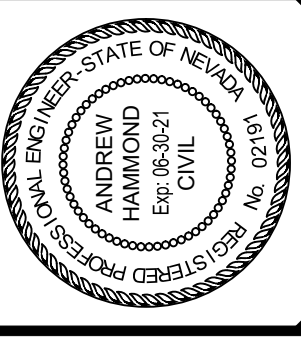


ROAD PLAN
SCALE: 1" = 20'



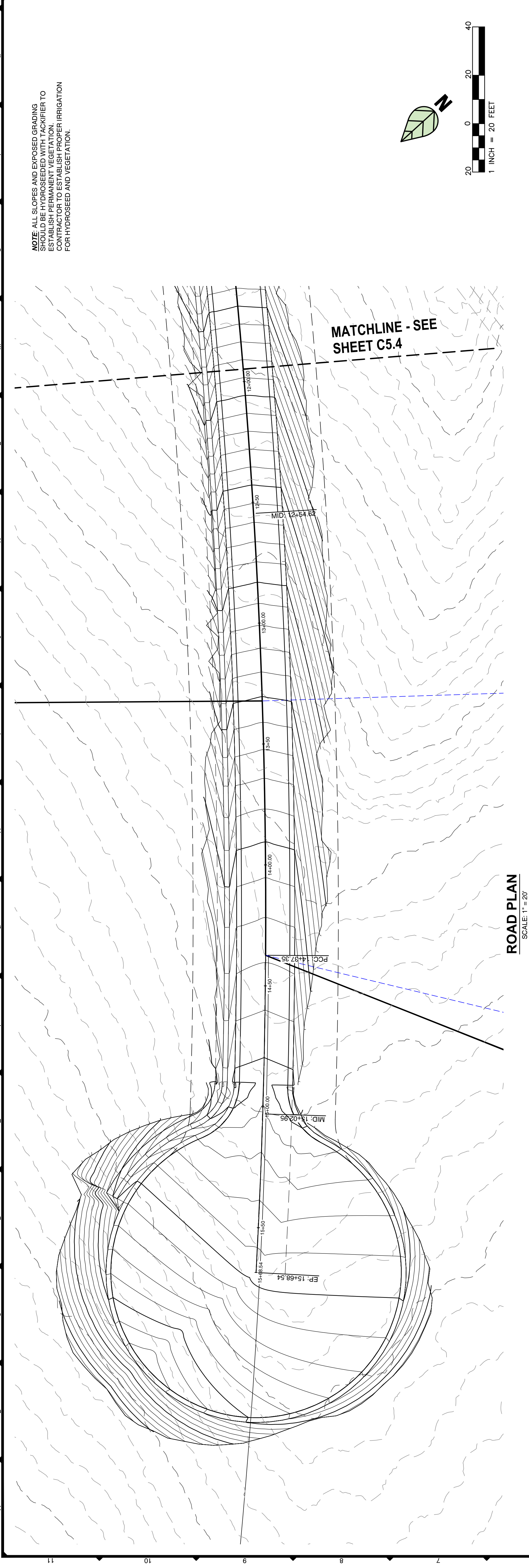
ROAD PROFILE
SCALE: HORIZ 1" = 20'
VERT 1" = 4'

PROJECT #	20-079
DESIGNED BY	AH
DRAFTED BY	AH
CHECKED BY	AH
DATE	2/10/2021



REVISIONS			
NO.	BY	APP'D	DATE

DESCRIPTION	



NOTE: ALL SLOPES AND EXPOSED GRADING SHOULD BE HYDROSEEDED WITH TACKIFIER TO ESTABLISH PERMANENT VEGETATION. CONTRACTOR TO ESTABLISH PROPER IRRIGATION FOR HYDROSEED AND VEGETATION.

