

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Houston Residence			
Project Description: Driveway and structure excavation to construct a new single family residence.			
Project Address: 29 Bennington Court			
Project Area (acres or square feet): 6.56 acres			
Project Location (with point of reference to major cross streets AND area locator): Mt. Rose Highway to Joy Lake Rd. to Bennington Ct. in St. James's Village			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
046-151-05	2.23		
046-151-06	4.33		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: David Houston 1997 Trust		Name: George Trowbridge	
Address: 432 Court St., Reno, Nevada		Address: 1325 Airmotive Way Ste. 285	
Zip: 89501		Reno, Nevada	Zip: 89502
Phone: 775-786-4188	Fax:	Phone: 775-322-5997	Fax:
Email:		Email: gktarch@gmail.com	
Cell:	Other:	Cell:	Other:
Contact Person: David Houston		Contact Person: George Trowbridge	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: DAVID HOUSTON 1997 TRUST

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

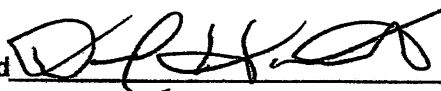
I, DAVID HOUSTON
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 046-151-05 & 046-151-06

Printed Name DAVID HOUSTON

Signed 

Address 432 COURT ST.

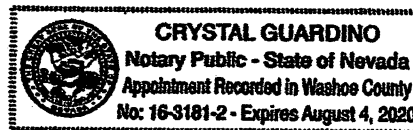
RENO, NV 89501

Subscribed and sworn to before me this
12TH day of APRIL, 2019.

(Notary Stamp)


Notary Public in and for said county and state

My commission expires: AUG. 4, 2020



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

To construct a new single family residence and driveway.

2. How many cubic yards of material are you proposing to excavate on site?

Cut 7,428 Cu. Yd. Fill 2,769 Cu. Yd. Net 4,658 Cu. Yd.

3. How many square feet of surface of the property are you disturbing?

35,400 sq. ft.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

4,658 Cu. Yd. of export material.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No, the best building area on the property is at the top of the lot. This area offers views of Mt. Rose, Slide Mt., Washoe Valley and all of Reno & Sparks.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, portions of the driveway will be visible from the West and Southwest of the property as well as the cul-de-sac at the North end of Bennington Ct. A large portion of the driveway will be obscured due to the slope on site. Parcels 046-151-07, 046-151-04, 046-153-01 & 046-153-02 will see portions of the driveway.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Conceivably the driveway could be used to access APN 046-151-04 but that is unlikely.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

2:1 slope. All disturbed areas shall be reseeded with St. James's approved dry land shrub, grass and wildflower mix. Temporary irrigation will be provided as required.

11. Are you planning any berms?

Yes	NoX	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls will be necessary at the driveway only. See attached page 12.

13. What are you proposing for visual mitigation of the work?

Extensive landscaping will be provided at all disturbed areas.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

14 Jeffery Pines will be removed, they vary in size from 6" to 16"

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

We will be using St. James's approved dry land shrub, grass and wildflower mix at a rate of 40 lbs. per acre. No mulch used.

16. How are you providing temporary irrigation to the disturbed area?

Temporary sprinklers will be used.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	NoX	If yes, please attach a copy.
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Question 12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls will be necessary at the driveway only. The retaining walls will vary in height according to existing site terrain and location, from a low of 12" to a maximum height of 10'. The walls will be a combination of native rock filled Gabion cages and stained concrete. The Gabion cages will be utilized for walls up to 6' in height. Walls taller than 6' in height will be concrete. Gabion cages will be placed at the base of all concrete walls such that no more than 6' of stained concrete walls is exposed. The area with the tallest retaining walls will not be visible from any adjacent properties or Bennington Court due to site terrain. See property sections on sheet C-2.

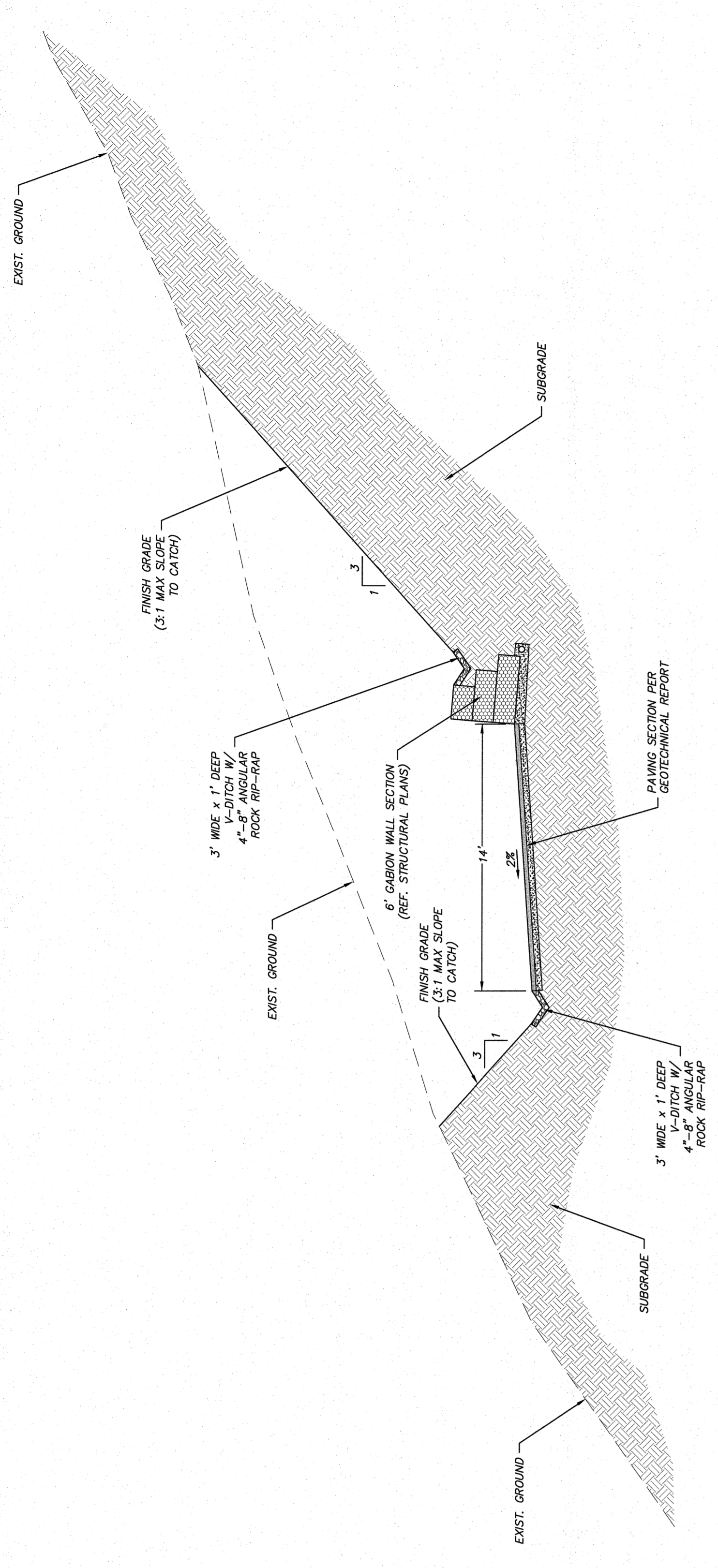
DATE:	4-10-18
REVISIONS	

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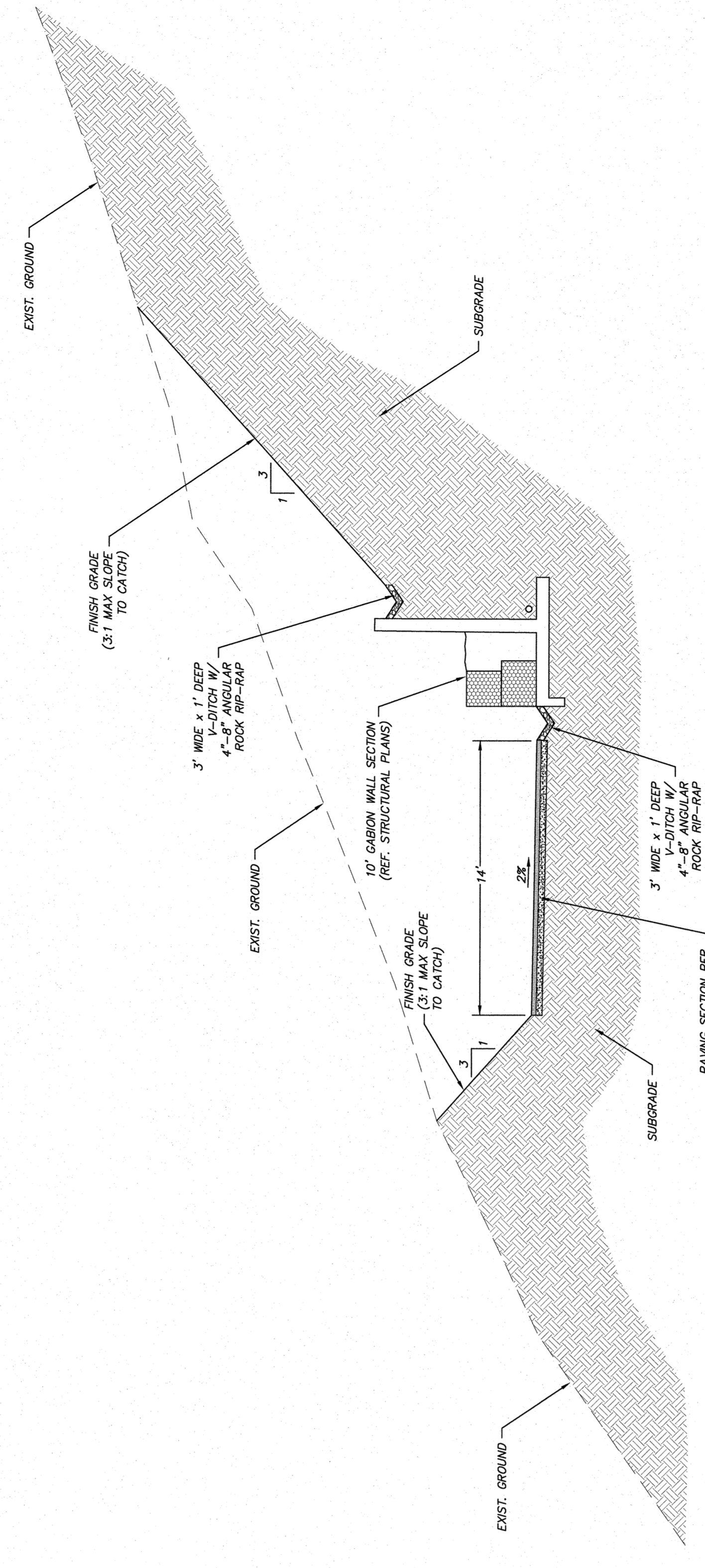


FILE NO.	1777
SHEET:	C-2

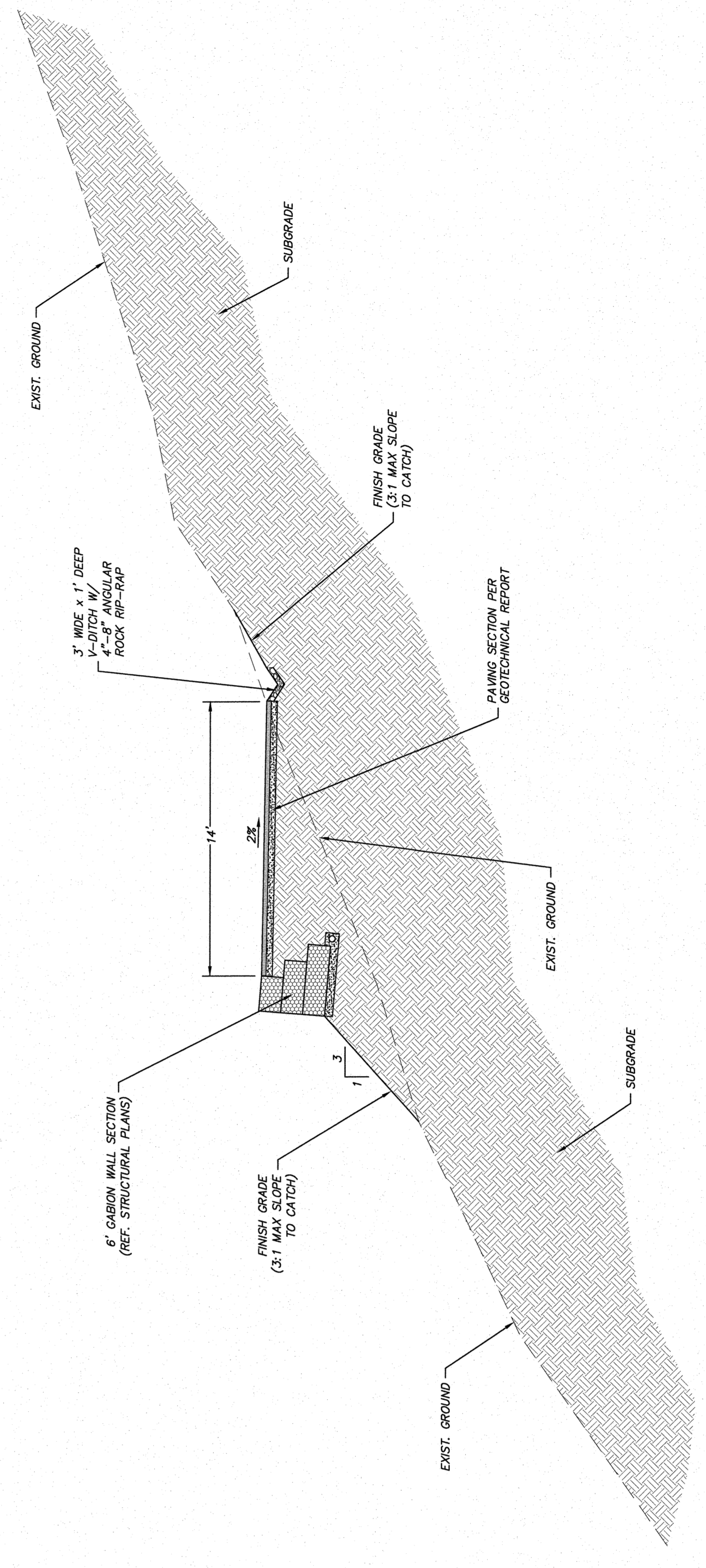
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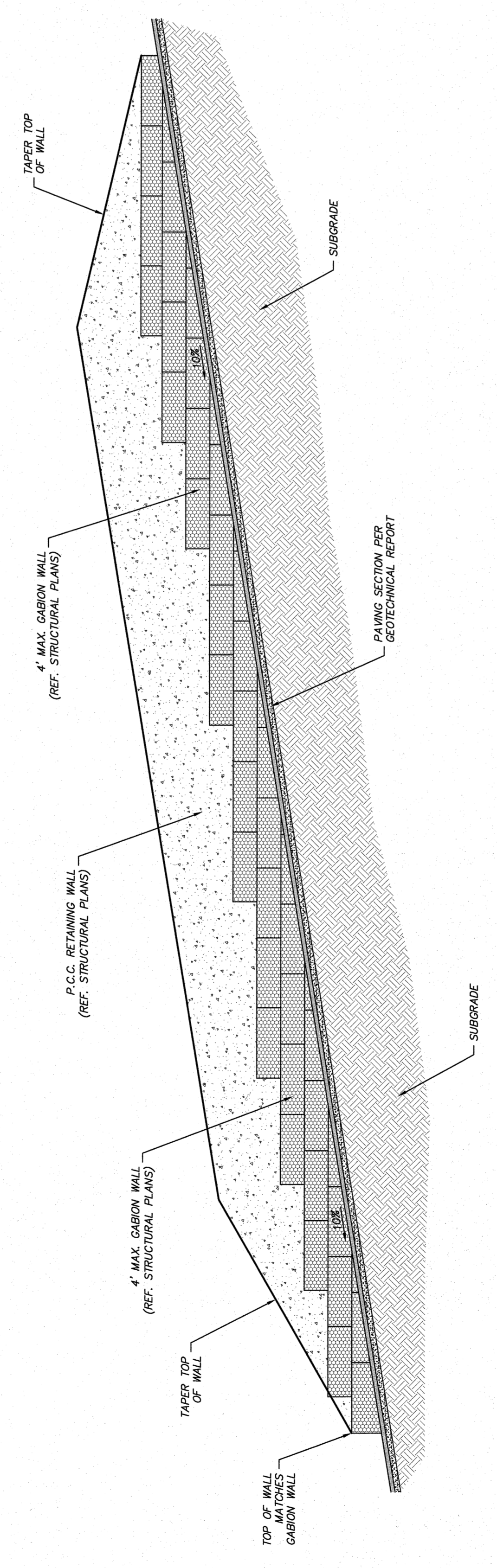
SECTION A-A (N.T.S.)



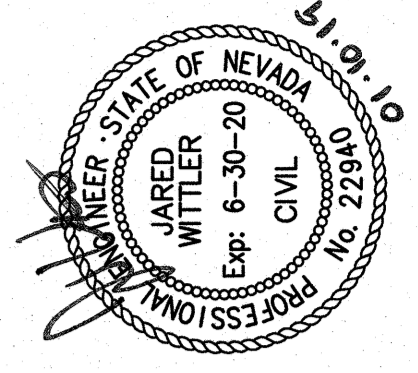
SECTION B-B (N.T.S.)



SECTION C-C (N.T.S.)



PROFILE #1 (N.T.S.)



DATE
2-22-19
REVISIONS

George K. Knowledge
ARCHITECT

1325 ARMSTRONG WAY, SUITE 285
DALLAS, TEXAS 75244
(714) 322-5972
WWW.GKNARCHITECT.COM
gk@gnarchitect.com

FOR
DAVID & GIBBY
NEW RESIDENCE
29 BENNING COURT
FORSYTH COUNTY, GEORGIA

FILE NO.	A-1
IT21	
SHEET:	

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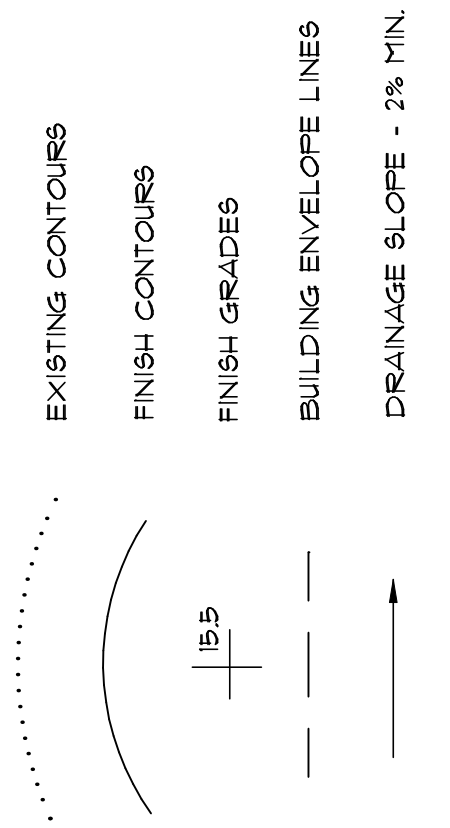
GENERAL NOTES:

- CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
- FIELD VERIFY EXISTING SITE GRADES AND ELEVATIONS.
- FIELD VERIFY ALL UTILITY LOCATIONS.
- CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL DETAILS AND CALCULATIONS HAVE BEEN PROVIDED FOR THE FOUNDATION AND ROOFING. THESE ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS.

SEPTIC NOTES:

- SEPTIC SYSTEM SHALL BE 100' OF MIN. FROM WELL.
- 1000 GAL. SEPTIC TANK SHALL BE 8'-0" MIN. FROM RESIDENCE.
- LEACH FIELDS SHALL BE 10' MIN. FROM SEPTIC TANK AND 10' MIN. FROM PROPERTY LINE. RESIDENCE, 4'-0" MIN. FROM PROPERTY LINE.
- AVOID PLANTING TREES UP TO 4' OF EACH FIELD.
- NO PRIVATE WELL WITHIN 100' FT. OF PROPERTY.
- NO AVAILABLE PUBLIC SEWER SYSTEM WITHIN 400' FT. OF PROPERTY.
- PROPOSED RESIDENCE HAS 13 BEDROOMS.
- NO 100' TR. FLOOD PLAIN UP TO 100' FT. OF PROPERTY.
- PROPERTY TOTAL BOTH LOTS IS 16.851 ACRES (189643 SF).

SITE LEGEND



SITE NOTES:

- GEOTECHNICAL ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND BEFORE TO BEING ANY CONSTRUCTION. CONCERNING FOOTING DEPTH, COMPACTED FILL MATERIAL, ETC. SHALL BE FOLLOWED.
- ALL SHALL BE CONSTRUCTED PER THE SITE PLAN.
- GRADE SHALL BE TAKEN FROM ALL VEGETATION IN CONSTRUCTION. ALL UTILITIES & MATERIAL STORAGE SHALL BE MAINTAINED TO REMAIN UNDISTURBED.
- RETAIN ALL STONES FROM EXCAVATION. LARGER Boulders SHALL BE PLACED RANDOMLY IN EXCAVATION.
- SITE GRADES SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FROM THE STRUCTURE.
- FROM 3' TO 5' SIZE MIN. 4" DEPTH. 1" PLACED AS A MIXED AGGREGATE.
- ALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS AND DETAILS.
- A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE COUNTY.
- ALL UTILITIES SHALL BE MAINTAINED UNDISTURBED.
- IMPROVEMENT DETAILS.

DRAWING INDEX	
A-1	COVER SHEET, DRAWING INDEX
C-1	CIVIL / SITE PLAN
C-2	CIVIL DETAILS
A-2	FOUNDATION PLAN
A-3	FLOOR PLAN
A-4	ROOF FRAMING PLAN
A-5	BUILDING SECTION & DETAILS
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS & NOTES
SD-3	STRUCTURAL DETAILS & SCHEDULES
ME-1	MECHANICAL PLAN
L-1	LANDSCAPE PLAN

FIRE HAZARD NOTES:

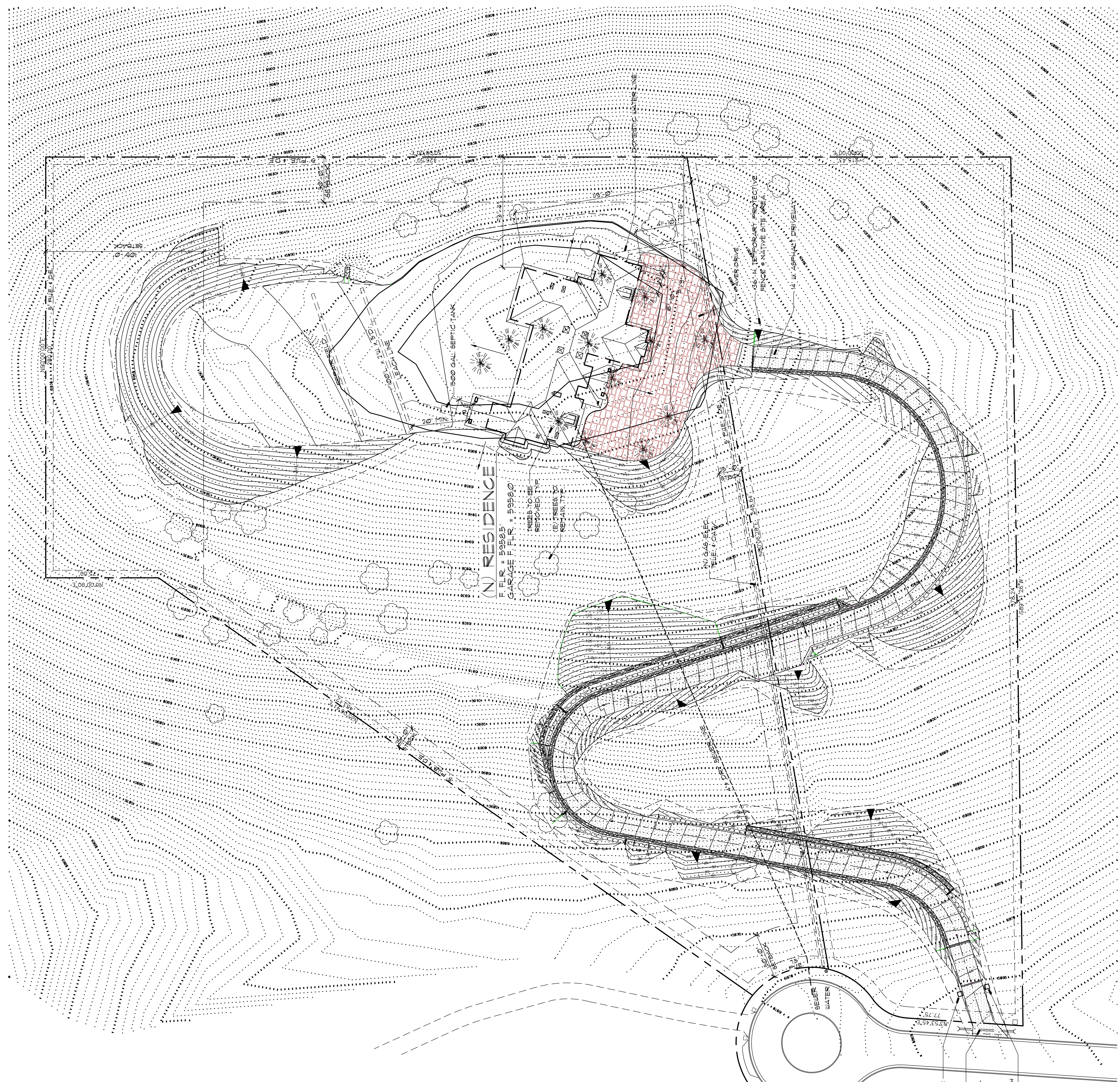
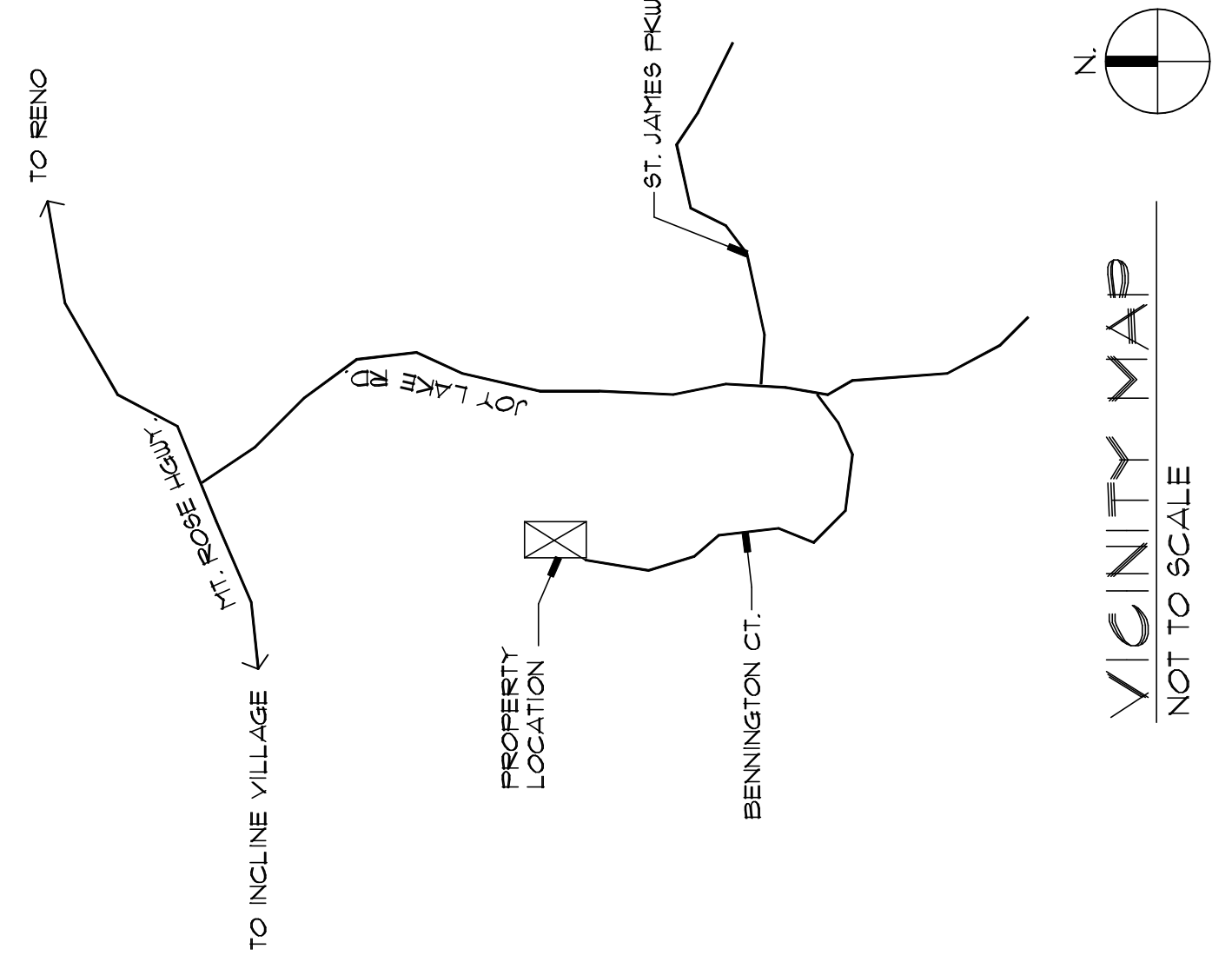
- FIRE HAZARD SEVERITY IS "HIGH HAZARD".
- THE WATER SUPPLY IS "CONFORMING".
- THE SITE ACCESS IS "CONFORMING".
- THE FIRE CLASSES IS "10".

SITE COVERAGE CALC.:

TOTAL LOT AREA	189,643 SQ. FT.
FORCH PATIO DRIVE & WALKS	12,466 SQ. FT.
TOTAL COVERAGE (TYPICAL SURFACE)	17,466 SQ. FT. (42%)

EARTHWORK CALC.:

TOTAL CUT MATERIAL	1,429 CY
TOTAL FILL MATERIAL	2,710 CY
NET	4,639 CY
FINAL STABILIZATION OF DISTURBED AREAS	
PERMISSIBLE COUNTY CODE ARTICLE 188	



SITE PLAN
SCALE 1" = 30'-0"
ST. JAMES VILLAGE, LOT #19 & LOT #20
APN: 0-16-19-0-0-16-19-0-20

