



P.O. Box 2911  
Minden, NV 89423  
(775) 782-2728 Phone  
(775) 782-8439 Fax  
NV License# 0036247  
CA License# 751460  
UT License# 7487435-555

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Washoe County Department of Community Services, Planning and Development  
1001 E. Ninth Street  
Reno, NV 89520

December 6, 2019

RE: Special Use Permit Application for Grading

Dear Washoe County Planning Department,

Enclosed please find an original and five copies along with a jump drive of the special use permit application and all exhibits for the development of our parcel located at 470 Old US Highway 395 in Washoe Valley, Nevada. The intent of this special use permit is to allow for the Construction Sales and Services use type and operable vehicle storage within the General Commercial (GC) regulatory zone. This is located within the Old Washoe City Historic Commercial District Character Management Area.

Our property is 1.6 acres (69,696 square feet) and our development was designed to closely match the nearby developments. The intent of this development is to provide Curtis & Sons Construction Inc. with additional equipment and material storage.

We purchased this lot last year and we completed grading to accommodate parking. As such, the development is limited to the construction of our building, installation of the required utilities, and installation of concrete parking spaces and associated lot lighting. This project does not include anything out of the ordinary for the surrounding area. We understand that a Special Use Permit for this project is required. We have worked to include all the required submittals in this package. Where the requirements are not applicable, we have status as such.

Our team is ready to begin construction and would like to get underway as quickly as possible to avoid the heavy winter. Please let me know if you have any questions. You can reach me at my office number which is 775-782-2728, or on my cellular which is 775-721-0701.

Best,

David Curtis  
President, Curtis and Sons Construction Inc.

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Washoe County Development Code - Special Use Permit Application

Owner Affidavit

Proof of Property Tax Payment

Washoe County Special Use Permit Application Materials & Supplemental Information

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Photo 4: Development directly Southwest, Adjoining the Curtis and Sons Parcel

Photo 5: Development directly North, across Old Highway 395 from the Parcel

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Community Services Department

Planning and Building

**SPECIAL USE PERMIT**

(see page 7)

**SPECIAL USE PERMIT FOR GRADING**

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(see page 12)

**APPLICATION**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

|  |                 |                                       |                 |
|--|-----------------|---------------------------------------|-----------------|
| <b>Project Information</b>   |                 | Staff Assigned Case No.: _____        |                 |
| Project Name: <b>DDC Enterprises LLC</b>   |                 |                                       |                 |
| Project Description: Curtis & Sons Construction, construction services yard of 1.6 acres, construction sales & services/ grading/ operable vehicle storage |                 |                                       |                 |
| Project Address: 470 Old US Highway 395  |                 |                                       |                 |
| Project Area (acres or square feet): 1.6 Acres, 69,696SF   |                 |                                       |                 |
| Project Location (with point of reference to major cross streets <b>AND</b> area locator):<br><b>See attached map</b>                                      |                 |                                       |                 |
| Assessor's Parcel No.(s):  | Parcel Acreage: | Assessor's Parcel No.(s):             | Parcel Acreage: |
| 050-234-62   | 1.6             |                                       |                 |
| Indicate any previous Washoe County approvals associated with this application:<br>Case No.(s). NA   |                 |                                       |                 |
| <b>Applicant Information</b> (attach additional sheets if necessary)   |                 |                                       |                 |
| <b>Property Owner:</b>   |                 | <b>Professional Consultant:</b>       |                 |
| Name: DDC Enterprises LLC  |                 | Name:                                 |                 |
| Address: P.O. Box 2911   |                 | Address:                              |                 |
| Zip: 89423   |                 | Zip:                                  |                 |
| Phone: 7757822728  | Fax: 7757828436 | Phone:                                | Fax:            |
| Email: david@curtisandsons.net   |                 | Email:                                |                 |
| Cell: 7757210701   | Other:          | Cell:                                 | Other:          |
| Contact Person: David Curtis   |                 | Contact Person:                       |                 |
| <b>Applicant/Developer:</b>  |                 | <b>Other Persons to be Contacted:</b> |                 |
| Name: Curtis & Sons Construction Inc.  |                 | Name: Doug Curtis                     |                 |
| Address: Same  |                 | Address: Same                         |                 |
| Zip:   |                 | Zip:                                  |                 |
| Phone:   | Fax:            | Phone: 775-721-0704                   | Fax:            |
| Email:   |                 | Email:                                |                 |
| Cell:  | Other:          | Cell:                                 | Other:          |
| Contact Person:  |                 | Contact Person: Doug Curtis           |                 |
| <b>For Office Use Only</b>   |                 |                                       |                 |
| Date Received:   | Initial:        | Planning Area:                        |                 |
| County Commission District:  |                 | Master Plan Designation(s):           |                 |
| CAB(s):  |                 | Regulatory Zoning(s):                 |                 |

Property Owner Affidavit

Applicant Name: David Curtis

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

David Curtis  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-234-62

Printed Name David Curtis

Signed David Curtis

Address P.O. Box 2911

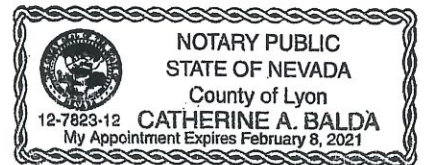
Minden NV 89423

Subscribed and sworn to before me this 10<sup>th</sup> day of October, 2019.

(Notary Stamp)

Catherine A Balda  
Notary Public in and for said county and state Lyon Co., Nevada

My commission expires: February 8, 2021



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: DOUG CURTIS

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, DOUG CURTIS  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-234-62

Printed Name DOUG CURTIS

Signed *Doug Curtis*

Address PO BOX 2911

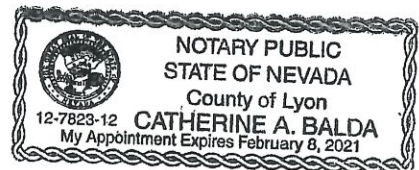
MINDEN NV 89423

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- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
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- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

## Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Construction sales and service and operable equipment storage within the old Washoe City Historical Commercial District CMA, on 1.6 acres

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

See attached

3. What is the intended phasing schedule for the construction and completion of the project?

Start ASAP, Complete within 90 days

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Prime location for Curtis & Sons crews that are working in the Reno - Sparks areas.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Equipment on site to provide needed services, backhoe, mini ex, flat bed trailer, dump trailer, dump truck

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

We feel that there won't be any negative impacts to the adjacent properties

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Landscaping plan CSC-A-001, parking spaces provided on plot plan, picture of sign in submittal package, lighting per BMP "dark sky standards"

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

|                              |  |
|------------------------------|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|------------------------------|--|

9. Utilities:

|                                 |           |
|---------------------------------|-----------|
| a. Sewer Service                | Septic    |
| b. Electrical Service           | NV Energy |
| c. Telephone Service            | AT&T      |
| d. LPG or Natural Gas Service   | Propane   |
| e. Solid Waste Disposal Service | NA        |
| f. Cable Television Service     | NA        |
| g. Water Service                | TMWA      |

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

|                    |  |                    |  |
|--------------------|--|--------------------|--|
| h. Permit #        |  | acre-feet per year |  |
| i. Certificate #   |  | acre-feet per year |  |
| j. Surface Claim # |  | acre-feet per year |  |
| k. Other #         |  | acre-feet per year |  |

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

**We will keep property clean and orderly**

10. Community Services (provided and nearest facility):

|                         |   |
|-------------------------|---|
| a. Fire Station         | Truckee Meadows Fire Protection District station 16 |
| b. Health Care Facility | Washoe Med  |
| c. Elementary School    | Pleasant Valley Elementary School                   |
| d. Middle School        | Depoali Middle School                               |
| e. High School          | Damonte Ranch                                       |
| f. Parks                | NA  |
| g. Library              | NA  |
| h. Citifare Bus Stop    | NA  |



# Special Use Permit Application for Grading

## Supplemental Information

(All required information may be separately attached)

1. What is the purpose of the grading?

For a proposed office with attached garage/shop & equipment/vehicle storage. attached shop is intended for storage of supplies and tools, not intended for receiving goods

2. How many cubic yards of material are you proposing to excavate on site?

Excavation will only be used to trench in wet & dry utilities. Spoils will be excavated & compacted back to original condition. Utilities excavated will be power, telephone, water & septic, approx.

3. How many square feet of surface of the property are you disturbing?

69,696 SF cut will equal 1,138 yds, fill will equal 1,151 yds, offset of 13 yards import

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Import of 200 ton type 2 for building pad and approximately 180 ton of type 2 for paved parking areas, Total of 380 ton type 2 base imported for compaction under pads & paved areas

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Yes, we will be disturbing 50 cubic yards of earthen material or greater and an area of 10,000 SF of the land surface or greater, but less than the thresholds established for major grading.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

Yes, lot was flattened out to park on. Work was done 2018, Curtis & Sons completed the work.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, see grading plan CSC-G-000

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

No

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The slope is -2.3% from NW corner of property to SE corner, pavement, trees, gravel

11. Are you planning any berms?

|     |     |  |
|-----|-----|--|
| Yes | NoX | If yes, how tall is the berm at its highest? |
|-----|-----|--|

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

No

13. What are you proposing for visual mitigation of the work?

We will keep property clean and orderly

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

NO

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

NA

16. How are you providing temporary irrigation to the disturbed area?

water truck

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

|     |      |                               |
|-----|------|-------------------------------|
| Yes | No X | If yes, please attach a copy. |
|-----|------|-------------------------------|



**NOTICE OF TAXES**  
**WASHOE COUNTY, NEVADA**  
 TAMMI DAVIS - TREASURER

1001 E 9th St, Bldg D, Rm 140  
 Reno, NV 895  
 Monday-Friday 8am-5pm

tax@washoecounty.us  
 washoecounty.us/treas  
 Phone: (775) 328-2510  
 Fax: (775) 328-2500

Fiscal Year July 1, 2019 - June 30, 2020

Annual Real Property - Tax Year 2019

|                         |                             |   |
|-------------------------|-----------------------------|---|
| <b>TAX YEAR</b><br>2019 | <b>PARCEL #</b><br>05023462 | <b>PROPERTY LOCATION</b><br>470 US HIGHWAY 395 S  |
| <b>AREA</b><br>4000     | <b>TAX RATE</b><br>3.2402   | <b>PROPERTY DESCRIPTION</b><br>Lot 2 Block A Range 19 SubdivisionName WASHOE TERRACE SUBDIVISION Township 17 Section 24 |

|                                   |                                 |   |
|-----------------------------------|---------------------------------|---|
| <b>NAME</b><br>DDC ENTERPRISE LLC | <b>EXEMPTION VALUES</b><br>0    | <b>ASSESSED VALUATION</b><br>LAND 29,413<br>IMPROVEMENT 0 |
|                                   | <b>TOTAL EXEMPTION VALUE:</b> 0 | <b>TOTAL ASSESSED VALUE:</b> 29,413                       |

| ACCOUNT SUMMARY                             |                 | BILLING DETAIL       |            |          |
|---|-----------------|----------------------|------------|----------|
| GROSS AD VALOREM TAX:                       | \$953.05        | TAXING AGENCY        | RATE       | AMOUNT   |
| ABATEMENT AMOUNT                            | \$152.21        | STATE OF NEVADA      | 0.17000000 | \$42.01  |
| *ABATEMENT APPLIED LIMITS INCREASE TO 4.8%* |                 | TRUCKEE MEADOWS FIRE | 0.54000000 | \$133.46 |
| RECAPTURE TAX AMOUNT:                       | \$0.00          | SCHOOL DEBT          | 0.38850000 | \$96.02  |
| NET AD VALOREM TAX (DETAIL RIGHT):          | \$800.84        | SCHOOL GENERAL       | 0.75000000 | \$185.38 |
| EXEMPTION AMOUNT:                           | \$0.00          | COUNTY GENERAL       | 1.34070000 | \$331.37 |
| SPECIAL ASSESSMENTS:                        | \$0.00          | COUNTY DEBT          | 0.02100000 | \$5.19   |
| PENALTIES:                                  | \$0.00          | ANIMAL SHELTER       | 0.03000000 | \$7.41   |
| FEES:                                       | \$0.00          |                      |            |          |
| INTEREST:                                   | \$0.00          |                      |            |          |
| <b>TOTAL AMOUNT BILLED:</b>                 | <b>\$800.84</b> |                      |            |          |
| LESS PAYMENTS APPLIED:                      | \$0.00          |                      |            |          |
| <b>BALANCE REMAINING:</b>                   | <b>\$800.84</b> |                      |            |          |
| PRIOR YEAR DELINQUENCIES:                   | \$0.00          |                      |            |          |
| <b>TOTAL AMOUNT OWING:</b>                  | <b>\$800.84</b> |                      |            |          |

SPECIAL ASSESSMENTS AMOUNT

SEE REVERSE SIDE FOR IMPORTANT INFORMATION AND PAYMENT OPTIONS.

IF PAYING BY CHECK, INCLUDE APPROPRIATE COUPONS.

REFERENCE PARCEL NUMBER ON ALL PAYMENTS AND CORRESPONDENCE TO ASSURE PROPER CREDIT.

IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO ENSURE THAT PAYMENT IS RECEIVED.

SEE ENCLOSED COUPONS FOR DUE DATES AND AMOUNTS DUE.

This notice is for your information, DO NOT consider this an attempt to collect if this property is protected by a bankruptcy proceeding. We ask that you contact our office to verify we have received a notice of bankruptcy.

pd 8/19/19  
 CK# 1151

WTFFORMA1 06112019 (QESP)10:T006:002383:001:0000:012048437:WC-A1-2011:0DWTFFORMA

Please notify our office if your mailing address has changed by using one of the methods listed on the reverse side of this form.

PARCEL #: 05023462  
 107756520993099

New Address: **05023462**

DDC ENTERPRISE LLC  
 PO BOX 2911  
 MINDEN NV 89423-2911

SIGNATURE \_\_\_\_\_ PHONE NUMBER \_\_\_\_\_



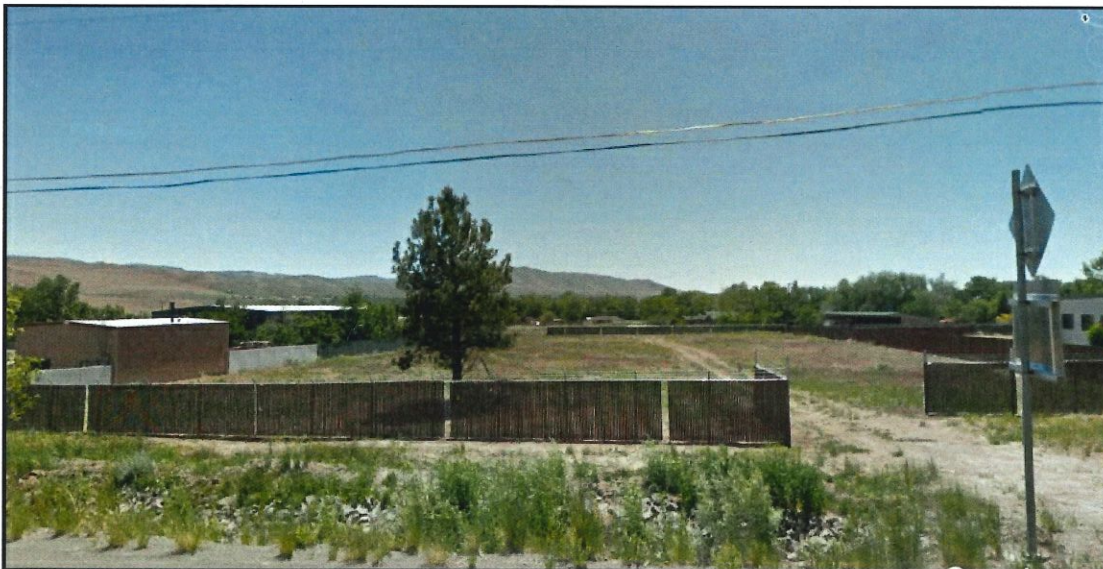
**CURTIS AND SONS CONSTRUCTION INC, SPECIAL USE PERMIT  
APPLICATION MATERIALS & SUPPLEMENTAL INFORMATION**

**PROPOSED SITE PLAN**

This parcel is ideally suited for the proposed construction equipment storage use given the surrounding area. Following are several photos provided to show the typical area development.



**Photo 1: Google Image showing parcel location and surrounding area**



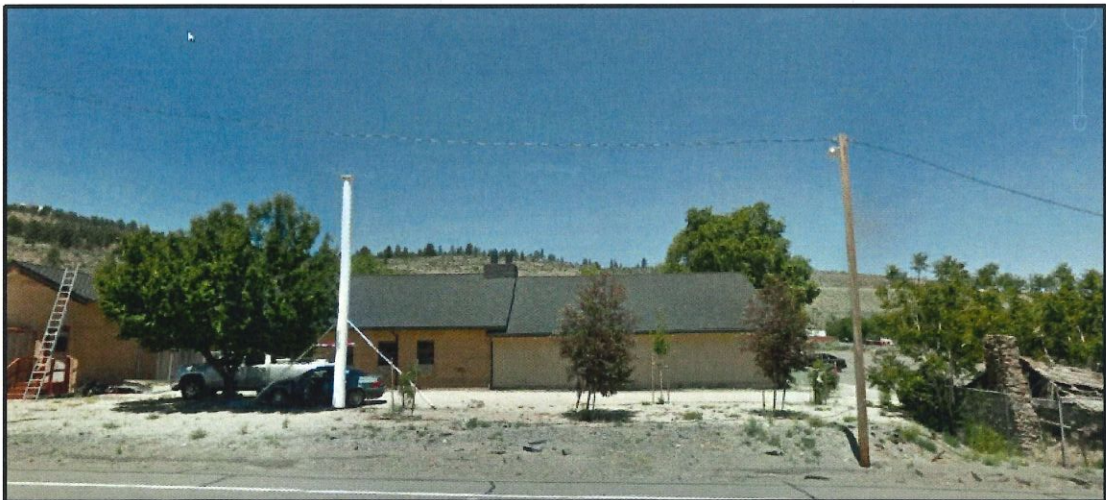
**Photo 2: Curtis and Sons Parcel, Looking Southeast**



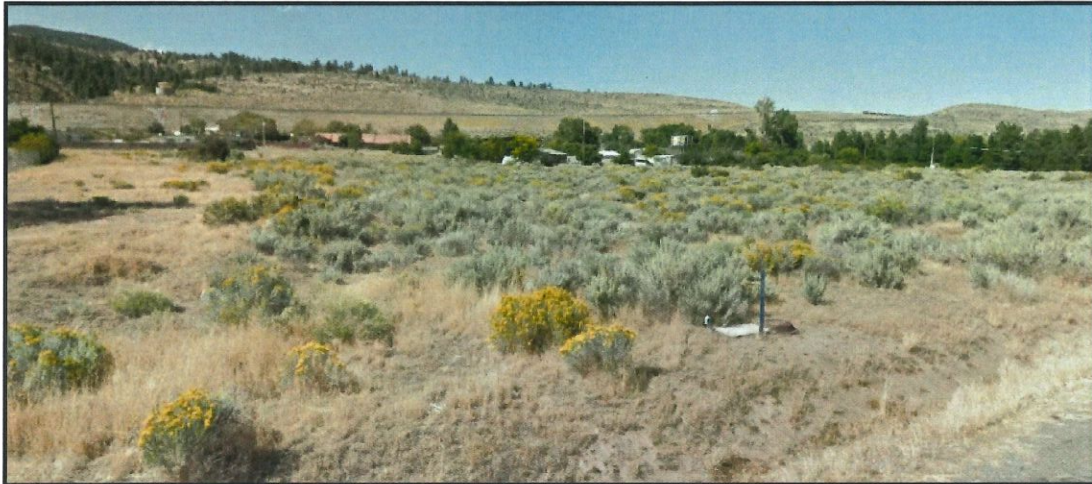
**Photo 3: Development directly Northeast, Adjoining the Curtis & Sons Parcel**



**Photo 4: Development directly Southwest, Adjoining the Curtis and Sons Parcel**



**Photo 5: Development directly across Old Highway 395, North of the parcel**



**Photo 6: Undeveloped land located South of the proposed development**

Attached as Exhibit A is the proposed site plan specifications prepared in accordance with the Special Use Permit Submittal Requirements, Item 6. Following is a summary of the requirements included, and those that are not applicable:

6a) The lot size is 1.6 acres and the mapping has been developed with scale as required.

6b) Proposed buildings are included for reference with all distances detailed. No existing building are on the parcel at this time.

6c) There are no wells on this site, and the proposed septic sewer connection is provided.

6d) Parking, lighting, and landscaping is included in the drawing with design details attached as Exhibit D. Native vegetation will be retained as much as possible in areas where feasible during construction.

6e) No roadway development is occurring as part of this development.

6f) Property boundaries and bearings are included in the mapping. The northernmost corner of the property is located at  $39^{\circ}19'28.12''N$ ,  $119^{\circ}48'42.14''W$ .

6g) Exhibit B has been prepared and is included to reflect the area topography. In general the area is flat.

6h) The site has no prominent landmarks, rock outcroppings, or natural foliage. There is one existing tree on site that will likely be removed. All other vegetation on the site is typical sage and rabbit brush.

6i) Per the FEMA mapping, the site is not within any annual flooding zone. See Exhibit C.

6j) Adjoining street is labeled and included.

6k) A vicinity map is included on the cover page of Exhibit A.

6l) Date and scale of each drawing is included.

6m) Not applicable, as this property is less than 5,500 feet above sea level and snow storage will not be required.

6n) There are no known areas of potential hazard. Earthquake mapping was reviewed and no faults are located within 300 feet of the parcel boundaries. The area as discussed above is not within flood zoning.

6o) The parcel is flat as reflected in the topography.

6p) No wetland or floodplains are located within the development parcel or within close proximity to the site.

6q) A note by the project engineer indicating compliance with all applicable provisions of the Washoe County Development Code has been included in previous submittal.

6r) Not applicable, there are no critical or sensitive buffer zones within 3,000 feet of this property.

#### **GRADING**

Items 7 and 8 of the Special Use Permit Submittal Requirements have been covered in Exhibit H – Grading Plan.

#### **TRAFFIC IMPACT REPORT**

This development will NOT generate more than 80 weekday peak hour trips. It is anticipated that the use of this site will require 12 to 15 weekday peak hour trips on average. As such, a Traffic Impact Report is not required for this application.

#### **LANDSCAPING**

The landscaping plans have been included herein as Exhibit D.



## **SIGNAGE**

The proposed signage plan includes one sign, with dimensions of 3 feet wide and 2 feet high. The proposed sign will be installed on the fence and the top of the sign will be at an elevation of 5 feet above finish grade. All signs will not be illuminated. Sign location is annotated in Exhibit A and will be on the northwest fence, adjacent to the property entrance. Exhibit E shows typical sign location and elevation.

## **LIGHTING**

A lighting plan has been developed to meet the requirements of the Washoe County Development Code, section 110.410.25. Parking lot lighting will consist of two (2) high-pressure sodium vapor luminaries. All lighting will be dark sky compliant per South Valleys Master Plan requirements. The luminaries will be wall-mounted at a height of approximately ten feet above ground level and will provide an average illumination level of 3.46 foot-candles throughout the parking lot. The lighting study can be found in Exhibit F.

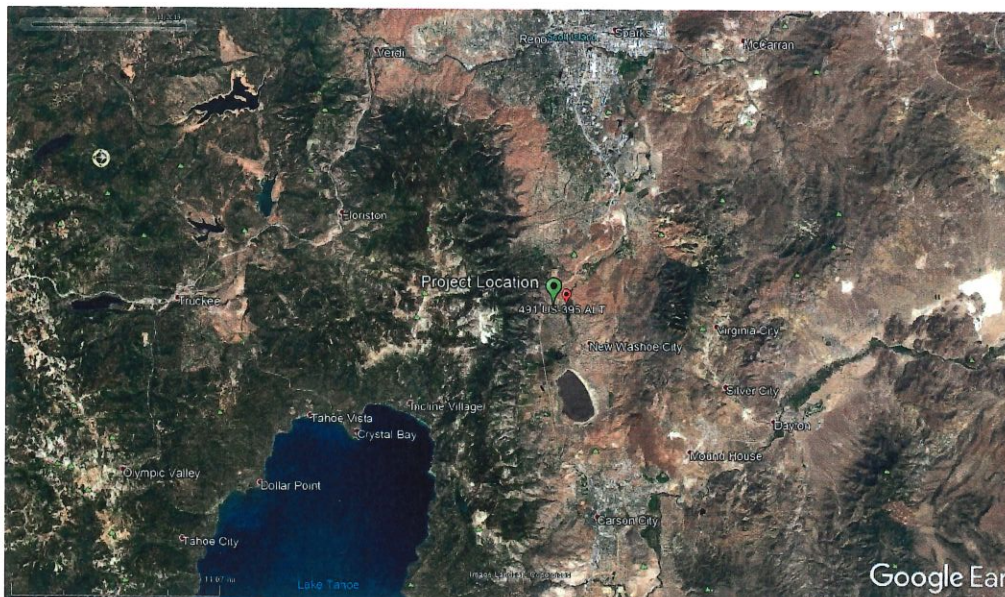
## **BUILDING ELEVATIONS**

The building elevation plans have been included herein as Exhibit G.

# EXHIBIT A

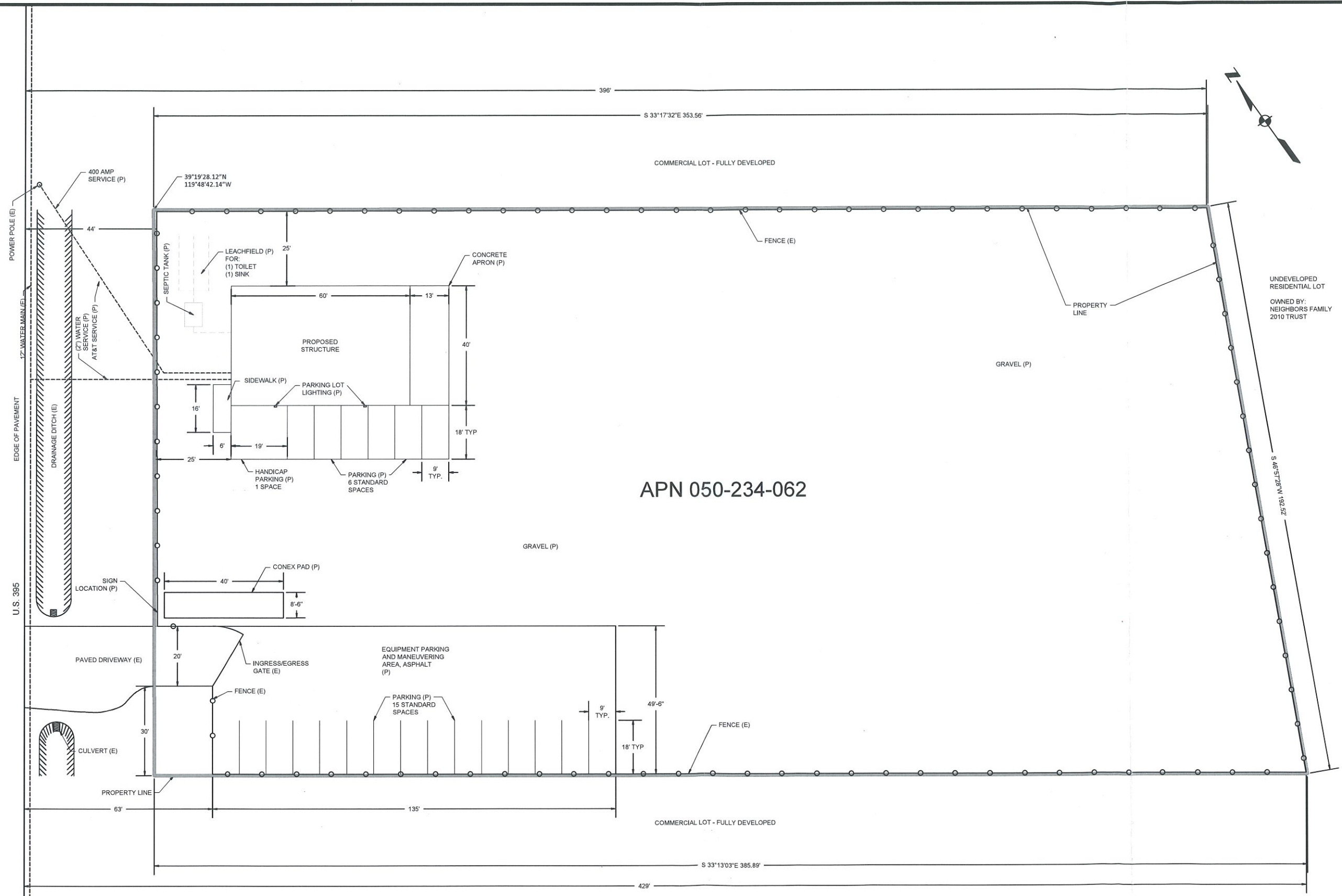
## Curtis and Sons Construction Inc. Special Use Permit Application

### Proposed Site Plan



**Photo 7: Google Image showing vicinity of parcel location**

Z:\Curtis & Sons\Construction SUP Support\_2019\APN 050-234-062 - Proposed Site Plan 120419.dwg <kay/la> 06Dec19-10:13



APN 050-234-062

SCALE: 1/16" = 1'-0"

**TRISAGE CONSULTING**  
5418A Longley Lane  
Reno, NV 89511  
(775) 336-1300

**CURTIS & SONS CONSTRUCTION INC.**

| Rev. | Date     | Description                                    | By  | Appr. |
|------|----------|--|-----|-------|
| A    | 10/01/19 | SPECIAL USE PERMIT APPLICATION                 | JKL | KLD   |
| B    | 11/13/19 | REVISED PER COUNTY COMMENTS                    | JKL | KLD   |
| C    | 12/01/19 | ADDED EQUIPMENT PARKING DIMENSIONS & CONEX PAD | JKL | KLD   |

CURTIS AND SONS CONSTRUCTION INC.  
470 OLD U.S. HIGHWAY 395, WASHOE VALLEY  
**PROPOSED SITE PLAN**  
WASHOE COUNTY  
WASHOE CITY, NEVADA

CSC-A-000  
SHEET 1 OF 1  
REVISION: C

# EXHIBIT B

Curtis and Sons Construction Inc.  
Special Use Permit Application

Area Topography

# APN 050-234-62: Topography



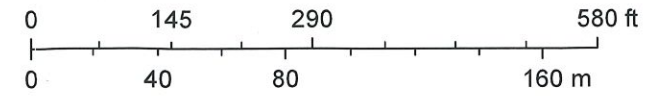
September 19, 2019

polygonLayer

Override 1

APN

1:2,257



Washoe County  
 Washoe County GIS  
 Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,  
 CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User  
 Community

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.

# EXHIBIT C

Curtis and Sons Construction Inc.  
Special Use Permit Application

Flood Boundary

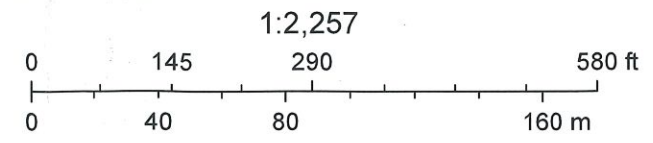
# APN 050-234-62: Flood Boundary



September 19, 2019

- polygonLayer**
- Override 1
- Flood Hazard Zones**
- 1% Annual Chance Flood Hazard
  - Regulatory Floodway
  - Special Floodway
  - Area of Undetermined Flood Hazard

- 0.2% Annual Chance Flood Hazard
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Risk Due to Levee
- APN



Washoe County  
 Washoe County GIS  
 Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

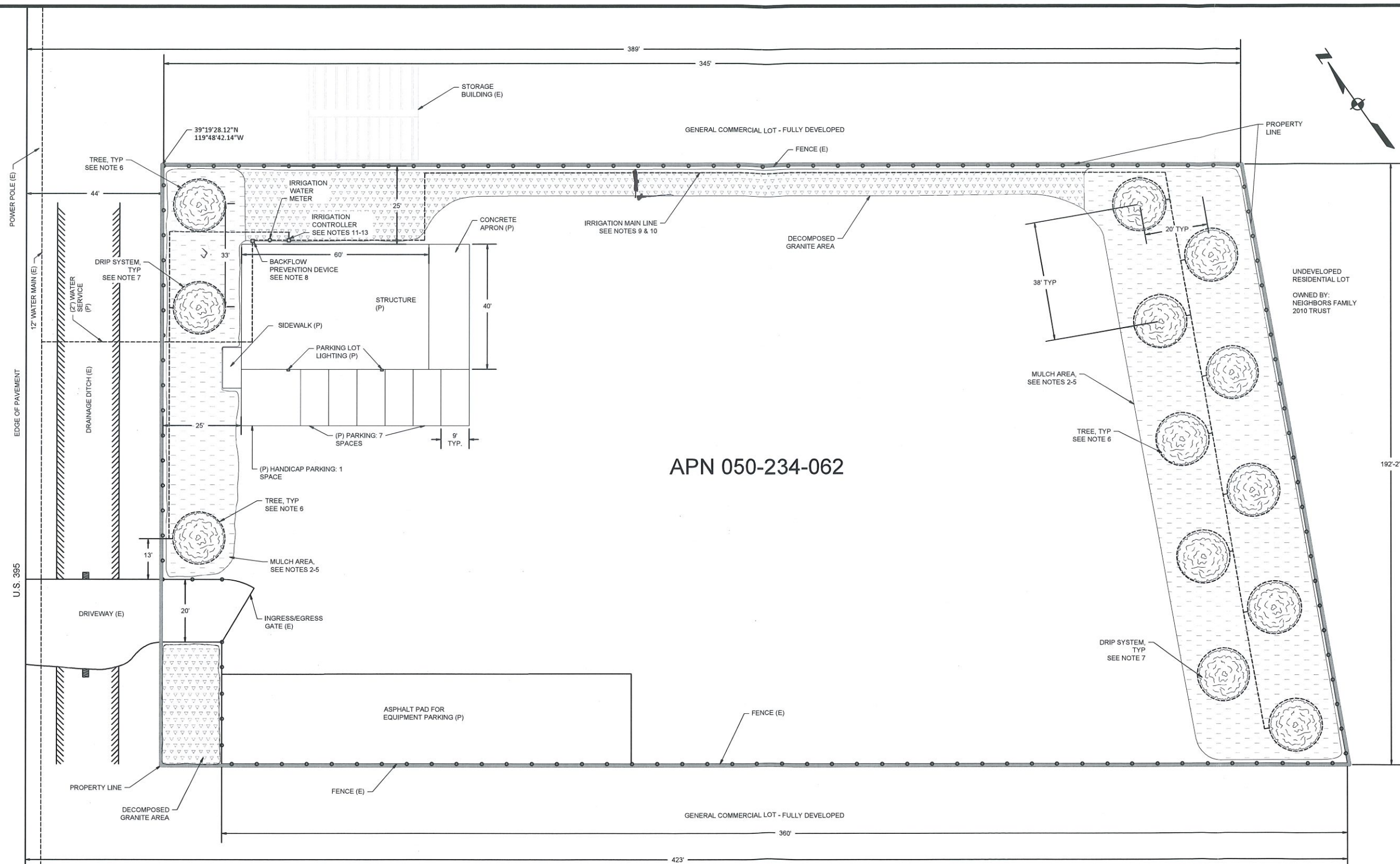
# EXHIBIT D

Curtis and Sons Construction Inc.  
Special Use Permit Application

Landscaping Plan



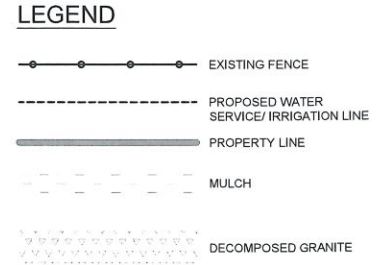
Z:\Curtis & Sons\Construction\Sup\_Support\_2019\APN\_050-234-062 - Proposed Landscaping Plan.dwg -kayla> 11Oct19-14:29



APN 050-234-062

| PROPOSED TREES |                 |                |            |
|----------------|-----------------|----------------|------------|
| COMMON NAME    | SCIENTIFIC NAME | TOTAL PROPOSED | TYPE       |
| AUSTRIAN PINE  | PINUS NIGRA     | 13             | CONIFEROUS |

- NOTES:**
- SITE IS CURRENTLY GRADED
  - MULCH LAYER SHALL BE 3" MINIMUM
  - MULCH SHALL CONSIST OF WOOD PRODUCTS, STONE, AND OTHER NON-TOXIC RECYCLABLE MATERIALS
  - NON-POURUS MATERIALS, SUCH AS PLASTIC SHEETS, SHALL NOT BE PLACED UNDER THE MULCH
  - THE USE OF WOVEN TYPES OF GEOFABRIC WEED BARRIERS IS REQUIRED IN ALL PLANTER AREAS NOT DEVOTED TO TURF OR MEADOW PLANTED AREAS
  - AT LEAST ONE-HALF OF THE CONIFEROUS TREES SHALL BE AT LEAST SEVEN (7) FEET IN HEIGHT, AND THE REMAINDER MUST BE AT LEAST FIVE (5) FEET IN HEIGHT AT THE TIME OF PLANTING
  - DRIP SYSTEMS SHALL BE DESIGNED TO BE EXPANDABLE TO ADEQUATELY WATER MATURE PLANTS
  - BACKFLOW PREVENTION DEVICE SHALL BE REDUCED PRESSURE TYPE
  - MAINLINE PIPING SHALL BE INSTALLED EIGHTEEN INCHES UNDERGROUND FOR CONSTANT PRESSURE IRRIGATION LINES
  - SCHEDULE 40 PVC IS REQUIRED FOR ALL PRESSURE LINES AND AS SLEEVING UNDER ALL PAVED AREAS
  - CONTROLLED IRRIGATION SYSTEMS SHALL BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF IRRIGATING HIGH WATER DEMAND AREAS ON A DIFFERENT SCHEDULE FROM LOW WATER DEMAND AREAS
  - CONTROLLERS MUST HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM ABOVE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT RESTRICTIONS
  - MOISTURE SENSOR AND/OR RAIN SHUT-OFF EQUIPMENT IS ENCOURAGED TO AVOID IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL. SUCH EQUIPMENT SHALL HAVE THE CAPABILITY TO OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.



SCALE: 1/16" = 1'-0"

**TRISAGE CONSULTING**  
5418A Longley Lane  
Reno, NV 89511  
(775) 336-1300

**CURTIS & SONS CONSTRUCTION INC.**

| Rev | Date    | Description                    | By  | Chkd | Apprd |
|-----|---------|--------------------------------|-----|------|-------|
| A   | 10/2/19 | SPECIAL USE PERMIT APPLICATION | JKL |      |       |

CURTIS AND SONS CONSTRUCTION INC.  
470 OLD U.S. HIGHWAY 395, WASHOE VALLEY  
**PROPOSED LANDSCAPING PLAN**  
WASHOE COUNTY  
WASHOE CITY, NEVADA

CSC-A-001  
SHEET 1 OF 1  
REVISION: A

# EXHIBIT E

Curtis and Sons Construction Inc.  
Special Use Permit Application

Signage Plan

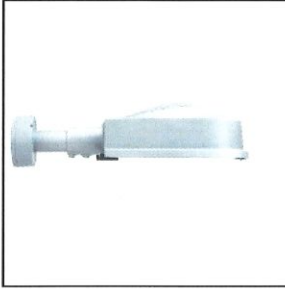
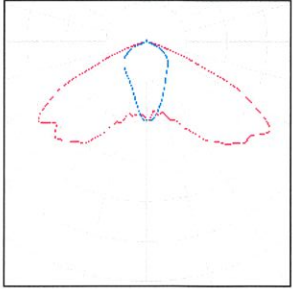


*Figure 1: Shows typical sign size and finish*



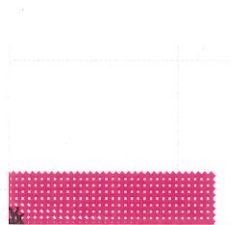
*Figure 2: Proposed sign location and elevation*

## Project 0

| Quantity | Luminaire (Luminous emittance)  |  |   |
|----------|---|--|---|
| 2        | <p>Unilamp Co., Ltd. - 7651-9-3-621-XX BRUDA - Wall Light<br/>Luminous emittance 1<br/>Fitting: 1xHST-MF 70W<br/>Light output ratio: 61.81%<br/>Lamp luminous flux: 6600 lm<br/>Luminaire luminous flux: 4080 lm<br/>Power: 83.0 W<br/>Luminous efficacy: 49.2 lm/W</p> <p>Colorimetric data<br/>1xHST-MF 70W: CCT 1690 K, CRI 36</p> |  |  |

Total lamp luminous flux: 13200 lm, Total luminaire luminous flux: 8160 lm, Total Load: 166.0 W, Luminous efficacy: 49.2 lm/W

## Calculation surface 1 / Perpendicular illuminance



Light loss factor: 0.80

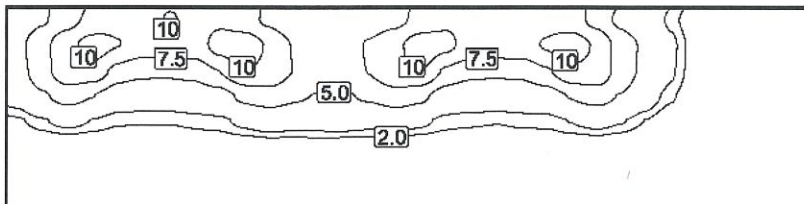
Calculation surface 1: Perpendicular illuminance (Grid)

Light scene: Light scene 1

Average: 3.46 fc, Min: 0.020 fc, Max: 11.3 fc, Mean/Min: 176, Max/Min: 572

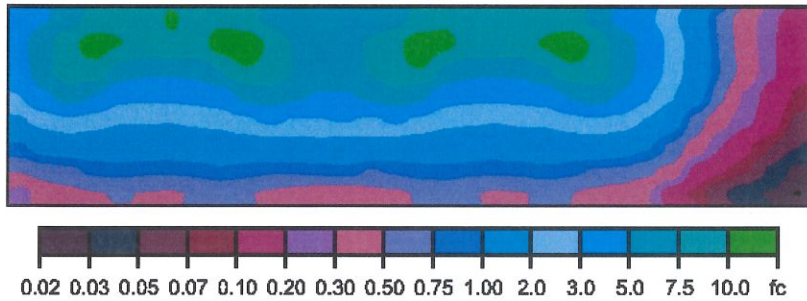
Height: 0.000 ft

Isolines [fc]



Scale: 1 : 200

**False colors [fc]**



Scale: 1 : 200

**Value grid [fc]**

|      |      |      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|------|------|
| 3.5  | 8.4  | 10   | 8.6  | 5.3  | 6.7  | 9.2  | 9.1  | 4.4  | 1.4  | 0.22 |
| 4.4  | 11   | 9.4  | 11   | 6.6  | 9.4  | 9.2  | 10   | 6.3  | 1.6  | 0.21 |
| 4.1  | 9.1  | 6.3  | 9.8  | 6.3  | 9.3  | 6.6  | 7.1  | 6.4  | 1.6  | 0.22 |
| 5.0  | 6.1  | 6.3  | 6.7  | 4.8  | 6.4  | 6.3  | 6.7  | 4.8  | 1.3  | 0.16 |
| 1.9  | 2.3  | 2.1  | 2.6  | 3.0  | 3.2  | 2.1  | 2.2  | 2.0  | 0.63 | 0.13 |
| 0.97 | 1.3  | 1.3  | 1.3  | 1.3  | 1.3  | 1.4  | 1.4  | 1.3  | 0.41 | 0.08 |
| 0.52 | 0.61 | 0.61 | 0.67 | 0.64 | 0.73 | 0.63 | 0.60 | 0.71 | 0.13 | 0.03 |
| 0.25 | 0.49 | 0.49 | 0.51 | 0.39 | 0.47 | 0.51 | 0.52 | 0.36 | 0.09 | 0.03 |

Scale: 1 : 200

**Value chart [fc]**

|        |         |         |         |         |         |         |         |         |         |         |         |         |        |        |        |        |       |
|--------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|--------|--------|--------|--------|-------|
| ft     | -35.359 | -33.078 | -30.797 | -28.515 | -26.234 | -23.953 | -21.672 | -19.390 | -17.109 | -14.828 | -12.547 | -10.266 | -7.984 | -5.703 | -3.422 | -1.141 | 1.141 |
| 7.875  | 3.53    | 4.70    | 6.43    | 8.36    | 9.43    | 8.78    | 10.2    | 9.07    | 9.53    | 8.65    | 6.87    | 5.46    | 5.32   | 5.40   | 5.84   | 6.70   | 8.33  |
| 5.625  | 4.43    | 6.68    | 9.27    | 10.8    | 10.1    | 8.85    | 9.35    | 9.03    | 10.9    | 11.3    | 9.66    | 7.26    | 6.60   | 6.60   | 7.79   | 9.39   | 11.2  |
| 3.375  | 4.08    | 6.63    | 9.05    | 9.10    | 6.47    | 5.55    | 5.51    | 5.80    | 7.56    | 9.82    | 9.19    | 7.42    | 6.26   | 6.18   | 7.67   | 9.33   | 9.95  |
| 1.125  | 3.02    | 4.64    | 6.06    | 5.09    | 3.42    | 3.29    | 3.30    | 3.48    | 3.90    | 5.68    | 6.31    | 5.49    | 4.85   | 4.83   | 5.49   | 6.40   | 5.63  |
| -1.125 | 1.90    | 2.42    | 2.87    | 2.49    | 2.10    | 2.09    | 2.07    | 2.19    | 2.30    | 2.80    | 3.21    | 2.94    | 2.99   | 3.07   | 2.85   | 3.19   | 2.81  |
| -3.375 | 0.97    | 1.23    | 1.32    | 1.33    | 1.38    | 1.33    | 1.32    | 1.40    | 1.47    | 1.47    | 1.55    | 1.57    | 1.64   | 1.58   | 1.58   | 1.49   | 1.40  |
| -5.625 | 0.52    | 0.63    | 0.69    | 0.81    | 0.87    | 0.81    | 0.81    | 0.84    | 0.94    | 0.87    | 0.79    | 0.80    | 0.84   | 0.88   | 0.74   | 0.79   | 0.87  |
| -7.875 | 0.25    | 0.36    | 0.44    | 0.49    | 0.51    | 0.49    | 0.49    | 0.51    | 0.54    | 0.51    | 0.48    | 0.44    | 0.39   | 0.34   | 0.44   | 0.47   | 0.51  |

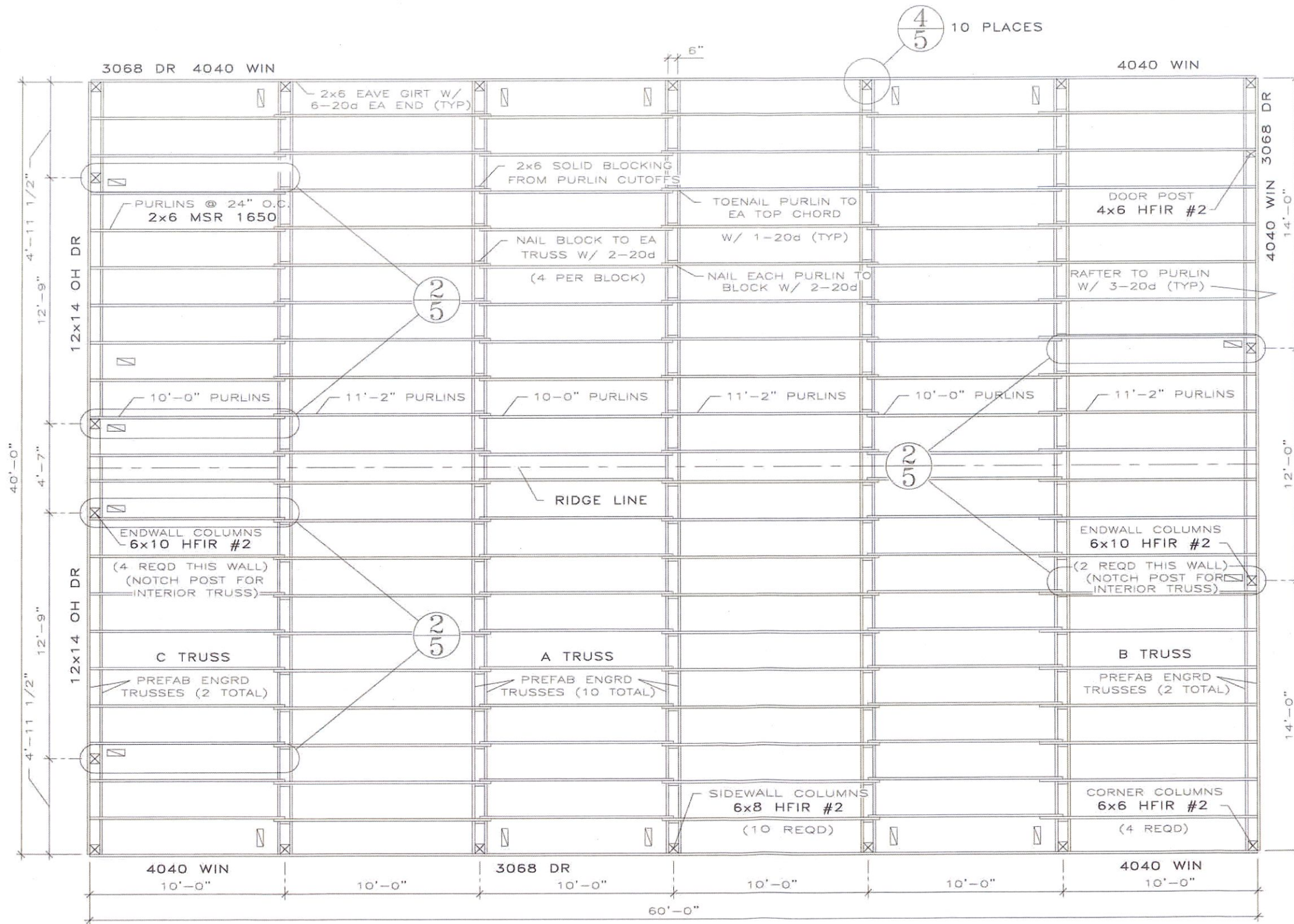
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|--------|-------|-------|-------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|
| ft     | 3.422 | 5.703 | 7.984 | 10.266 | 12.547 | 14.828 | 17.109 | 19.390 | 21.672 | 23.953 | 26.234 | 28.515 | 30.797 | 33.078 | 35.359 |
| 7.875  | 9.64  | 9.20  | 9.60  | 9.29   | 9.09   | 8.72   | 6.55   | 4.40   | 3.46   | 2.25   | 1.42   | 0.65   | 0.38   | 0.22   | 0.13   |
| 5.625  | 10.5  | 9.19  | 9.18  | 9.10   | 10.3   | 11.2   | 9.66   | 6.25   | 4.58   | 2.72   | 1.59   | 0.69   | 0.39   | 0.21   | 0.12   |
| 3.375  | 7.00  | 5.65  | 5.49  | 5.63   | 7.11   | 9.31   | 9.08   | 6.42   | 4.38   | 2.62   | 1.58   | 0.74   | 0.41   | 0.22   | 0.12   |
| 1.125  | 3.66  | 3.34  | 3.28  | 3.39   | 3.70   | 5.22   | 6.07   | 4.83   | 3.22   | 2.13   | 1.28   | 0.54   | 0.28   | 0.16   | 0.092  |
| -1.125 | 2.23  | 2.14  | 2.06  | 2.17   | 2.18   | 2.56   | 2.91   | 2.59   | 1.98   | 1.36   | 0.63   | 0.36   | 0.23   | 0.13   | 0.068  |
| -3.375 | 1.45  | 1.36  | 1.32  | 1.37   | 1.43   | 1.41   | 1.41   | 1.28   | 1.08   | 0.71   | 0.41   | 0.20   | 0.11   | 0.075  | 0.052  |
| -5.625 | 0.90  | 0.83  | 0.80  | 0.82   | 0.90   | 0.82   | 0.73   | 0.71   | 0.57   | 0.43   | 0.15   | 0.11   | 0.078  | 0.045  | 0.026  |
| -7.875 | 0.54  | 0.51  | 0.48  | 0.49   | 0.52   | 0.50   | 0.46   | 0.38   | 0.32   | 0.13   | 0.089  | 0.054  | 0.035  | 0.028  | 0.020  |

# EXHIBIT G

Curtis and Sons Construction Inc.  
Special Use Permit Application

Building Elevations





10-2-19  
SHT 1 A 7

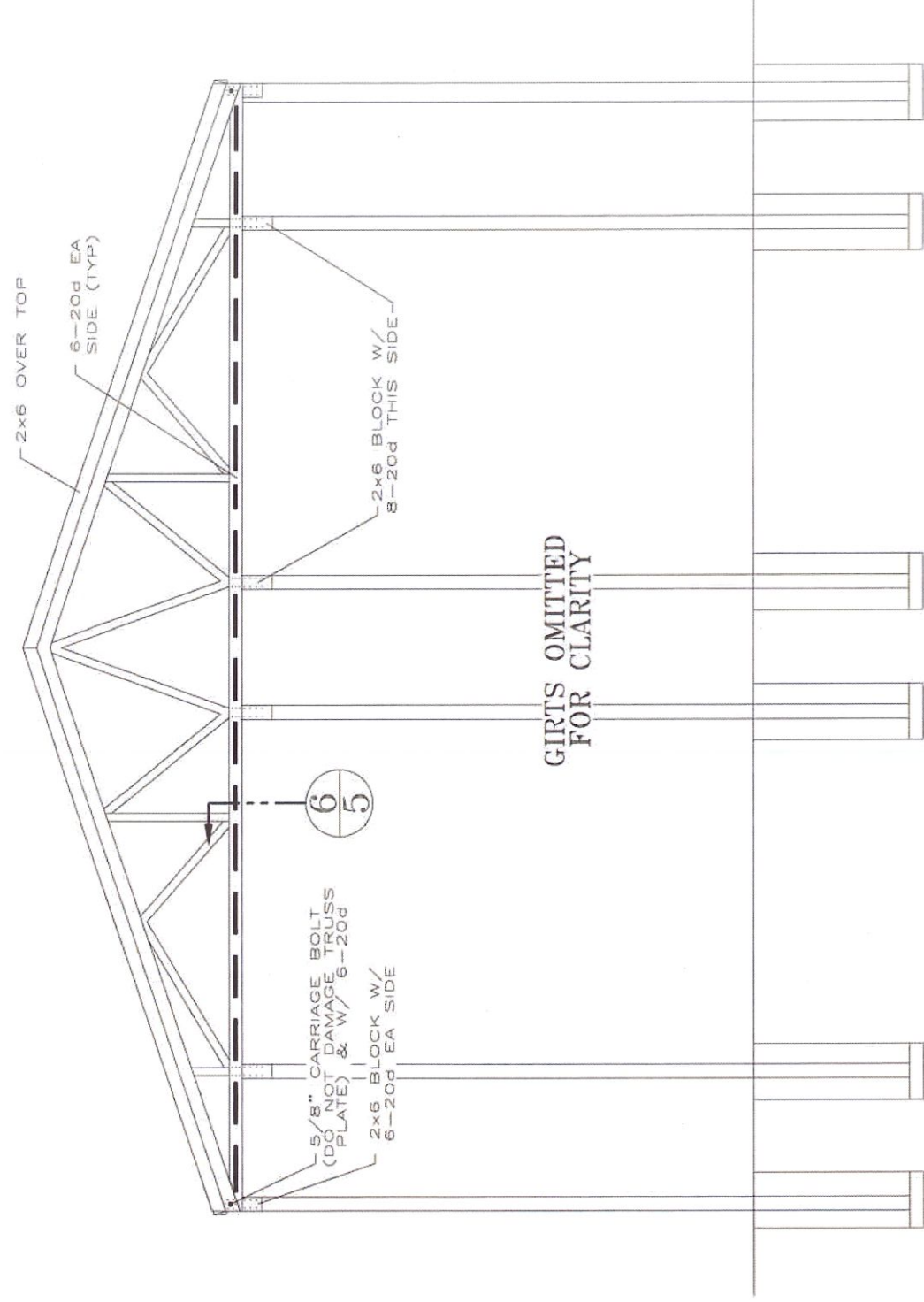


|  |  |             |                |                |              |
|--|--|-------------|----------------|----------------|--------------|
| <b>M &amp; W BUILDING SUPPLY</b><br>22175 S. HWY. 99E<br>CANBY, OREGON 97013<br>(503) 263-6953<br>(503) 266-7102 (FAX) |  | SCALE: NONE | RDD/RO: 8/2/19 | REV-1: 9/17/19 | KIT: MV19173 |
|--|--|-------------|----------------|----------------|--------------|

**HOYLE CONST. FOR CURTIS & SONS**  
 490 OLD HWY 395 N.  
 RENO, NEVADA  
 COUNTY: WASHOE

ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE. OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES, SLAB & HAIRPINS & REINFORCEMENT BY OTHERS. THIS MIX THICKNESS, C.J.'S & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT.

|  |
|--|
| <b>M &amp; W BUILDING SUPPLY</b><br>CUSTOM POLE BUILDINGS<br>40' WIDE x 60' LONG x 19' EAVE<br>ROOF LOAD: LIVE 30 PSF<br>DEAD LOAD: 3 PSF<br>WIND LOAD: 130MPH EXP. C<br>SEISMIC ZONE: D<br>FOUNDATION PRESSURE: 1500 PSF<br>LAT. SOIL BEARING: 100 PSF<br>BUILDING DESIGN: 2018 I.B.C.<br>CLOSED BUILDING |
|--|



GIRTS OMITTED FOR CLARITY

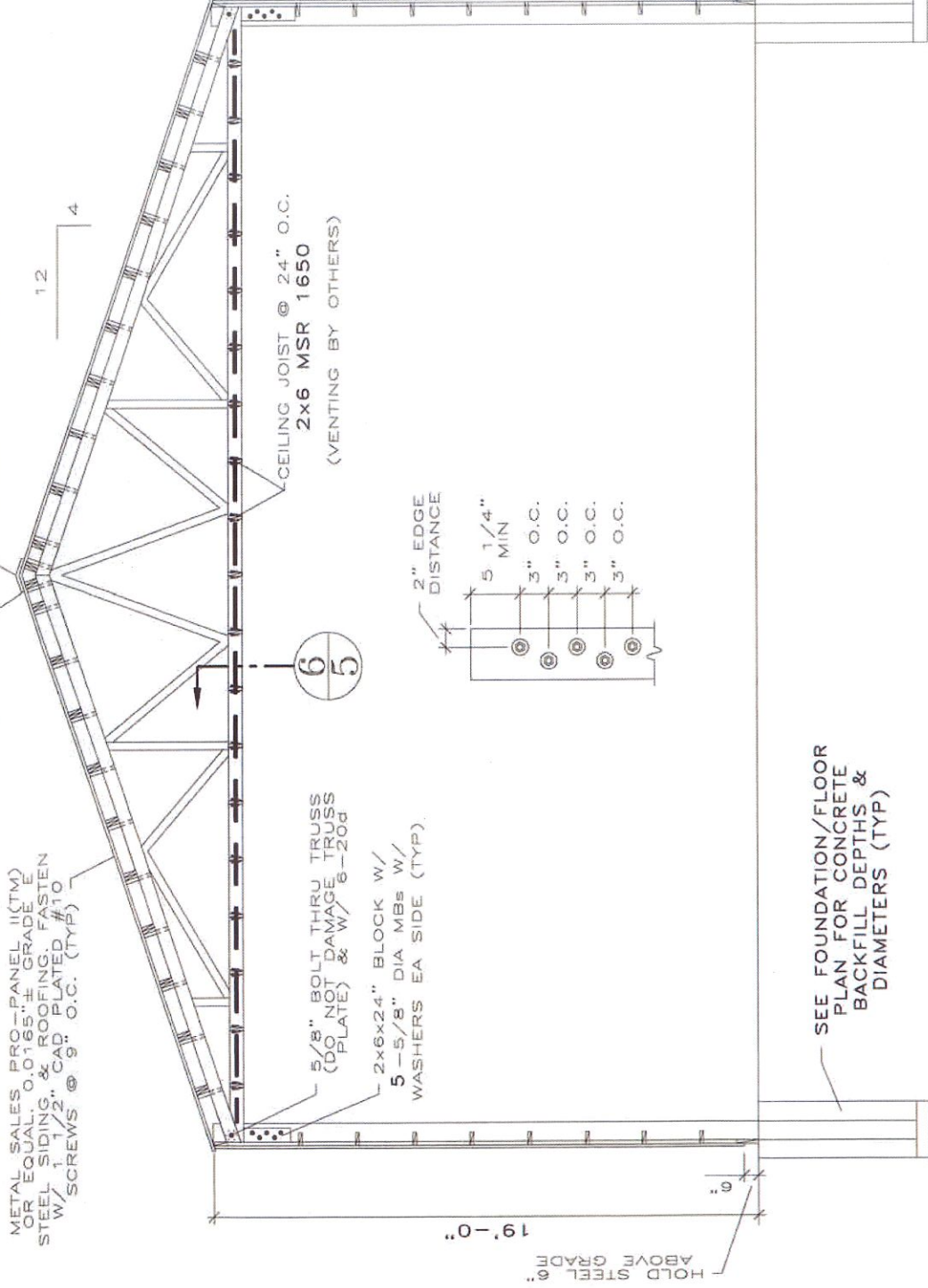
**ENDWALL W/ OH DOORS**

**NOTES:**

SEE TRUSS DRAWINGS FOR DOUBLE TRUSS BLOCKING REQUIREMENTS AND WEB BLOCKING LOCATIONS, IF APPLICABLE.

METAL SALES PRO-PANEL II(TM) OR EQUAL @ 0.0165" GRADE OR STEEL SIDING & ROOFING FASTEN W/ 1 1/2" CAD PLATED #10 SCREWS @ 9" O.C. (TYP)

FOAM CLOSURES  
RIDGE CAP FASTEN W/ STITCH SCREWS AT ALTERNATE RIBS



SEE FOUNDATION/FLOOR PLAN FOR CONCRETE BACKFILL DEPTHS & DIAMETERS (TYP)

**CROSS SECTION**

**M & W BUILDING SUPPLY**  
CUSTOM POLE BUILDINGS  
40' WIDE x 60' LONG x 19' EAVE  
ROOF LOAD: LIVE 30 PSF  
DEAD LOAD: 3 PSF  
WIND LOAD: 130 MPH EXP: C  
SEISMIC ZONE: D  
FOUNDATION PRESSURE: 1500 PSF  
LAT. SOIL BEARING: 100 PSF  
BUILDING DESIGN: 2018 I.B.C.  
CLOSED BUILDING

**HOYLE CONST. FOR CURTIS & SONS**  
490 OLD HWY 395 N.  
RENO, NEVADA  
COUNTY: WASHOE

ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB & HAIRPINS SHOWN FOR CONSTRUCTION ONLY. DESIGN MIX, THICKNESS, C/J'S, & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT

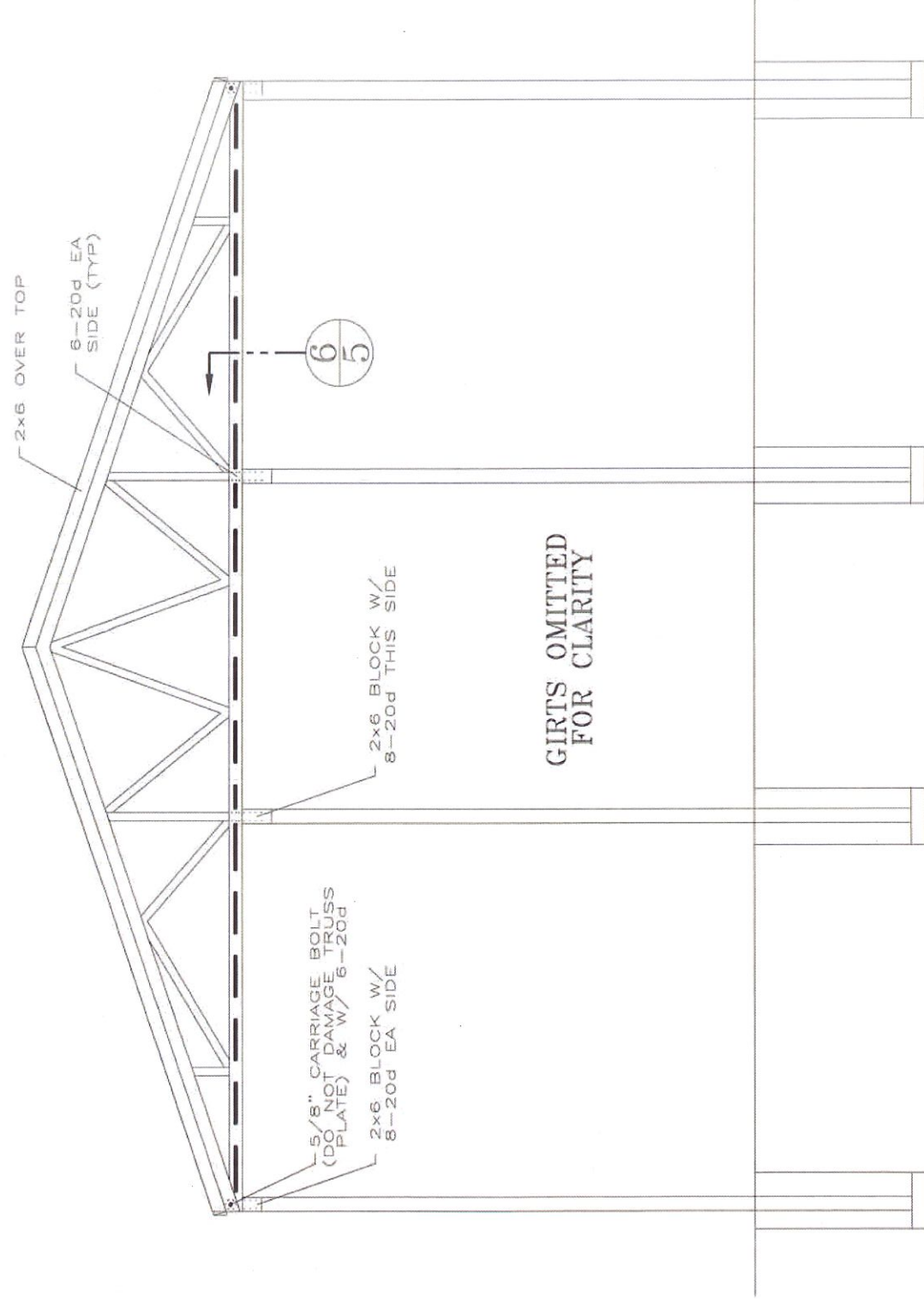


22175 S. HWY. 99E  
CANBY, OREGON 97013  
(503) 263-6953  
(503) 266-7102 (FAX)

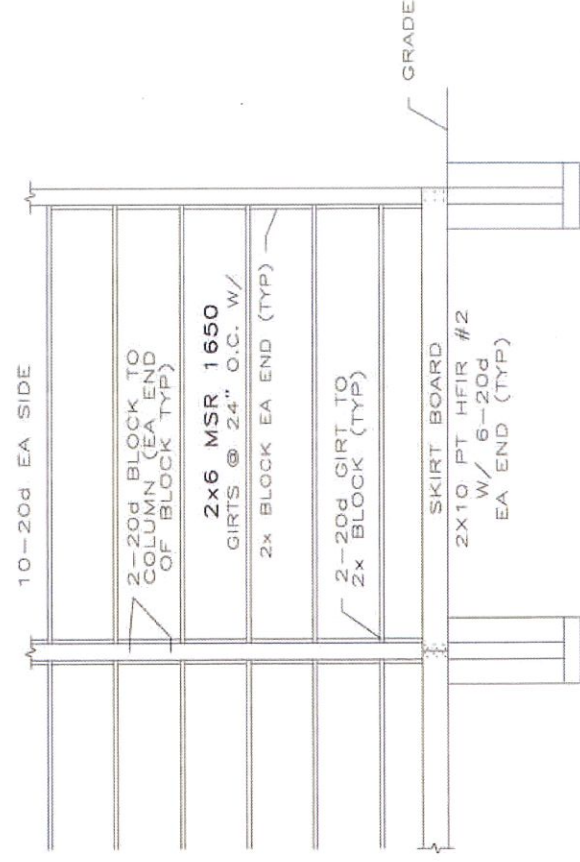
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| SCALE: | NONE    |
| RDD/RD | 8/2/19  |
| REV-1  | 9/17/19 |
| KIT    | MW19173 |



10-219  
SHT 2 of 7



ENDWALL W/O OH DOORS



WALL GIRT FRAMING

M & W BUILDING SUPPLY  
CUSTOM POLE BUILDINGS  
40' WIDE x 60' LONG x 19' EA VE  
ROOF LOAD: LIVE 30 PSF  
DEAD LOAD: 3 PSF  
WIND LOAD: 130MPH EXP. C  
SEISMIC ZONE: D  
FOUNDATION PRESSURE: 1500 PSF  
LAT. SOIL BEARING: 100 PSF  
BUILDING DESIGN: 2018 I.B.C.  
CLOSED BUILDING

HOYLE CONST. FOR CURTIS & SONS  
490 OLD HWY 395 N.  
RENO, NEVADA

COUNTY: WASHOE  
ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB & RAFTERS SHOWN FOR CONSTRUCTION ONLY. DESIGN MIX. THICKNESS, C.J.'S, & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT.



22175 S. HWY. 99E  
CANBY, OREGON 97013  
(503) 263-6953  
(503) 266-7102 (FAX)

|        |         |
|--------|---------|
| SCALE: | NONE    |
| RDD/RD | 8/2/19  |
| REV-1  | 9/17/19 |
| KIT    | MW19173 |

10.2.19

SHT 3 of 7



10.219  
SHT 4 of 7



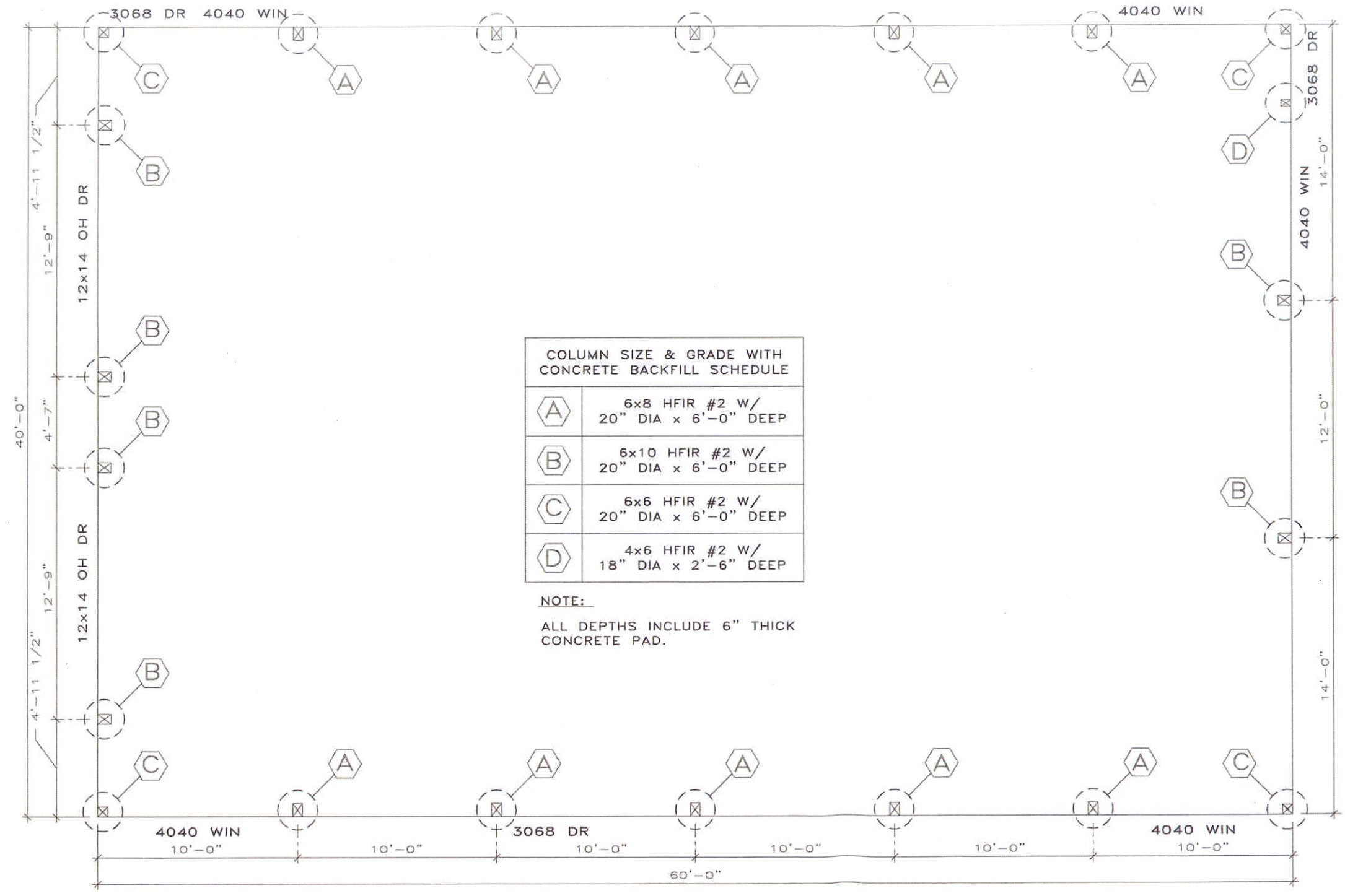
|  |         |
|--|---------|
|  |         |
| 22175 S. HWY. 99E<br>CANBY, OREGON 97013<br>(503) 263-6953<br>(503) 266-7102 (FAX) |         |
| SCALE:   | NONE    |
| RDD/RD:  | 8/2/19  |
| REV-1:   | 9/17/19 |
| KIT:   | MW19173 |

FOUNDATION/FLOOR PLAN

HOYLE CONST. FOR CURTIS & SONS  
 490 OLD HWY 395 N.  
 RENO, NEVADA

COUNTY: WASHOE  
 ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB & HAIRPINS SHOWN FOR CONSTRAINT ONLY. DESIGN MIX, THICKNESS, C.J.'s, & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT

|  |                                |
|--|--------------------------------|
| M & W BUILDING SUPPLY<br>CUSTOM POLE BUILDINGS | 40' WIDE x 60' LONG x 19' EAVE |
| ROOF LOAD: LIVE                                | 30 PSF                         |
| DEAD LOAD:                                     | 3 PSF                          |
| WIND LOAD: 130 MPH                             | EXP: C                         |
| SEISMIC ZONE:                                  | D                              |
| FOUNDATION PRESSURE:                           | 1500 PSF                       |
| LAT. SOIL BEARING:                             | 100 PSF                        |
| BUILDING DESIGN:                               | 2018 I.B.C.                    |
| CLOSED BUILDING                                |                                |



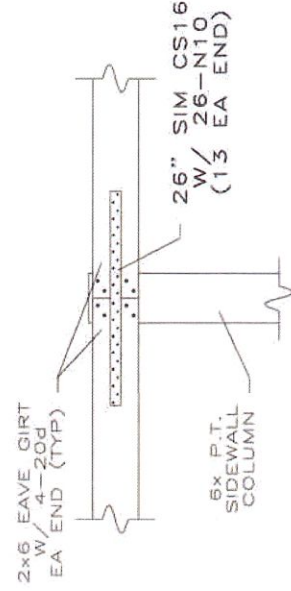
|     |   |
|-----|---|
| (A) | 6x8 HFIR #2 W/<br>20" DIA x 6'-0" DEEP  |
| (B) | 6x10 HFIR #2 W/<br>20" DIA x 6'-0" DEEP |
| (C) | 6x6 HFIR #2 W/<br>20" DIA x 6'-0" DEEP  |
| (D) | 4x6 HFIR #2 W/<br>18" DIA x 2'-6" DEEP  |

NOTE:  
 ALL DEPTHS INCLUDE 6" THICK CONCRETE PAD.

1. BUILDING PAD SHALL BE CONSTRUCTED ON LEVEL SOIL.
2. COLUMN FOOTING CONCRETE BACKFILL SHALL BE CAST AGAINST EXISTING CONSTRUCTURE SOIL BE SIZE AND SHAPE SHOWN ON DRAWINGS. (U.O.N.)
3. ALL WELDS SHALL BE MADE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES AND THE LATEST EDITION OF THE AISC.
4. BOLT HEADS & NUTS BEARING ON WOOD SHALL HAVE STD. PLATE WASHERS. NUTS SHALL BE ASTM A307. BOLT HOLE DIA. SHALL BE 1/16" LARGER THAN BOLT DIA.
5. STRUCTURAL STEEL SHAPES AND PLATES SHALL BE ASTM A36 UNLESS OTHERWISE NOTED.
6. REBAR SHALL BE GRADE 40 UNLESS OTHERWISE NOTED. (U.O.N.)
7. CONCRETE FOR FOOTINGS & SLABS f'c=2500 PSI
8. BEARING BLOCKS SHALL BE PRE-DRILLED PRIOR TO SETTING 20d NAILS
9. 20d NAILS SHALL BE GALV. BOX TYPE
10. BOLT HOLES SHALL BE DRILLED STRAIGHT AND PERPENDICULAR TO THE COLUMN FACE TO ASSURE FULL BOLT BEARING
11. SEE TRUSS DRAWINGS FOR DOUBLE TRUSS BLOCKING REQUIREMENTS
12. ALL 6x TIMBERS SHALL BE ROUGH SAWN AND TREATED TO 0.60 RET W/CCA TYPE C.
13. NO OTHER MATERIALS SHALL BE USED W/O M&W BUILDING APPROVAL

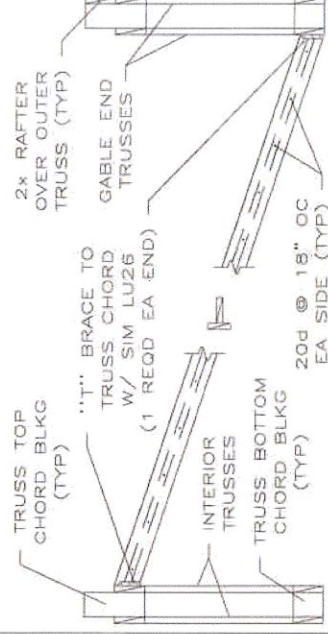
NOTES

1



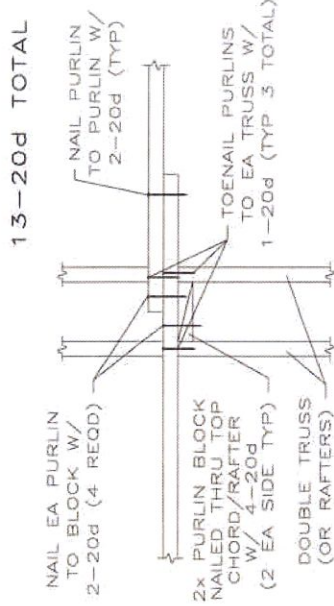
GIRT SPLICE

4



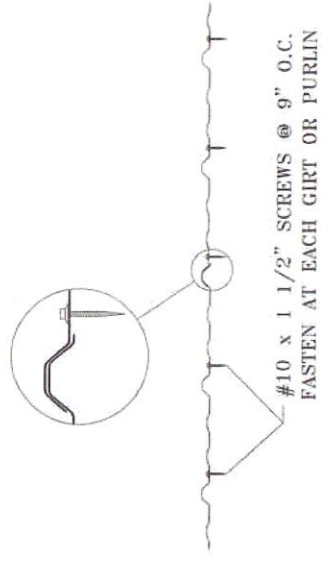
2x6 'T' BRACE KICKER

5



PURLIN BLOCK NAILING

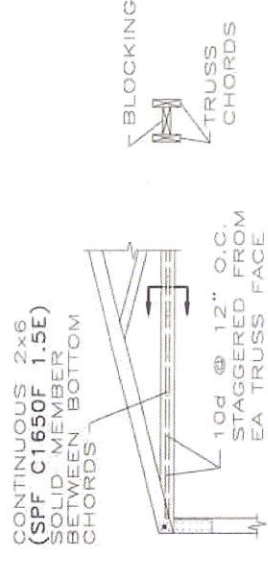
6



TYP. PANEL W/O EXTENDED LEG

3

N.T.S.



BOTTOM CHORD SOLID BLOCKING

6

**M & W BUILDING SUPPLY**  
CUSTOM POLE BUILDINGS  
40' WIDE x 60' LONG x 19' EAVE

ROOF LOAD: LIVE 30 PSF  
DEAD LOAD: 3 PSF  
WIND LOAD: 130MPH EXP. C  
SEISMIC ZONE: D  
FOUNDATION PRESSURE: 1500 PSF  
LAT. SOIL BEARING: 100 PSF  
BUILDING DESIGN: 2018 I.B.C.  
CLOSED BUILDING

**HOYLE CONST. FOR CURTIS & SONS**  
490 OLD HWY 395 N.  
RENO, NEVADA  
COUNTY: WASHOE

ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL PRODUCTION BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGINEER DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE. OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES, SLAB & RAFTERS SHOWN FOR CONSTRUCTION ONLY. DESIGN MIX, THICKNESS, C.J.'S, & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT

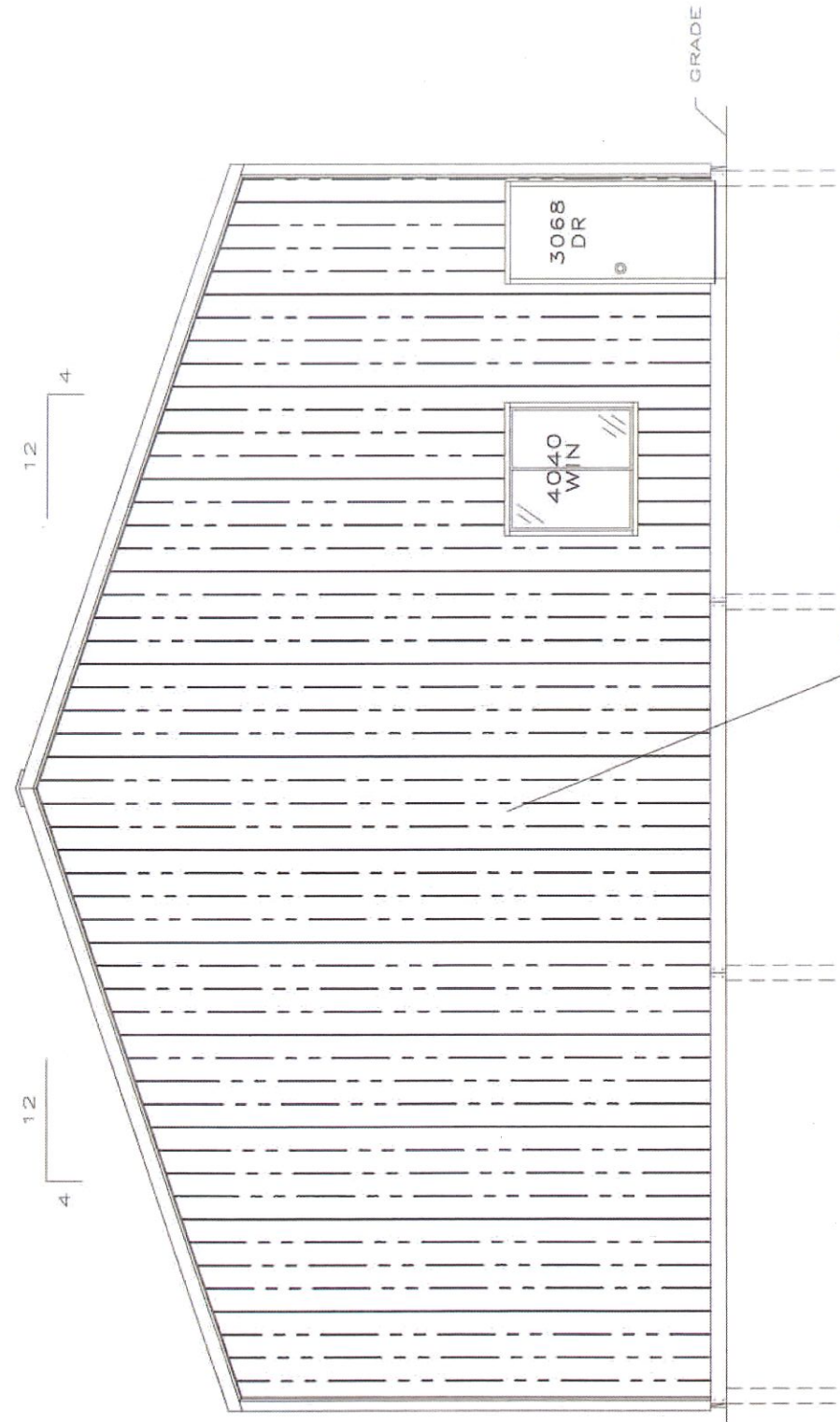


22175 S. HWY. 99E  
CANBY, OREGON 97013  
(503) 263-6953  
(503) 266-7102 (FAX)

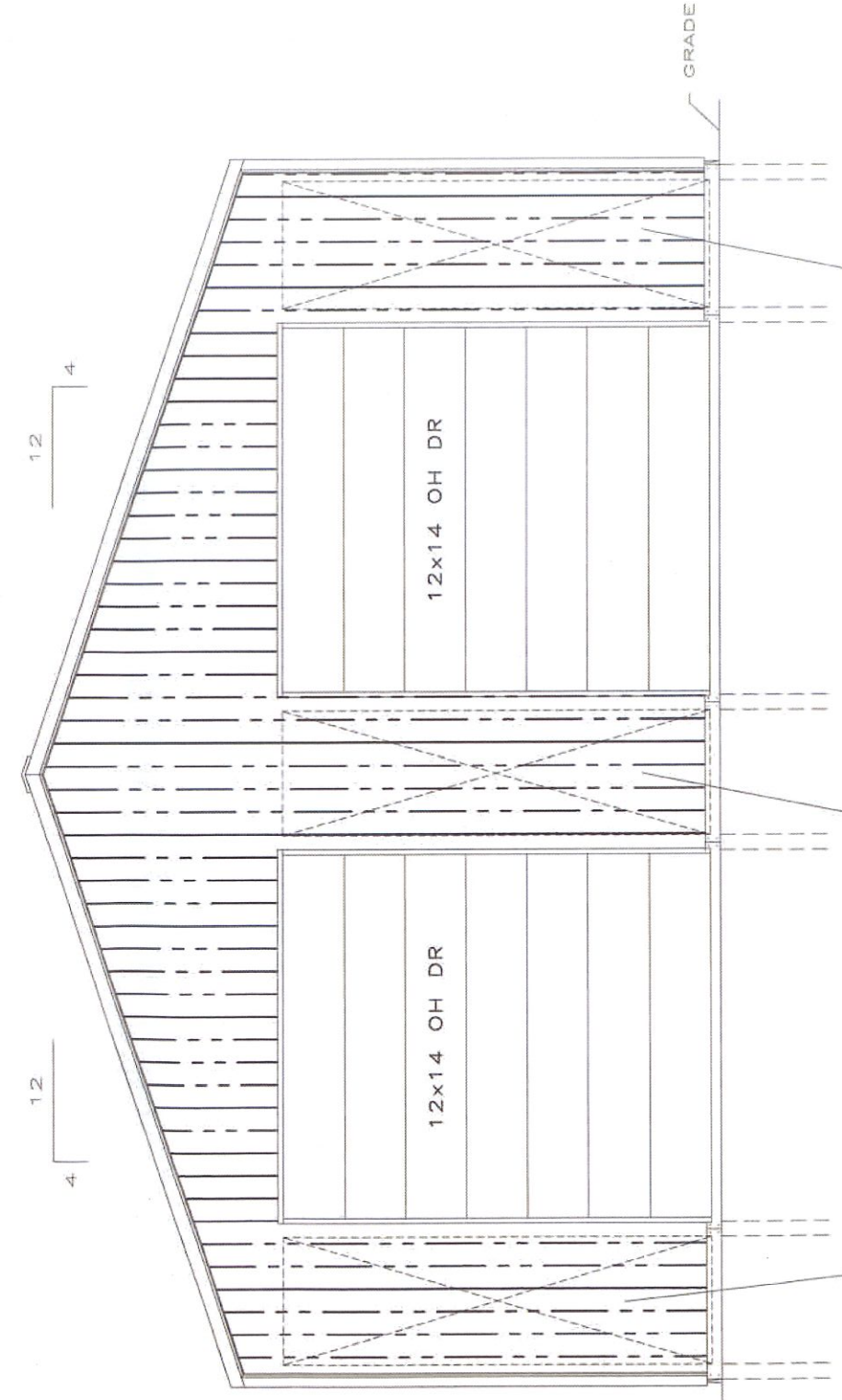
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|--------|---------|
| SCALE: | NONE    |
| RDD/RD | 8/2/15  |
| REV-1  | 9/17/19 |
| KIT    | MW19173 |



10-219  
SHEET 6 of 7



STITCH SCREWS PANEL EDGES W/  
#14x7/8" SCREWS @ 24" O.C.  
THIS ENDWALL ONLY



INSTALL 7/16" O.S.B. OR 1/2" CDX  
TO INSIDE FACE OF GIRTS TO TOP  
OF 14" OVERHEAD DOOR W/ 8d @  
3" O.C. EDGES & BOUNDARIES  
& @ 12" O.C. INTERIOR  
(W/ 2x BLOCKING AT PANEL EDGES)  
THESE 3 BAY ONLY

INSTALL 7/16" O.S.B. OR 1/2" CDX  
TO INSIDE FACE OF GIRTS TO TOP  
OF 14" OVERHEAD DOOR W/ 8d @  
3" O.C. EDGES & BOUNDARIES  
& @ 12" O.C. INTERIOR  
(W/ 2x BLOCKING AT PANEL EDGES)  
THESE 3 BAY ONLY

**M & W BUILDING SUPPLY**  
CUSTOM POLE BUILDINGS  
40' WIDE x 60' LONG x 19' EAVE  
ROOF LOAD: LIVE 30 PSF  
DEAD LOAD: 3 PSF  
WIND LOAD: 130MPH EXP: C  
SEISMIC ZONE: D  
FOUNDATION PRESSURE: 1500 PSF  
LAT. SOIL BEARING: 100 PSF  
BUILDING DESIGN: 2018 I.B.C.  
CLOSED BUILDING

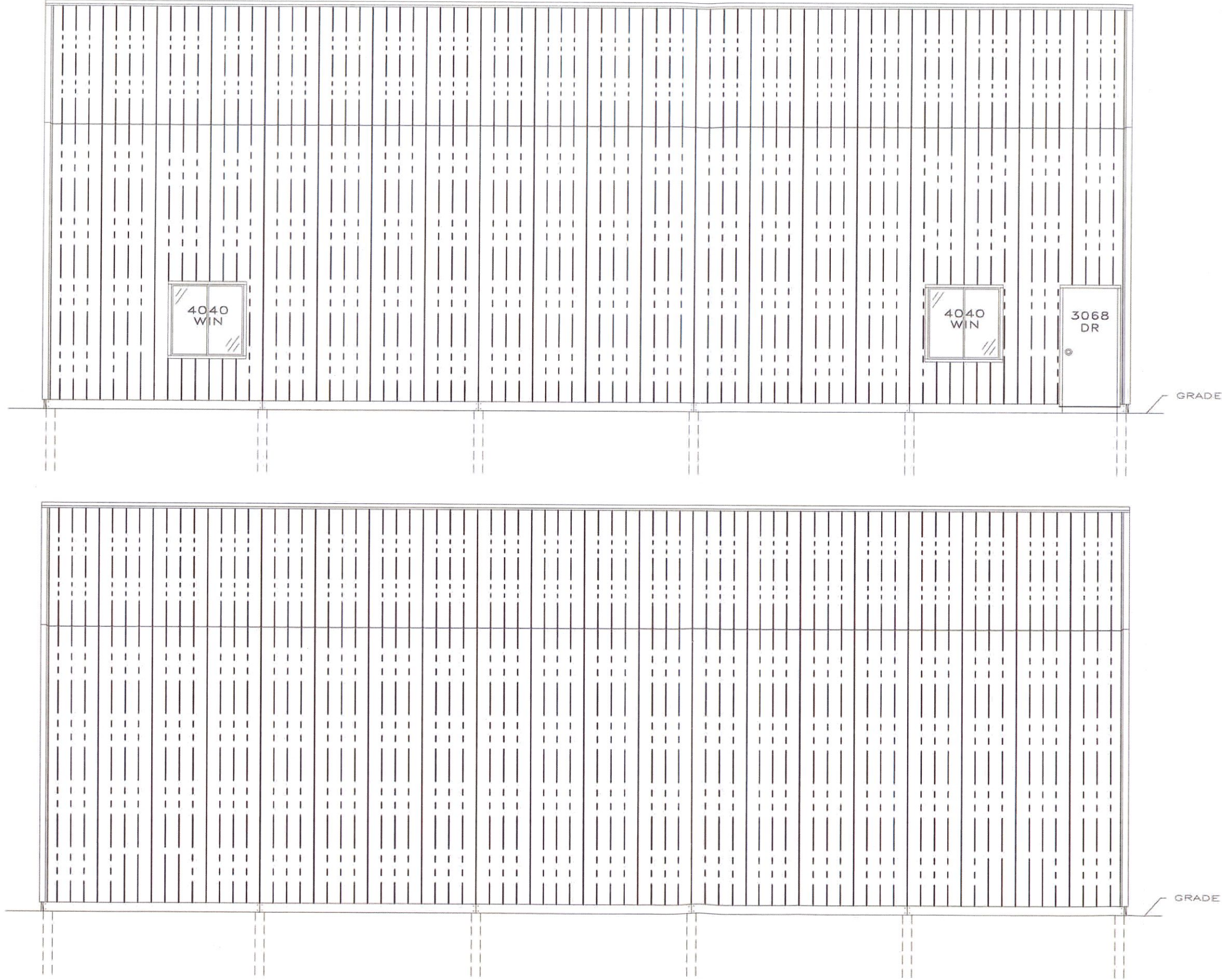
**HOYLE CONST. FOR CURTIS & SONS**  
490 OLD HWY 395 N.  
RENO, NEVADA  
COUNTY: WASHOE

ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO  
THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTER-  
ATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY  
PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF  
DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES  
DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO  
BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE. OCCUPANCY  
AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR  
AGENCIES, SLAB & HAIRPINS SHOWN FOR CONSTRAINT ONLY. DESIGN  
MIX THICKNESS C.J.'S & REINFORCEMENT BY OTHERS. THIS  
STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH  
MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT

|  |             |
|--|-------------|
|  |             |
| 22175 S. HWY. 99E<br>CANBY, OREGON 97013<br>(503) 263-6953<br>(503) 266-7102 (FAX) | SCALE: NINE |
| RDD/RD   | 8/2/19      |
| REV-1  | 9/17/19     |
| KIT  | MW19173     |



10-219  
SHT 6 of 7



**M & W BUILDING SUPPLY**  
 CUSTOM POLE BUILDINGS  
 40' WIDE x 60' LONG x 19' EAVE  
 ROOF LOAD: LIVE 30 PSF  
 DEAD LOAD: 3 PSF  
 WIND LOAD: 130MPH EXP. C  
 SEISMIC ZONE: D  
 FOUNDATION PRESSURE: 1500 PSF  
 LAT. SOIL BEARING: 100 PSF  
 BUILDING DESIGN: 2018 I.B.C.  
 CLOSED BUILDING

**HOYLE CONST. FOR CURTIS & SONS**  
 490 OLD HWY 395 N.  
 RENO, NEVADA  
 COUNTY: WASHOE

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|  |  |             |               |               |             |
|--|--|-------------|---------------|---------------|-------------|
|  | 22175 S. HWY. 99E<br>CANBY, OREGON 97013<br>(503) 263-8953<br>(503) 266-7102 (FAX) | SCALE: NONE | RDD/RO 8/2/19 | REV-1 9/17/19 | KIT MW19173 |
|--|--|-------------|---------------|---------------|-------------|



10-2-19  
 Page 7 of 7

# EXHIBIT H

Curtis and Sons Construction Inc.  
Special Use Permit Application

Grading Plan



**EROSION CONTROL NOTES**

**Standard Notes:**

1. The Owner, Site Developer, Contractor and/or their authorized agents shall each day remove all sediment, mud, construction debris, or other potential pollutants that may have been discharged to, or accumulate in, the public rights of ways of Washoe County as a result of construction activities associated with this site development or construction project. Such materials shall be prevented from entering the storm sewer system.
2. Additional construction site discharge best management practices (BMPs) may be required of the owner and his or her agents due to unforeseen erosion problems or if the submitted plan does not meet the performance standards required by Washoe County.
3. Temporary or permanent stabilization practices shall be installed on disturbed areas as soon as practicable and no later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Some exceptions may apply; refer to Stormwater General permit NVR100000, (§ III.A.5).
4. At a minimum, the Contractor or his agent shall inspect all disturbed areas, areas used for storage of materials and equipment that are exposed to precipitation, vehicle entrance and exit locations and all BMPs weekly, prior to a forecasted rain event and within 24 hours after any actual rain event. The Contractor or his agent shall update or modify the Stormwater Pollution Prevention Plan as necessary. Some exceptions to weekly inspections may apply, such as frozen ground conditions or suspension of land disturbance activities. Refer to Stormwater General Permit NVR100000, (§ III.A.11-12).
5. Accumulated sediment in BMPs shall be removed within seven days after a stormwater runoff event or prior to the next anticipated storm event, whichever is earlier. Sediment must be removed when BMP design capacity has been reduced by 50 percent or more.

**Other:**

1. Contractor shall obtain a dust control permit, if required, before beginning any land disturbing activities. During the entire duration of this construction contract, the Contractor shall implement stringent dust control measures in accordance with The Truckee Meadows Construction Site BMP Handbook. The Contractor is required to suppress dust at all times, 24 hours a day, 7 days a week, regardless of when construction activities are occurring.
2. The Contractor shall maintain all existing drainage facilities within the construction area until approved, permanent, drainage improvements are in place and functioning
3. No fence or other obstruction which interferes with drainage shall be constructed or allowed within a maintained drainage or storm drain easement.
4. The Contractor shall incorporate adequate drainage procedures during the construction process to eliminate excess erosion and/or ponding.

**TEMPORARY STABILIZATION MEASURES**

Inactive construction areas will be stabilized with a non-toxic soil stabilizer, or reclaimed and re-vegetated if not scheduled for further construction activity and will not have an impervious surface applied. Prior to leaving areas that are susceptible to wind erosion, the Contractor may need to apply a dust suppressant that forms a crust on the soil surface. Temporary stabilization measures include, but are not limited to:

- Scattering of shrubs and other woody materials may be implemented on disturbed sites of less than 3:1 slopes to reduce the velocity of surface runoff, trap sediment, increase infiltration, and increase moisture retention.
- In areas of highly erodible soils, utilize non-standard construction equipment and techniques that minimize surface disturbance, soil compaction, and loss of topsoil, such as low ground pressure equipment.
- Re-establish vegetation cover in highly erodible areas as soon as possible following construction, but within the proper season so that seed is able to germinate.

**EROSION CONTROL MEASURES**

Contractor shall:

1. Read and follow all Erosion Control Notes listed on the project Title Sheet CSC-G-000.
2. Install and maintain straw wattles, sandbags, silt fencing, and/or other erosion control devices at the edge of disturbed areas until re-vegetation success is met and the areas are stabilized.
3. Schedule earth-disturbing activities to low runoff periods, whenever possible.
4. Conduct concrete washout away from receiving waters (e.g. watercourses, wetlands, springs, wells, and storm drain inlets) to the extent possible.
5. Confine all vehicular traffic associated with construction to the existing or new roadways.
6. Limit disturbance of soils and vegetation removal to the minimum area necessary for safe access and construction.
7. Train all construction personnel before they are allowed to begin working on the project of environmental concerns, pertinent laws and regulations, and the elements of this plan.
8. Minimize grading to the extent feasible. Grading will be conducted in accordance with the respective grading permits received for this project.
9. Where possible, slope and berm graded material to reduce surface water flows across the graded area.
10. Replace excavated materials in disturbed areas and minimize the time between excavation and backfilling.
11. If de-watering becomes necessary (not anticipated), direct accumulated water onto stable surfaces to avoid soil erosion and conduct all de-watering activities according to the project permits. Detention basins constructed of sediment barriers (e.g. straw bales, silt fence, etc.) or mobile storage tanks may be used where appropriate to dispose of groundwater or collected stormwater.
12. Use drainage control structures, where necessary, to direct surface runoff away from disturbed areas and reduce erosion and off-site sedimentation. Such structures include culverts, ditches, waterbars, (berms and cross ditches), rolling dips, and sediment traps.

# 470 Old US Highway 395 Washoe City, Nevada Grading Plan



**LOCATION MAP**  
SCALE: 1"=500'

**EARTHWORK SUMMARY**

Although volume calculations show a net fill volume of 13 cubic yards, the site was graded prior to the generation of these plans and existing terrain was estimated using public data. Stated quantities were calculated by comparing the as surveyed surface with the surface determined from the public data. Owner stated that there was approximately 16 tons (approx. 10 cu. yd.) of base material used to achieve the elevations in the as surveyed surface. The calculation includes no volume adjustments to account for swell, shrinkage, or unsuitable material and makes no provisions for stripping or subexcavation. For these reasons, the volume of dirt moved in the field will in all likelihood deviate to some extent from the calculated volume.

| LOCATION                 | DISTURBED AREA (Acres) | GRADING CUT VOLUME (Cu. Yds) | GRADING FILL VOLUME (Cu. Yds) | NET VOLUME (Cu. Yds Fill) |
|--------------------------|------------------------|------------------------------|-------------------------------|---------------------------|
| 470 OLD U.S. HIGHWAY 395 | 1.6                    | 1138.0                       | 1151.0                        | 13.0                      |

**GENERAL NOTES**

1. All construction and materials shall conform to the Standard Specifications for Public Works Construction, latest edition, and the latest version of the Standard Details for Public Works Construction adopted by Washoe County.
2. It shall be the sole responsibility of the Contractor to obtain all necessary permits from all applicable agencies and to pay all applicable permit fees.
3. Details not shown on these drawings shall be as contained in the Book of Standard Details for Public Works Construction adopted by Washoe County.
4. Should it appear that the work to be done, or any matter relative thereto, is not sufficiently detailed or explained on these plans the Contractor shall contact the Project Engineer for such further explanations as may be necessary.
5. The Contractor will be solely and completely responsible for the conditions of the job site, including safety of all persons and property during performance of the work. This requirement will comply continuously and shall not be limited to normal working hours. The Contractor shall be responsible for the design and construction of proper shoring of trenches in accordance with occupational safety laws.
6. The location of existing utilities shown on these drawings is based on the best information available to the Engineer. It shall be the Contractor's responsibility to verify these locations at the proposed points of connection and in areas of possible conflict with new utility installation, prior to beginning construction. Should the Contractor find any discrepancies between the conditions existing in the field and the information shown on these drawings, he shall notify the Project Engineer before proceeding with construction.
7. The Contractor shall call 1-800-227-2600 for utility locations at least 48 hours prior to construction.
8. A pre-construction conference shall be held with Washoe County prior to any construction if requested.
9. Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts, shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.
10. The Contractor shall be responsible for any damage to existing roads, buildings, or other structures or existing landscaping resulting from his construction activities. Repairs shall be made to the satisfaction of the applicable jurisdiction and the Owner at no cost to the Owner.
11. The intent of the plans and specifications is to describe a complete, in place, facility. Payment for work shown on these plans either specified or inferred, but not included in the bid proposal shall be considered as included in the price paid for other items of work.

**SHEET LIST / INDEX OF SHEETS**

- CSC-G-000-01 - COVER SHEET / GENERAL NOTES
- CSC-G-000-02 - AS-BUILT GRADING PLAN
- CSC-G-000-03 - FINAL BUILD-OUT GRADING PLAN

**TRISAGE CONSULTING**  
5418A Langley Lane  
Reno, NV 89511  
(775) 336-1300

**CURTIS & SONS CONSTRUCTION INC.**

| Rev. | Date     | Description  | By  | Checked | Approved |
|------|----------|--------------|-----|---------|----------|
| A    | 11/13/19 | GRADING PLAN | JDC |         |          |
|      |          |              |     |         |          |
|      |          |              |     |         |          |
|      |          |              |     |         |          |

REVISIONS

CURTIS AND SONS CONSTRUCTION INC.  
470 OLD U.S. HIGHWAY 395, WASHOE CITY

GRADING PLAN

WASHOE CITY, NEVADA

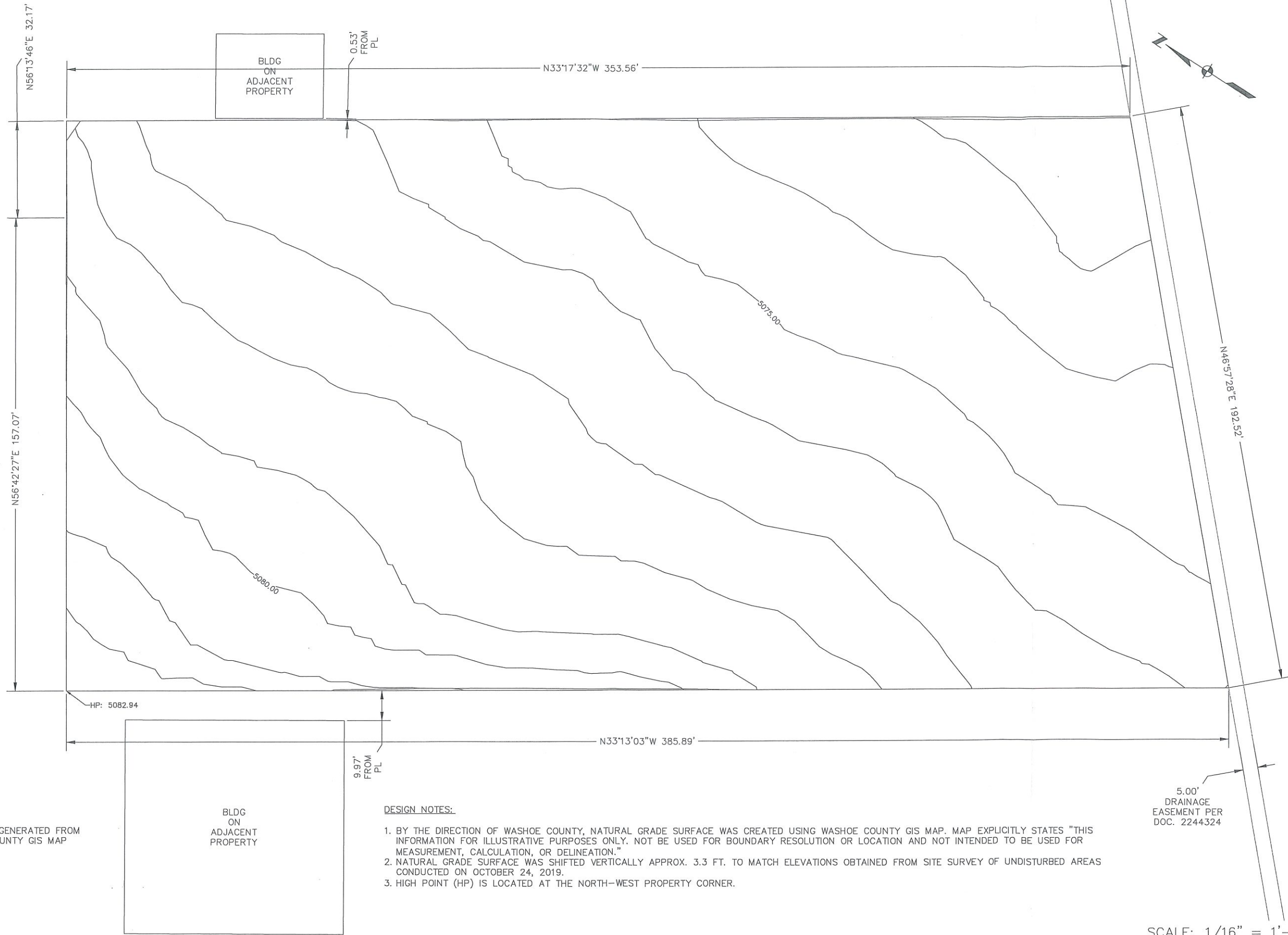
WASHOE COUNTY

CSC-G-000

SHEET 1 OF 3

REVISION: A

Z:\Curtis & Sons\Construction SUP Support\_2019\Grading\Grading Plan REV B.dwg <[Cole] > 10Dec19-13:03



**LEGEND:**

————— CONTOURS GENERATED FROM WASHOE COUNTY GIS MAP

BLDG ON ADJACENT PROPERTY

**DESIGN NOTES:**

1. BY THE DIRECTION OF WASHOE COUNTY, NATURAL GRADE SURFACE WAS CREATED USING WASHOE COUNTY GIS MAP. MAP EXPLICITLY STATES "THIS INFORMATION FOR ILLUSTRATIVE PURPOSES ONLY. NOT BE USED FOR BOUNDARY RESOLUTION OR LOCATION AND NOT INTENDED TO BE USED FOR MEASUREMENT, CALCULATION, OR DELINEATION."
2. NATURAL GRADE SURFACE WAS SHIFTED VERTICALLY APPROX. 3.3 FT. TO MATCH ELEVATIONS OBTAINED FROM SITE SURVEY OF UNDISTURBED AREAS CONDUCTED ON OCTOBER 24, 2019.
3. HIGH POINT (HP) IS LOCATED AT THE NORTH-WEST PROPERTY CORNER.

SCALE: 1/16" = 1'-0"

**TRISAGE CONSULTING**  
5418A Longley Lane  
Reno, NV 89511  
(775) 336-1300

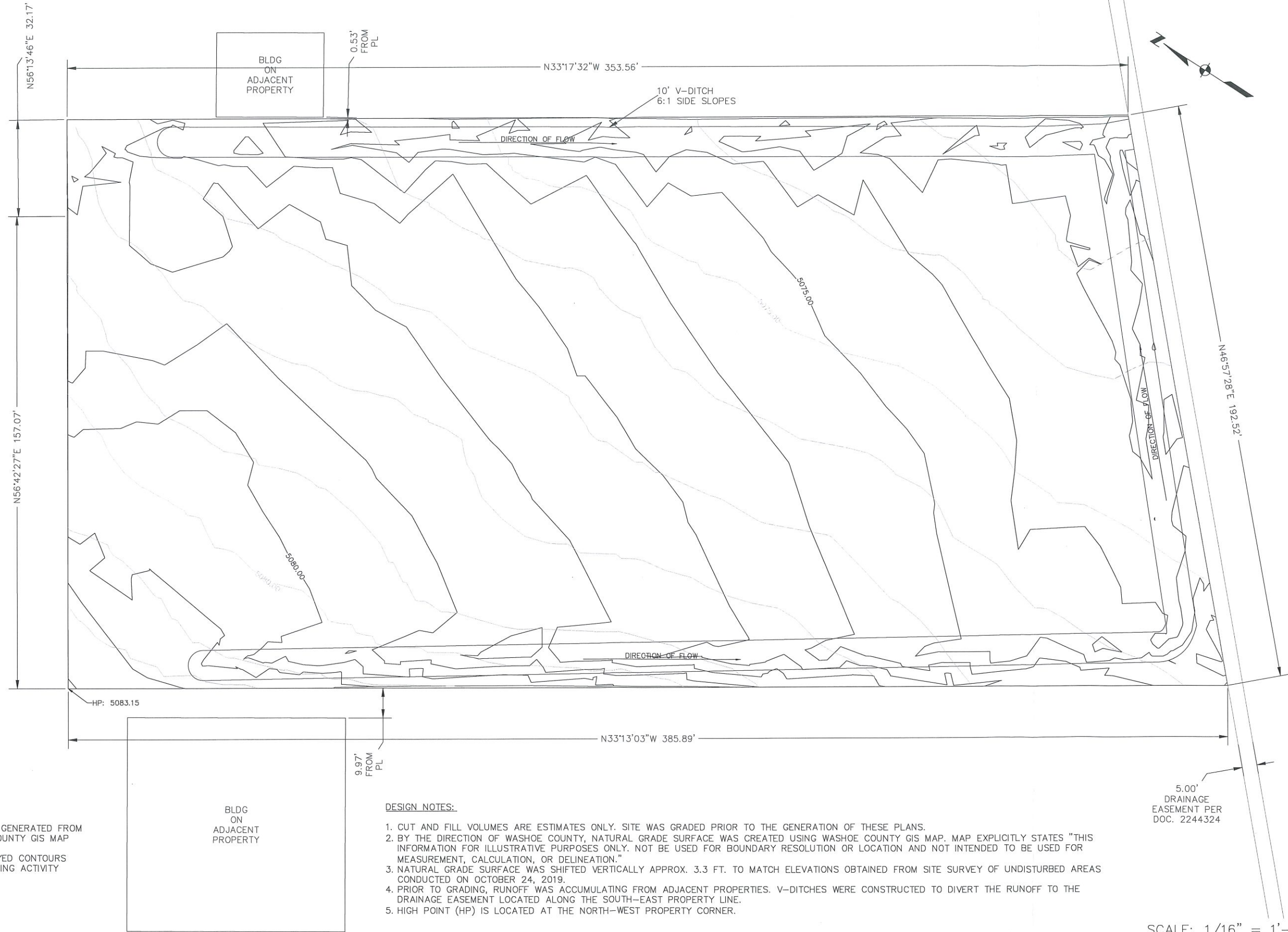
**CURTIS & SONS CONSTRUCTION INC.**

| Rev. | Date     | Description                  | By  | Check | Appd. |
|------|----------|------------------------------|-----|-------|-------|
| A    | 11/27/19 | GRADING PLAN                 | JOC | KLD   | -     |
| B    | 12/10/19 | RE-ISSUE PER COUNTY COMMENTS | JOC | KLD   | -     |
| -    | -        | -                            | -   | -     | -     |
| -    | -        | -                            | -   | -     | -     |
| -    | -        | -                            | -   | -     | -     |

CURTIS AND SONS CONSTRUCTION INC.  
470 OLD U.S. HIGHWAY 395, WASHOE CITY  
**NATURAL GRADE**  
WASHOE COUNTY, NEVADA

CSC-G-000  
SHEET 2 OF 4  
REVISION: B

Z:\Curtis & Sons\Construction SUP Support\_2019\Grading\Grading Plan REV B.dwg <|Cole> 10Dec19-10:04



**LEGEND:**

- CONTOURS GENERATED FROM WASHOE COUNTY GIS MAP
- AS-SURVEYED CONTOURS POST GRADING ACTIVITY

BLDG ON ADJACENT PROPERTY

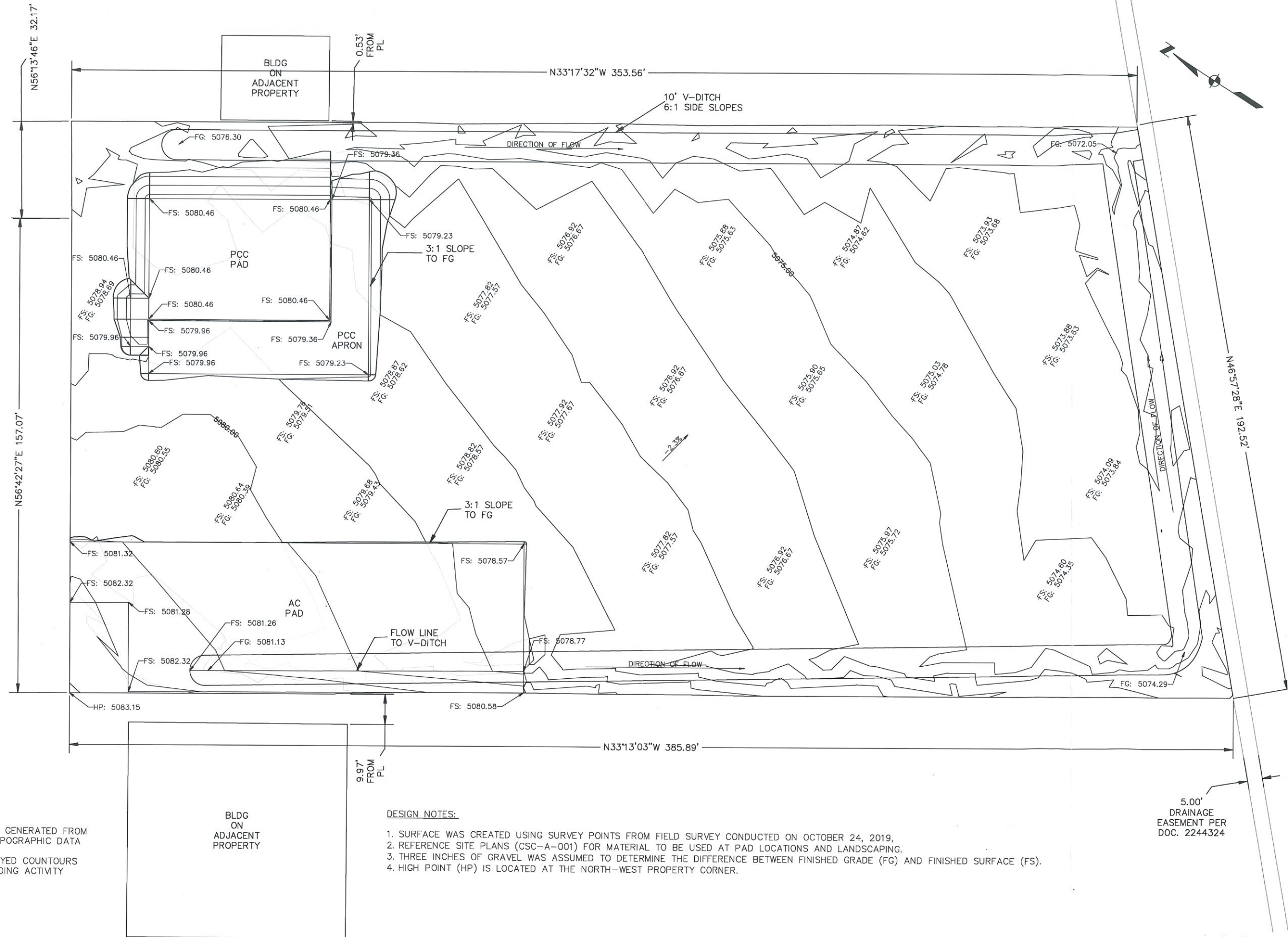
**DESIGN NOTES:**

1. CUT AND FILL VOLUMES ARE ESTIMATES ONLY. SITE WAS GRADED PRIOR TO THE GENERATION OF THESE PLANS.
2. BY THE DIRECTION OF WASHOE COUNTY, NATURAL GRADE SURFACE WAS CREATED USING WASHOE COUNTY GIS MAP. MAP EXPLICITLY STATES "THIS INFORMATION FOR ILLUSTRATIVE PURPOSES ONLY. NOT BE USED FOR BOUNDARY RESOLUTION OR LOCATION AND NOT INTENDED TO BE USED FOR MEASUREMENT, CALCULATION, OR DELINEATION."
3. NATURAL GRADE SURFACE WAS SHIFTED VERTICALLY APPROX. 3.3 FT. TO MATCH ELEVATIONS OBTAINED FROM SITE SURVEY OF UNDISTURBED AREAS CONDUCTED ON OCTOBER 24, 2019.
4. PRIOR TO GRADING, RUNOFF WAS ACCUMULATING FROM ADJACENT PROPERTIES. V-DITCHES WERE CONSTRUCTED TO DIVERT THE RUNOFF TO THE DRAINAGE EASEMENT LOCATED ALONG THE SOUTH-EAST PROPERTY LINE.
5. HIGH POINT (HP) IS LOCATED AT THE NORTH-WEST PROPERTY CORNER.

SCALE: 1/16" = 1'-0"

| REV. | DATE     | DESCRIPTION                  | BY  | CHKD | APP'D. |
|------|----------|------------------------------|-----|------|--------|
| A    | 11/13/19 | GRADING PLAN                 | JDC | -    | -      |
| B    | 12/10/19 | RE-ISSUE PER COUNTY COMMENTS | JDC | KLD  | KLD    |
| -    | -        | -                            | -   | -    | -      |
| -    | -        | -                            | -   | -    | -      |
| -    | -        | -                            | -   | -    | -      |

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**LEGEND:**  
 --- CONTOURS GENERATED FROM PUBLIC TOPOGRAPHIC DATA  
 --- AS-SURVEYED COUNTOURS POST GRADING ACTIVITY

**DESIGN NOTES:**  
 1. SURFACE WAS CREATED USING SURVEY POINTS FROM FIELD SURVEY CONDUCTED ON OCTOBER 24, 2019.  
 2. REFERENCE SITE PLANS (CSC-A-001) FOR MATERIAL TO BE USED AT PAD LOCATIONS AND LANDSCAPING.  
 3. THREE INCHES OF GRAVEL WAS ASSUMED TO DETERMINE THE DIFFERENCE BETWEEN FINISHED GRADE (FG) AND FINISHED SURFACE (FS).  
 4. HIGH POINT (HP) IS LOCATED AT THE NORTH-WEST PROPERTY CORNER.

5.00' DRAINAGE EASEMENT PER DOC. 2244324

SCALE: 1/16" = 1'-0"

**TRISAGE CONSULTING**  
 5418A Longley Lane  
 Reno, NV 89511  
 (775) 336-1300

**CURTIS & SONS CONSTRUCTION INC.**

| Rev. | Date    | Description  | By  | CHKD | Apprd. |
|------|---------|--------------|-----|------|--------|
| 1    | 11/2/19 | GRADING PLAN | JDC |      |        |
|      |         |              |     |      |        |
|      |         |              |     |      |        |
|      |         |              |     |      |        |
|      |         |              |     |      |        |

CURTIS AND SONS CONSTRUCTION INC.  
 470 OLD U.S. HIGHWAY 395, WASHOE CITY  
**FINAL BUILDOUT GRADING PLAN**  
 WASHOE COUNTY  
 WASHOE CITY, NEVADA

CSC-G-000  
 SHEET 3 OF 3  
 REVISION: A