

CHOCOLATE DRIVE

SUN VALLEY, NEVADA

APN: 502-250-09, 502-250-10

Prepared for:
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Carmel, IN

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Reno, Nevada
November 2024
192233001
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SPECIAL USE PERMIT

FOR

CHOCOLATE DRIVE

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INTRODUCTION

This narrative includes detail on the following:

- A **Special Use Permit for Major Grading** (“SUP”) is required per WCDG Section 110.438.28 Major Grading Permit Thresholds. The project triggers the following major grading thresholds: 110.438.28 (a)(1)(i)(B), (a)(1)(ii)(A), (a)(1)(iii)(A), and (a)(1)(iii)(B). The project is proposing grading on slopes less than and greater than fifteen (15) percent, and grading of 23.87 acres across APN’s 502-250-09 and 502-250-10. The total grading proposed is approximately 98,389 cubic yards of cut, 96,701 cubic yards of fill, and a net cut of 1,638 cubic yards. Cuts will be greater than 20 feet and fills greater than 10 feet. There are no modifications being requested with this Special Use Permit.

Approval of a Special Use Permit for Major Grading are required by the Washoe County Board of Adjustment for the Project. The proposed project consists of a low-income affordable multi-family residential development. This development is proposed to include twenty two-story apartment buildings (240 units) with a clubhouse and swimming pool, covered and garage parking spaces, mail kiosk, playground, and recreational amenities. Further information is provided in a narrative below which details the Special Use Permit request.

1. PROJECT LOCATION

The Chocolate Drive project site (the “Site”) is approximately 45.51± acres (APN 502-250-09) and is located in southwest Sun Valley at the western edge of a residential area generally comprised of single-family homes, approximately half a mile west of Sun Valley Blvd. Additionally, 2.75± acres of the western half of Chocolate Drive is included with this project. The APNs for the parcels are 502-250-09 and 502-250-10 (the “Parcels”). See Figure 1 – Vicinity Map for project location. The Parcels stretch north south along Chocolate Drive from W 2nd Ave to W 5th Ave and border Red Hill (Washoe County Open Space) to the west. The Site will be accessed via the following streets:

- | | |
|-------------------|----------------------------|
| ▪ Chocolate Drive | ▪ West 5 th Ave |
| ▪ Clear Acre Lane | ▪ Sun Valley Boulevard |
| | ▪ West 2 nd Ave |



Figure 1 – Vicinity Map

2. EXISTING CONDITIONS

2.1. Slopes and Topography

The existing site slopes from west to east from Red Hill to Chocolate Drive. The northern portion of the Site contains 0-15% slopes, while approximately 43%± (14.16 acres) of the steeper south portion of the Site is greater than 15% in slope. Per Washoe County Development Standards Section 110.424.05, the site is applicable to Hillside Development. A Slope Analysis Exhibit is included in Appendix E. Further information about the how the project responds to Hillside Development requirements is provided in Section 3.2

Hillside Development of this narrative.

2.2. Geotechnical and Fault Studies

A geotechnical report was performed for the project by Geotechnical & Environmental Services, Inc. (GES) in 2022. Native soils in the project area consist of clay, silt, and sand with varying amounts of gravel underlain by bedrock consisting of decomposed andesite. Groundwater was not encountered and liquefaction potential is low. Refer to Appendix N for the geotechnical report.

There are mountainous areas to the west and there are two active faults on the south and west side of the Parcel per the USGS Quaternary fault map. A seismic hazard investigation (fault study) was performed by Geotechnical & Environmental Services, Inc. in 2022 which identified the locations of these faults. This study can be found in Appendix N.

Washoe County Development Code requires a 10' setback from the fault line and should be shown on the final recorded map. A minimum setback of 50-feet has been recommended by the fault study, and proposed structures will be shown outside of this setback. The fault locations and setbacks are shown in the existing conditions exhibits and ALTA survey (Appendix F) and the Site and Grading Plans (Appendix H).

In October 2024, GES performed a Preliminary Slope Stability Analysis and showed that soil cut slopes of 2:1 are stable to heights less than 40'. GES recommends a layer of light riprap to prevent surface erosion. This Preliminary Analysis letter is in Appendix N.

3. PROPOSED PROJECT

3.1. Project Summary

The project consists of a low-income affordable multi-family development. There will be twenty (20) two-story apartment buildings (240 units) with a clubhouse, swimming pool, covered parking spaces, garages, mail kiosk, playgrounds, dog park, landscaping, and recreational amenities. The proposed apartment community will provide a high-quality affordable housing option for low-income residents of Washoe County.

The subject project parcel (APN 502-250-09) was approved for Master Plan and Regulatory Zone Amendments in April 2022 under Case Numbers WMPA22-0003 and WRZA2-0003 (Chocolate Drive). In March 2023, the project was approved for a Special Use Permit for Major Grading (WSUP23-0001) and an Administrative Permit (WADMIN22-0029). The purpose of this submittal is to apply for a Special Use Permit for Major Grading to revise the grading proposed in 2022. The proposed project has been revised per the amended Washoe County Code in August 2024 and the grading reflects these changes as well.

The primary revisions to the Project are reducing parking and revising the site layout to minimize grading impacts and incorporate Washoe County Code revisions. The project density of 240 units remains the same.

The following sections in this narrative describe the grading in further detail:

3.1.1. Proposed Grading and Request

The proposed grading consists of a variety of slopes, retaining walls, benches, berms, channels, detention basins, and roadways as depicted in the Grading Plans in Appendix H.

Major grading is requested as the project is proposing grading on slopes less than and greater than fifteen (15) percent, 23.87 acres of grading area across APN’s 502-250-09 and 502-250-10, and excavation of approximately 98,389 cubic yards of earthwork material. This specifically triggers the following major grading thresholds in the Washoe County Development Code: 110.438.28 (a)(1)(i)(B), (a)(1)(ii)(A), (a)(1)(iii)(A), and (a)(1)(iii)(B).

The site disturbance area and earthwork volume has reduced since the initial Administrative Permit approved in 2023. See **Table 1** below for more detail on the previous and proposed changes.

| | Previous Administrative Permit | Proposed |
|------------------------------------|---|--|
| Disturbance Area (Including Roads) | 25.13 acres | 23.87 acres |
| Earthwork Volume | 91,169 cubic yards (CY) Cut 123,584 CY Fill 32,415 CY Net Fill | 98,939 CY Cut 96,701 CY Fill 1,638 CY Net Cut |

Table 1 – Comparison of Previous and Proposed Grading

3.1.2. Grading Limits

Grading is proposed across two parcels (APNs 502-250-09 and 502-250-10). Grading is limited to the northern part of the site to avoid existing steeper slope areas. In addition, in lieu of large slopes the Project has proposed retaining walls to limit the disturbance area as much as possible. The total disturbed area across these parcels (including Chocolate Drive) is 23.87 acres. The development disturbance area (including Chocolate Drive) is largely concentrated on approximately half of the total parcel area (45.51 acres) which demonstrates that grading is limited a limited portion of these parcels to the extent possible. The grading limits are depicted on the Grading Plans in Appendix H.

3.1.3. Earthwork

The total grading earthwork proposed is approximately 98,389 cubic yards of cut, 96,701 cubic yards of fill, and a net cut of 1,638 cubic yards. The intent is to balance the earthwork on site and limit the amount of hauling trips to and from the development during construction. This will assist in preventing degradation of the adjacent neighborhood roadways in construction traffic. The minor net cut volume is not equivalent to the anticipated quantity of export as the site is intended to be balanced. The Project import and export of material will be limited to the extent possible for the Project.

The changes in earthwork volume are significant as this will assist in less hauling trips to and from the development during construction. Previously hauling of earthwork volume offsite was planned for, but now earthwork will remain balanced onsite with very limited hauling if any. For an average 14 cubic yard dump truck, that is equivalent to approximately 2,198 construction trips saved for the

surrounding neighborhood. This will limit degradation of streets and vehicles passing by residents' homes.

3.1.4. Cuts and Fills

The extent of cuts and fills have been limited to the northern end of the site with retaining walls, adjacent to roadways, and within detention basins. Cuts will be greater than 20 feet and fills greater than 10 feet in height. The maximum cut height is 23.80 feet and the maximum fill height is 21.13 feet. As the site currently slopes from west to east within the parcels, the largest cut is naturally on the west side and largest fill is on the east side. However, most of the site depicts cuts and fills under 5 feet in height in order to maintain the existing terrain slopes and natural topography. See more detail in the Cut and Fill Analysis in Appendix K.

3.1.5. Slopes

Proposed slopes for the Project will vary throughout the site as depicted in the Grading Plans. Since the site encompasses retaining walls described in section 3.1.6, the slopes for the site are only limited to a few areas such as roadways, channels, and detention basins. Slopes and grades are proposed to match the existing topography in most areas.

A geotechnical slope stability analysis is required for slopes steeper than 3:1 in accordance with WDC Section 110.438.31(6)(2). A geotechnical stability analysis was performed for slopes that are 2:1 as provided in Appendix N. This stability analysis indicates that soil cut slopes inclined at 2:1 are considered stable to heights less than 40 feet. Erosion measures for taller slopes greater than 10 feet will include rip-rap class 150 to mitigate surface erosion.

Slopes within detention basins storage are shown as 3:1. Outside of the detention basin areas, the slopes are shown as 2:1 in conformance with the slope stability analysis. In addition, drainage channels and road slopes are also shown as 2:1. The taller cut slope along Chocolate Drive contains rip-rap for visual mitigation and erosion protection per WDC Section 110.438.31(6)(2)(ii and iii).

3.1.6. Drainage

Grading is proposed outside of existing drainageways to allow stormwater to flow along existing drainage patterns. Proposed drainage includes four (4) detention basins, a variety of storm drain network pipes and inlets, and curb and gutter along the proposed Chocolate Drive to collect runoff in inlets along the road. A Preliminary Storm Drainage Exhibit is included in Appendix P and depicts catchment area and flow, drainage features, storm pipes, and flow direction.

Drainage will be mitigated for both the on-site development and also for off-site flows coming from Red Hill to the west. The drainage improvement proposed will not only improve drainage for the development, but also for the surrounding community as a project benefit.

Existing drainage is currently routed east through the neighboring properties, which introduces erosion and flooding concerns as it passes through during rainstorm events. The project proposes to capture and lessen the impact to the neighborhood with the installation of Chocolate Drive and detention basins, channels, pipes, and interceptor swales which will collect drainage as it is flowing east. Drainage will be routed to these proposed detention basins and storm drain pipes, slowing down the peak flow and staging runoff to be slowly released into the storm drainage network. The drainage will eventually flow down 5th Avenue towards existing drainage patterns and channels along Sidehill Drive, where it will eventually make its way to Sun Valley Boulevard where it currently is routed. The post-peak flows will be reduced to pre-existing conditions as required by the Truckee Regional Drainage Manual. A hydrology report has not been prepared or required for this Special

Use Permit, but will be submitted as part of the Construction Drawings phase as required by Washoe County.

A series of drainage channels will be provided throughout the Project site. There is a new proposed channel which connects two detention basins within the development area. This will allow for stormwater to attenuate and reduce the peak flow of areas downstream. Another channel at the north end of the site which conveys existing runoff from Red Hill safely through the site. This channel is proposed to better direct existing stormwater to 5th Avenue and around the proposed development (where it currently channelizes). The northern channel contains a 8 foot wide berm on the south side which is outside of any building or site setbacks. This channel will improve existing conditions by routing stormwater away from the surrounding neighborhood and away from the proposed buildings. This berm will assist in stabilizing this channel storage, to contain flows which pass the 100-year storm event. The berm will also protect flows to be contained within the channel and the top of the berm elevation is planned above the hydraulic flow line.

There is also a proposed trailhead and parking lot (as requested by Washoe County Regional Parks and Open Space) with a road that crosses this northern channel. Initially, there was a box culvert that was proposed for this crossing. Washoe County collaborated with this project for value engineering and has approved the box culvert to be replaced with a low water crossing. (All Washoe County correspondence is in Appendix O.)

3.1.7. Retaining Walls

Retaining walls are proposed to be within the site development areas and are outside of any site setbacks. Retaining walls are proposed to limit the site disturbance areas in lieu of large cuts or fill slopes. The retaining walls will seek to limit the disturbance area and provide for balancing of earthwork for the Project. Retaining wall tiers are separated horizontally by a bench distance of 10 feet and the walls are a height of 10 feet. The construction material will consist of a pile wall or mechanically stabilized earth made of concrete, timber, or steel. Rockery walls are not proposed at this time, but could be utilized with appropriate structural analysis if over 8 feet and less than 12 feet in height per WCDC Section 110.438.42. Interceptor swales are proposed above retaining walls to intercept drainage in conformance with WCDC Section 110.420.25(j).

3.1.8. Landscaping

Landscaping is proposed throughout the project site per Washoe County standards to contain a variety of trees, shrubs, and amenity areas and has been updated to the new site layout. The landscaping plan is included in Appendix I.

There is a total of 17.04 acres of proposed site disturbance area for the development of the project. A minimum of 20% of the site disturbance area (148,486 square feet) is required to be landscaped. The proposed landscape area is estimated to be 148,486 square feet (3.41 acres), exactly 20% of the disturbance area. The required and proposed landscaping is summarized in **Table 2** below and compared to the previous Administrative Permit.

| | Previous Administrative Permit | Proposed* |
|--|--------------------------------|-------------------|
| Required Landscaping (20% of Disturbed Area) | 149,434 SQ FT | 148,486 SF |
| Proposed Landscaping | 302,616 SQ FT | 148,486 SF |

*See Landscaping Plans in Appendix I for more detail

Table 2 – Comparison of Previous and Proposed Landscaping

3.2. Hillside Development

The proposed development is classified as Hillside Development by Article 424 as twenty percent of the Site is in excess of fifteen percent in slope. The following specifies how Hillside Development requirements will be met.

3.2.1. Purpose

The proposed development is designed to meet the requirements outlined in Section 110.424.00 as outlined by the following responses in **bold**:

- (a) Minimizing use of slopes subject to instability, erosion, landslide, flood hazards or drainage problems;
The proposed development will limit disturbance on steeper slopes on the project site (located south) and concentrate development to the northern end of the site. The site has been shifted further north from before to limit disturbance of steeper slope areas. A perimeter drainage swale around the site has been proposed to convey drainage to proposed detention basins and significantly reduce existing flooding concerns. Existing channels will be undisturbed and drainage will be gathered in a series of detention basins, within channels, and into storm drainage systems along Chocolate Drive. Retaining walls will limit erosion in lieu of graded slopes. Erosion will be mitigated on taller slopes by Best Management Practices (BMPs). Please refer to slope analysis in Appendix E and grading plans in Appendix H for more detail.
- (b) Minimizing the careless alteration of and disruption to the natural topography and landscape;
The proposed design intends to incorporate native landscaping in accordance with Washoe County standards and will limit disruption to the natural topography in grading by balancing the site in earthwork and limiting the development to a smaller portion of the property. The proposed grading, limited disturbance area, and drainage improvements will complement the existing terrain.
- (c) Providing safe and adequate vehicular and pedestrian access to and within hillside areas, including emergency access;
Vehicular and pedestrian access will be provided along the proposed paved Chocolate Drive. This will accommodate safer emergency access, utility access, and access to the proposed development. A sidewalk system will be provided along Chocolate Drive and throughout the development for the community. A proposed trailhead easement and parking area for Washoe County Regional Parks and Open Space is provided for future trail connection to Red Hill at the northern end of the project site. Appropriate vehicular

parking above code requirements, site access, and emergency access have been provided for the project.

- (d) Establishing stormwater runoff and erosion control techniques to minimize adverse water quality impacts resulting from non-point runoff;
There will be significant improvements to existing drainage patterns on-site and to downstream properties with the proposed design. A series of detention basins will improve the stormwater flooding in the area from the adjacent Red Hill. The proposed design utilizes erosion control best management practices (BMP's) and will minimize water quality impacts from non-point runoff. Please refer to site and grading plans in Appendix H.
- (e) Encouraging innovative grading techniques and building design which respond to the hillside terrain and natural contours of the land;
The proposed design is in conformance with the site development and grading standards in Section 110.424.30 and 110.424.35. Building heights will be low and limited to two-stories to complement the existing slopes of the terrain.
- (f) Minimizing impacts on existing trees and vegetation which reduce erosion, stabilize steep hillsides, enhance visual quality, protect water quality and preserve critical watershed recharge areas;
Existing vegetation will be limited in impact and where necessary be replaced by similar type landscaping. Landscaping, limited grading, and erosion control measures are proposed in accordance with Washoe County standards. Refer to the site and grading plans in Appendix H for more detail.
- (g) Encouraging the transfer of density to avoid hazardous areas and to protect environmentally sensitive and open space areas; and
Density of the development is limited to the flatter slope areas at the northern end of the parcel as much as possible. Environmentally sensitive areas and open space areas have been avoided with the proposed design with a buffer of any proposed grading from these areas. A split zoned buffer of open space area (4.87 acres) was established in the Master Plan Amendment process to separate development from the Red Hill open space area. Refer to slope analysis in Appendix E and developable area map in Appendix G.
- (h) Minimizing impacts on prominent ridgelines, significant viewsheds, canyons and visually prominent rock outcroppings which reflect the visual value and scenic character of hillside areas.
The proposed design will not impact any ridgelines, significant viewsheds, canyons or prominent rock outcroppings. Please refer to viewshed analysis in Appendix M.

3.2.2. Constraint and Mitigation Analysis

Constraints of the project site include fault areas, altered andesite buckwheat plant species, minor drainageways, existing stormwater, and steep topography. These constraints are identified on the developable area map in Appendix G and site plan in Appendix H. This section will only discuss project constraints relevant to the grading and Special Use Permit.

Faults

The proposed development is shown to avoid existing faults with buildings placed distant from the 50' setbacks. Chocolate Drive is proposed through one fault line to the south of the project area. However,

roadways, utilities, and parking areas are permitted through these fault areas as recommended by the seismic hazard investigation in Appendix N.

Grading

The site is limited by steep slopes as shown in the Slope Analysis exhibit in Appendix E. Grading for the proposed development has been designed to complement the existing terrain. The proposed development will be graded into the existing slopes and concentrated on the northern side of the site where the slopes are less steep. Grading is proposed outside of the existing drainageways to allow stormwater to flow along existing drainage patterns. Retaining walls are proposed on the west and east sides of the development to limit disturbance area in lieu of large slopes and balance the site in earthwork. Balancing the site earthwork will minimize the amount of hauling trips during construction to and from the development and throughout the neighborhood.

Chocolate Drive Alignment

One of the project constraints is the placement and design of the proposed Chocolate Drive Road. The alignment was carefully selected in coordination with the neighborhood community. Currently Chocolate Drive is located between several private parcels, one half on our project parcel (APN 502-250-10) and the other half on 19 other private parcels as an easement. In February 2023, Washoe County reached out to all property owners along Chocolate Drive to obtain Irrevocable Offers of Dedication and establish the existing easement areas at right-of-way. If there were unanimous offers by all property owners, this would mean the proposed County road could be placed where the existing dirt road is. As several property owners declined or gave no response, the road was kept as shown on the private parcels of this project and will be dedicated to the County with an Irrevocable Offer of Dedication in the future. However, residential driveways to every property owner and at road intersections will be provided as part of this project. All of these details were coordinated with the Washoe County Engineering Department. The alignment of the road is still shown on the project parcels (APN 502-250-10 and 502-250-09) as depicted in the preliminary site and grading plans.

3.2.3. Site Development Standards

The proposed development has been designed to encourage compatibility with the existing hillside. The proposed design is in conformance with the requirements outlined in Article 424 Hillside Development Section 110.424.15(a)(1-9) and Section 110.424.30.

The proposed buildings are clustered towards the northeast of the site to minimize disturbance area, preserve natural features, and to retain views of the surrounding Red Hill open space. The buildings, roadway, and drainage features follow the natural slope to the extent possible. In conjunction with following the natural topography where possible, man-made pads are used due to the limited options for site layout, as constrained by the narrow parcel configuration and steep grades. The buildings are staggered to the extent possible while minimizing the extents of the grading area. While most of the site is vacant, development will include existing, disturbed areas where possible which are concentrate at the northern end of the site. Small decks and patios are incorporated into the buildings to limit grading but still be comfortable for future residents. Buildings are proposed to be a maximum of two-stories in height and with varied, pitched roofs, both of which will complement the existing slopes of the terrain. In some areas, the buildings will be shorter than the retaining walls on the west end of the site. Refer to Appendix J for the building floor plans and elevations. The building heights are compliant with the allowable height standards. The building types will vary slightly in height and paired with the site landscaping, these will mitigate the visual impacts of the development and complement the natural character of the hillside. Previously, a stepped foundation building was planned for the northern end of the site due to the building orientation, but this is no longer necessary since the disturbance area has been reduced.

Retaining wall tiers are separated horizontally by a distance of 10 feet and the walls are a height of 10 feet. The tiered wall design will help the transition to the natural topography of the hillside. The retaining walls on the west and east sides of the development help to balance the earthwork of the site. This will limit hauling of material to and from the site during construction. Landscaping will be provided at each retaining wall bench/tier in accordance with Washoe County Standards and to mitigate the visual impact of the development.

The proposed Chocolate Drive road is located on the east side of the site to protect the hillside as much as possible and is designed in accordance with Washoe County standards. The slopes adjacent to the roadway are designed in a uniform manner and compliant with code. The roadway includes a sidewalk for pedestrians. Driveway intersections are provided at every crossroad and driveways are provided for every adjacent resident as has been coordinated with Washoe County. If common driveways are allowed/encourage by the County, this can be incorporated into the site design at a later time. The roadway is designed in accordance with Section 110.424.45 and the Geotechnical Report and Preliminary Slope Stability Analysis. (See Section 2.2 and Appendix N for more information.)

At the northmost end of the site, there is a proposed public trailhead in an open space easement for Washoe County Regional Parks and Open Space. This is in addition to the open space split-zoning of the parcel that complements the adjacent Red Hill open space. This trailhead increases access to useable open space and is consistent with Washoe County code.

In accordance with Section 110.424.50, retaining walls will help act as fuel breaks to reduce the risk of fire spreading towards or from the development area. Vegetation will be designed in accordance with this section. Building materials will meet Wildland Urban Interface standards to mitigate fire risk. The site has adequate fire flow and is designed to meet all fire hydrant requirements.

3.2.4. Application Requirements

The following has been provided to supplement the hillside grading requirements:

- | | |
|---|------------|
| ▪ Slope Analysis | Appendix E |
| ▪ Developable Area Map | Appendix G |
| ▪ Proposed Site and Grading Plans | Appendix H |
| ▪ Cut and Fill Analysis | Appendix K |
| ▪ Proposed Cross Sections | Appendix L |
| ▪ Viewshed Analysis | Appendix M |
| ▪ Preliminary Geotechnical Report and Fault Study | Appendix N |
| ▪ Supplemental Special Use Permit Documents | Appendix P |

3.3. Special Use Permit

A Special Use Permit is required per WCDL Section 110.438.28 Major Grading Permit Thresholds. The project triggers the following major grading thresholds: 110.438.28 (a)(1)(ii)(A), (a)(1)(iii)(A), and (a)(1)(iii)(B). The project is proposing grading on 23.87 acres across APN's 502-250-09 and 502-250-10. The total grading proposed is approximately 98,389 cubic yards of cut, 96,701 cubic yards of fill, and a net cut of 1,638 cubic yards. There are no modifications requested with this Special Use Permit.

The proposed design will result in cuts greater than 10 feet at the southern end of Chocolate Drive, within some detention basins, and along the western edge of the project site where retaining walls are proposed. Areas of fills greater than 10 feet will be limited to the east side of the project site. The proposed design seeks to complement the existing terrain to the greatest extent possible and limit grading to a smaller area of disturbance within the property. Refer to the cut fill analysis exhibit in Appendix K for more detail.

3.3.1. Special Use Permit Findings

Per section 110.810.30 of the Washoe County Development Code, prior to approving an application for a Special Use Permit, the Board of Adjustment or a hearing examiner shall find that all of the findings are true. The project meets the Special Use Permit findings as explained below:

A) Consistency. The proposed use is consistent with the action programs, policies, standards, and maps of the Master Plan and the Area plan in which the project is located.

a. **The proposed Chocolate Drive project is consistent with the Washoe County Master Plan and Washoe County Land Development Code standards. The Envision Washoe 2040 Master Plan and supports the following visions and principles:**

i. **Affordable housing. This development proposes low-income affordable housing which is an identified need within Washoe County due to the increasing housing prices over the last 10 years. Policies both by Washoe County and TMRSHA focus on creating flexible development standards and incentives to encourage creation of affordable housing and provide funding for affordable housing development. This developer is experienced in low-income affordable housing with over 30,000 doors open across the country for this type of housing. Extensive coordination with local jurisdictions, previous awarding of \$200,000 of HOME Consortium funds for this project, and the support for affordable housing in the Sun Valley Planning Area has been accomplished. This is conformance with Population and Housing Element Principles 1.2, 2.1, 3.1, 3.2, 3.5, 3.6, 4.2, 5.2, 5.5, and 6.3.**

As mentioned in PH Principle 3.2 – “Reduce regulatory barriers to the provision of affordable and workforce housing through methods including, but not limited to streamlining the development process or offering regulatory flexibility and/or financial incentives for affordable and attainable housing.”

ii. **Contribute to diverse housing options available in the area. This development will seek to provide a variety of housing options for Washoe County and the Sun Valley area. This affordable housing project fits within this adjacent single-family neighborhood. Multi-family residential is the focus of this project and has been requested as the type of housing that is needed in the Sun Valley Planning Area.**

iii. **Placement. The “rural” and suburban feel of living in an environment nearby to public open space, trails, and commercial amenities allows residents to have a safe and healthy place to live, raise a family, work, recreate, run and business, and retire. This type of housing with a location that is appropriate in relation to bus stops, nearby schools, and public open space access is a most ideal place for this project. A public open space easement, parking, and trailhead area has been proposed and coordinated with Washoe County Regional Parks and Open Space. This will preserve open space areas and ridgelines. New roads in replacement of dirt roads and sidewalks are proposed with this development (Chocolate Drive and 5th Avenue). Dark skies will be kept in the lighting design. Availability of transportation is within a half mile of the project site. This is conformance with the Sun Valley Planning Area Principles 2.1, 2.2, 7.2, 1.1, 1.4, and 3.3.**

- iv. **Communication.** As part of the Regional Form and Coordination Element, the project has engaged several agencies to make sure this project is planned well. This project has coordinated extensively with the TMRPA, SVGID, Washoe County Engineering, Planning, Regional Parks and Open Space, County Manager, District Attorney, County Surveyor, Nevada Division of Wildlife, local Tribes, U.S Fish and Wildlife, WCSD, and the community to provide input on the project. This project is an outstanding example of the coordination with agencies to produce a successful affordable housing project that also benefits the community with so many other amenities, design, and infrastructure. This is in conformance with RFC Principles 1.1, 1.2, 1.3, 1.4, 1.6, 2.1, 3.1, 3.2, 3.5, 4.1, 4.2, and 5.3.
- v. **Conservation of Natural and Cultural Resources.** The Red Hill Open Space and adjacent trails will be conserved. As coordinated with the County Regional Parks and Open Space, public trailhead access will be provided as part of this project as well as preventing illegal dumping, OHV travel, and degradation of public County lands with barriers on the project site to not allow for this to happen. Wildlife and sensitive vegetation species will be avoided in any part of the development. The local Tribes have been coordinated with and no artifacts have been found on the project site. Water resources will be conserved with connections to utilities with SVGID. Grading disturbance area will be limited to the north portion of the site to help maintain air quality. Regional parks and trails will be developed as additional recreational opportunities. This is in conformance with NCR Principles 1.1, 1.2, 1.3, 1.4, 1.5, 2.3, 2.4, 3.1, 3.2, 3.7, 4.1, 4.4, 5.4, 5.5, 6.1, 6.3, 6.7, and 7.2.
- vi. **Adaptation and Resiliency.** This project reduces impacts to parking, reduced the impervious footprint of the site, promotes water-wise and drought tolerant landscaping similar to the existing environment, and limits the site grading and orientation to less than half of the overall parcel area. This is in conformance with AR Principle 3.3.
- vii. **Land Use Element.** This project has coordinated with Washoe County Planning and TMRPA to allow for the intended use of multi-family in the previous Master Plan and Regulatory Zone Amendments which were approved in 2022. This project is suitable to the surrounding community and is an identified need of affordable housing. Also, WCSD has been coordinated with about the project and they indicate capacity for school enrollment for the project of 240 units. This project will also promote the Safe Routes to School program with the new sidewalk route along Chocolate Drive to the existing Lois Allen Elementary School. This project has adapted to new policies and conditions in the Washoe County Code and Master Plan. This is in conformance with LU Principles 1.1, 1.2, 1.4, 2.2, 3.1, 3.2, 3.3, 4.1, 4.2, 4.3, 4.6, 4.7, 5.3, 5.5, 5.6, 6.1, 6.2, and 6.3.
- viii. **Transportation Element.** The project has coordinated with the Washoe County RTC and will be providing a route to bus stops within a half mile to the project via the new sidewalk. The new paved road will promote vehicular access including emergency access, access for utility companies, and safer access for the surrounding community to existing homes. Public recreational use will also be provided within the development including a public trailhead parking lot. This is in conformance with TR Principles 1.1, 1.2, 1.4, 2.2, 2.3, 2.6, 3.5, 4.3, 4.5, and 4.6.

- B) Adequate Public Facilities. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities must exist or will be provided.
- a. **The Sun Valley General Improvement District (SVGID) has indicated that the parcel is within their service territory and will supply water, sanitary sewer, parks & recreation, and garbage services. Public facilities including water and sewer are available from the SVGID as outlined in the capacity study that was included in the previously approved Administrative Permit (WADMIN22-0029). An updated capacity study will be completed by SVGID before Construction Drawings begin. Roadway improvements are proposed to be upgraded along Chocolate Drive and will promote safe access to the development. Drainage issues with the project site and surrounding residential area will be greatly reduced with the addition of several detention basins, adequate storm drainage conveyance systems, and street drainage infrastructure. This is in conformance with PFS Principles 2.3, 3.1, 3.6, 3.7, 4.1, and 4.4.**
- C) Site Suitability. The site must be physically suitable for the proposed use and for the intensity of development.
- a. **The site is physically suitable for the proposed use and intensity of development. The parcel (APN 502-250-09) is subject to Hillside Development requirements, however proposed design is intended to complement the existing terrain in building design, grading, and landscaping. Development will be limited to approximately less than two-thirds of the parcel and avoid areas of constraint such as faults, plant species, drainageways, or steep slopes. The intensity of the development is suitable for the surrounding area and provides a variety of housing types in the area for residents. This is an ideal area for multi-family and affordable housing due to the location of transportation, schools, and recreational amenities. This is in conformance with the Policies in the Population and Housing Element as well as the Sun Valley Planning Area.**
- D) Issuance not Detrimental. Issuance of the permit may not be significantly detrimental to the public health, safety or welfare; have a detrimental impact on adjacent properties; or be detrimental to the character of the surrounding area.
- a. **Issuance of the special use permit for the proposed development will not be adverse to public health, safety, and welfare. The development and associated grading or drainage will not impact adjacent properties in a detrimental manner or be detrimental to the surrounding community. This multi-family project will complement existing uses and proposes improvements for public trail access, low-income housing, and public infrastructure that will benefit the surrounding community. The proposed drainage improvements will significantly improve the existing drainage patterns in the area. The public roadways will greatly improve safety and access to the area. The Project will provide for land uses of medium and high compatibility. The public welfare of the Sun Valley community will benefit from this affordable housing project.**

E) Effect on a Military Installation. If a military installation is required to be noticed pursuant to this article, the effect of the issuance of the permit will not be detrimental to the location, purpose and mission of the military installation.

a. **This finding is not applicable since there are no military installations in proximity to the project site.**

APPENDIX A
WASHOE COUNTY DEVELOPMENT APPLICATION

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

| | | | |
|---|------------------|---|-----------------|
| Project Information | | Staff Assigned Case No.: _____ | |
| Project Name: Chocolate Drive Multi-Family | | | |
| Project Description: The project is a proposed low income affordable multi-family apartment construction consisting of twenty 2-story buildings (240 units) with a clubhouse and swimming pool, covered and garage parking spaces, mail kiosk, playground, and recreational amenities. This submittal includes an Amendment of Conditions to the Administrative Permit (WADMIN22-0029) and a Major Grading Special Use Permit. Please refer to detailed project narrative for specifics. | | | |
| Project Address: 0 W Gepford Pkwy, Sun Valley, NV 89433 | | | |
| Project Area (acres or square feet): 45.51 AC for 502-250-09 and 2.75 AC for 502-250-10. 48.26 AC total | | | |
| Project Location (with point of reference to major cross streets AND area locator): | | | |
| The parcel is located at 0 W Gepford Pkwy in southwest Sun Valley, west of Sun Valley Blvd, and on the western half of Chocolate Drive between West 2nd Ave and West 5th Ave. | | | |
| Assessor's Parcel No.(s): | Parcel Acreage: | Assessor's Parcel No.(s): | Parcel Acreage: |
| 502-250-09 | 45.51 | | |
| 502-250-10 | 2.75 | | |
| Indicate any previous Washoe County approvals associated with this application: Case No.(s). #WSUP23-0001; #WADMIN22-0029; #WRZA22-0003; #WMPA22-003 | | | |
| Applicant Information (attach additional sheets if necessary) | | | |
| Property Owner: | | Professional Consultant: | |
| Name: Chocolate Group, LLC | | Name: Kimley-Horn and Associates, Inc | |
| Address: 3860 GS Richards Blvd | | Address: 7900 Rancharrah Parkway, Suite 100 | |
| Carson City, NV | Zip: 89703 | Reno, NV | Zip: 89511 |
| Phone: 775-885-8847 | Fax: | Phone: 775-200-1978 | Fax: |
| Email: randy@kbcallc.com | | Email: chris.waechter@kimley-horn.com | |
| Cell: 775-560-2683 | Other: 775-885-9 | Cell: 805-850-9102 | Other: |
| Contact Person: Randal Kuckenmeister | | Contact Person: Chris Waechter | |
| Applicant/Developer: | | Other Persons to be Contacted: | |
| Name: Pedcor Investments, A Limited Liability Company | | Name: | |
| Address: 770 3rd Ave SW | | Address: | |
| Carmel, IN | Zip: 46032 | | Zip: |
| Phone: 317-705-7970 | Fax: | Phone: | Fax: |
| Email: rrodgers@pedcor.net | | Email: | |
| Cell: 317-460-4426 | Other: | Cell: | Other: |
| Contact Person: Ryan Rodgers | | Contact Person: | |
| For Office Use Only | | | |
| Date Received: | Initial: | Planning Area: | |
| County Commission District: | | Master Plan Designation(s): | |
| CAB(s): | | Regulatory Zoning(s): | |

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

The project requests a Special Use Permit for major grading. The project is proposing grading on slopes less than and greater than fifteen (15) percent, 23.87 acres of grading area across APN's 502-250-09 and 502-250-10, and excavation of approximately 98,389 cubic yards. Please refer to detailed narrative for specific project details.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

A site plan is provided with the submittal package. Please see detailed narrative and site plan exhibits included.

3. What is the intended phasing schedule for the construction and completion of the project?

The project will be constructed in one phase and is estimated to be completed by 2028.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The site mostly consists of undeveloped land with no significant site features (rock outcroppings, perennial streams, protected plants, habitat areas, ect.) and can accommodate multi-family apartments. Please see detailed narrative for more project information.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

The project will bring affordable housing to the Sun Valley/Washoe County area and bring Chocolate Drive to County Standards, which will increase traffic safety, decrease dust, aid emergency response times and utility services access. The development will clean up and discourage dumping on the site and Red Hill. The project plans to significantly improve the existing storm drainage patterns which currently do negatively impact nearby parcels. The development will also improve traffic service at the 2nd Ave and Sun Valley Blvd intersection. A public open space easement and parking area is proposed for trailhead and open space access to Red Hill.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

The developed area will be limited to approximately two-thirds of the existing site to limit grading and hillside development impacts. Though there were neighborhood concerns about existing storm drainage runoff, the project proposes to improve the existing storm drainage patterns.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Parking is indicated on the site plan. There are 288 spaces including 120 carports/garages spaces required. The project proposes 360 spaces, including 20 garages, 102 carports, and 23 accessible spaces. An updated landscaping plan is included in the submittal containing lawn areas and some drought resistant plants. The location of signs and lighting has not changed since the previous Administrative Permit.

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

The major grading will be for a proposed project consisting of a low-income affordable multi-family residential development. The proposed design will follow requirements outlined in Article 424 Hillside Development and Article 438 Grading Standards. Please refer to detailed narrative for project specifics.

2. How many cubic yards of material are you proposing to excavate on site?

The grading proposes 98,339 cubic yards of material to be excavated and 96,701 cubic yards of fill. The net would be 1,638 cubic yards of cut.

3. How many square feet of surface of the property are you disturbing?

There is approximately 1,039,800 square feet (23.87 acres) of combined disturbance across APN 502-250-09 and 502-250-10.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

The site will be balanced to the extent possible. This will be accomplished through retaining walls on the west and east sides of the site. There will be a net of 1,638 cubic yards of cut.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. A Special Use Permit is required per Washoe County Development Code Section 110.438.28 Major Grading Permit Thresholds. Specifically, 110.438.28 (a)(1)(i)(B), (a)(1)(ii)(A), (a)(1)(iii)(A), and (a)(1)(iii)(B). The area, volume of earthwork, and cut and fills for the site require a Special Use Permit.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No grading has been completed on site previously.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes. All areas of disturbance are clearly shown on the grading plans.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, the disturbed area can be seen along Chocolate Drive properties, from Lois Allen Elementary School, from Sun Valley Boulevard, and 7th Avenue. Please refer to the detailed narrative and viewshed analysis for more detail.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Yes. Neighboring properties will be served by the proposed paved Chocolate Drive access, which will include driveway aprons for each residence along Chocolate Drive. All properties along Chocolate Drive from 2nd Ave to 5th Ave will benefit from this proposed infrastructure.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Proposed slopes are largely three to one (3:1) and all slopes are in accordance with Washoe County standards. To minimize grading extents, the grading for Chocolate Drive road will have 2:1 slope and be designed in accordance with the Geotechnical Addendum in Appendix N. The storm drainage improvements are designed with two to one (2:1) slopes. A combination of best management practices (BMP's) will be utilized to prevent erosion on slopes. These erosion protection measures are shown on the site and grading plans.

11. Are you planning any berms?

| | | |
|------------------|----|--|
| Yes ^X | No | If yes, how tall is the berm at its highest? 10 feet |
|------------------|----|--|

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

The site does slope and retaining walls will be required. The maximum retaining wall height will be 10 feet in height with a 10-foot tier between each wall. The construction of the retaining wall will be a pile wall or mechanically stabilized earth made of concrete, timber, or steel.

13. What are you proposing for visual mitigation of the work?

Site grading is proposed to slope along the existing terrain to limit visual impact. Mature landscaping, fencing, retaining walls, and proposed buildings will screen disturbance areas. Please refer to detailed narrative for specific grading details and viewshed analysis.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

Trees will not be removed from the site as current vegetation consists of brush.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Areas to be revegetated will include a native seed mix to the approval of WSCD.

16. How are you providing temporary irrigation to the disturbed area?

If deemed necessary, temporary irrigation will be provided to the disturbed area during construction.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

Yes. Revegetation (as necessary) will include a WSCD approved seed mix.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

| | | |
|-----|-----------------|-------------------------------|
| Yes | No ^X | If yes, please attach a copy. |
|-----|-----------------|-------------------------------|

APPENDIX C
SPECIAL USE PERMIT APPLICATION

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Parking is indicated on the site plan. There are 288 spaces including 120 carports/garages spaces required. The project proposes 360 spaces, including 20 garages, 102 carports, and 23 accessible spaces. An updated landscaping plan is included in the submittal containing lawn areas and some drought resistant plants. The location of signs and lighting has not changed since the previous Administrative Permit.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

| | |
|------------------------------|-----------------------------|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|------------------------------|-----------------------------|

9. Utilities:

| | |
|---------------------------------|--|
| a. Sewer Service | |
| b. Electrical Service | |
| c. Telephone Service | |
| d. LPG or Natural Gas Service | |
| e. Solid Waste Disposal Service | |
| f. Cable Television Service | |
| g. Water Service | |

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

| | | | |
|--------------------|--|--------------------|--|
| h. Permit # | | acre-feet per year | |
| i. Certificate # | | acre-feet per year | |
| j. Surface Claim # | | acre-feet per year | |
| k. Other # | | acre-feet per year | |

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

| |
|--|
| |
|--|

10. Community Services (provided and nearest facility):

| | |
|-------------------------|--|
| a. Fire Station | |
| b. Health Care Facility | |
| c. Elementary School | |
| d. Middle School | |
| e. High School | |
| f. Parks | |
| g. Library | |
| h. Citifare Bus Stop | |

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

The grading proposes 98,339 cubic yards of material to be excavated and 96,701 cubic yards of fill. The net would be 1,638 cubic yards of cut.

3. How many square feet of surface of the property are you disturbing?

There is approximately 1,039,800 square feet (23.87 acres) of combined disturbance across APN 502-250-09 and 502-250-10.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

| | | |
|-----|----|--|
| Yes | No | If yes, how tall is the berm at its highest? |
|-----|----|--|

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

The site does slope and retaining walls will be required. The maximum retaining wall height will be 10 feet in height with a 10-foot tier between each wall. The construction of the retaining wall will be a pile wall or mechanically stabilized earth made of concrete, timber, or steel.

13. What are you proposing for visual mitigation of the work?

Site grading is proposed to slope along the existing terrain to limit visual impact. Mature landscaping, fencing, retaining walls, and proposed buildings will screen disturbance areas. Please refer to detailed narrative for specific grading details and viewshed analysis.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

| |
|--|
| |
|--|

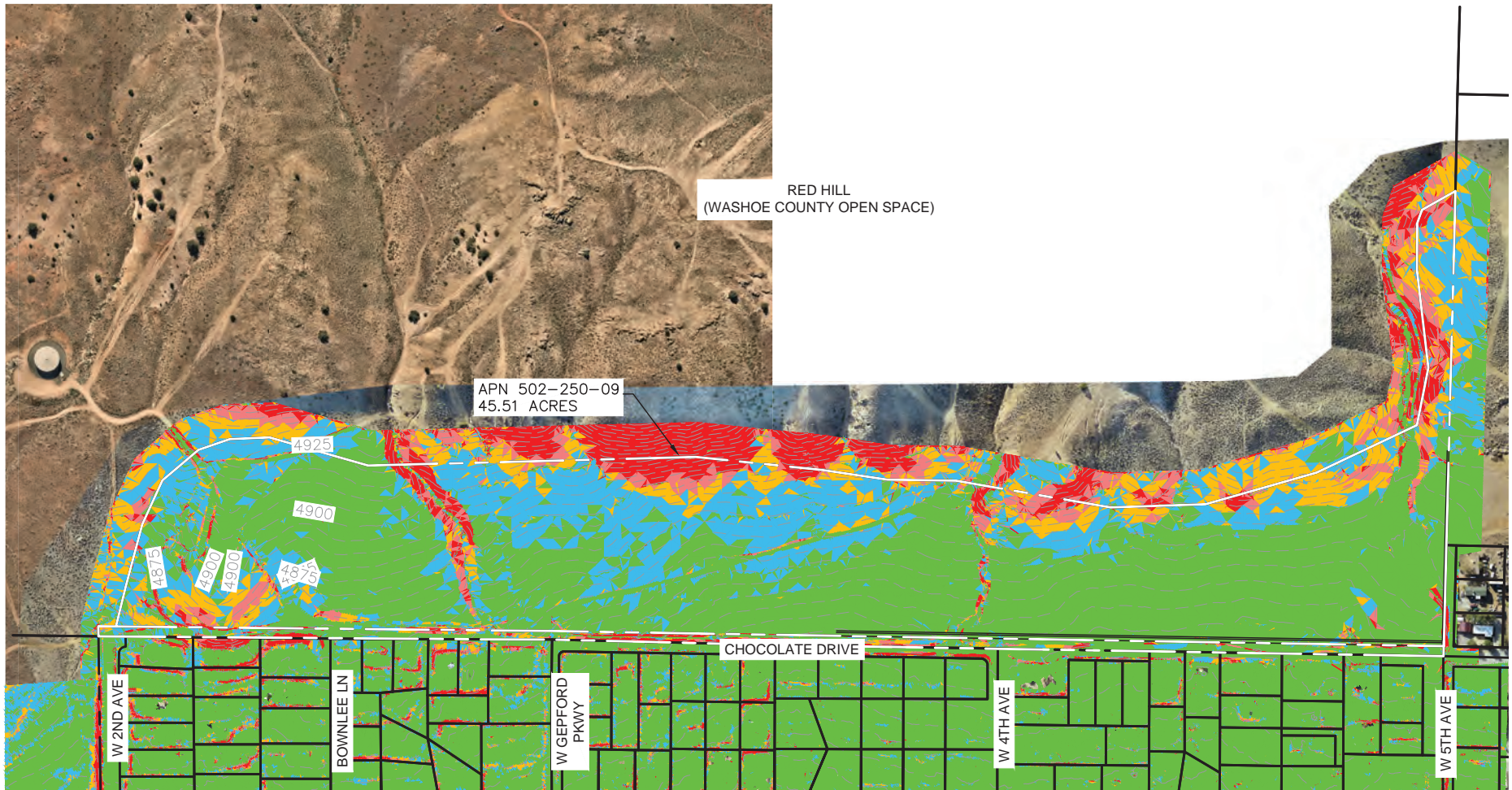
17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

| |
|--|
| |
|--|

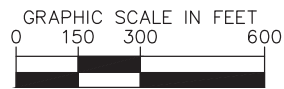
18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

| | | |
|-----|----|-------------------------------|
| Yes | No | If yes, please attach a copy. |
|-----|----|-------------------------------|

APPENDIX E
SLOPE ANALYSIS



- * APPROXIMATELY 43%± OF SITE (±19.56 ACRES) IS OVER 15% IN SLOPE.
- * APPROXIMATELY 8%± OF SITE (±3.64 ACRES) IS OVER 30% IN SLOPE.



Slopes Table

| Number | Minimum Slope | Maximum Slope | Color |
|--------|---------------|---------------|----------|
| 1 | 0.04% | 15.00% | Green |
| 2 | 15.00% | 20.00% | Blue |
| 3 | 20.00% | 25.00% | Yellow |
| 4 | 25.00% | 30.00% | Red |
| 5 | 30.00% | 57879.93% | Dark Red |

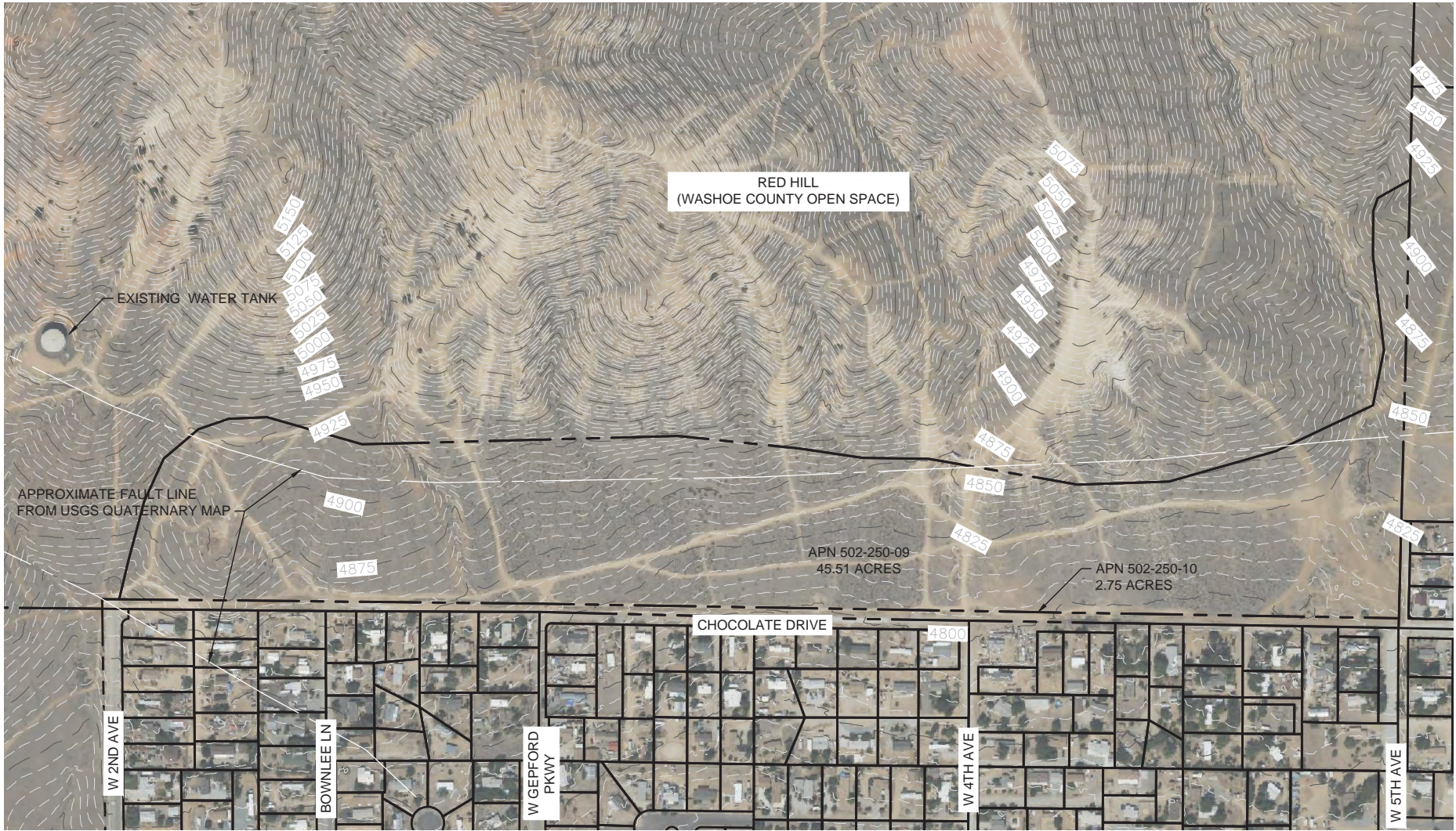
6400 CHOCOLATE DRIVE SLOPE ANALYSIS WASHOE COUNTY, NEVADA

Kimley»Horn

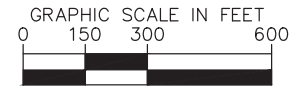
7900 Rancharrah Parkway
Suite 100
Reno, Nevada 89511
775-200-1978

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY, TREE LOCATION SURVEY, UTILITIES, ETC. ADDITIONAL SURVEY IS REQUIRED TO PHYSICALLY LOCATE EXISTING TREES AND VERIFY TOPOGRAPHY SHOWN.

APPENDIX F
EXISTING CONDITIONS EXHIBIT AND ALTA



6400 CHOCOLATE DRIVE EXISTING CONDITION WASHOE COUNTY, NEVADA



7900 Rancharrah Parkway
Suite 100
Reno, Nevada 89511
775-200-1978

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY, TREE LOCATION SURVEY, UTILITIES, ETC. ADDITIONAL SURVEY IS REQUIRED TO PHYSICALLY LOCATE EXISTING TREES AND VERIFY TOPOGRAPHY SHOWN.

SCHEDULE B, PART II EXCEPTIONS

1. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS, PROCEEDINGS BY A PUBLIC AGENCY WHICH MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS.
2. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION THEREOF.
3. EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
4. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND THAT ARE NOT SHOWN BY THE PUBLIC RECORDS.
5. UNPATENTED MINING CLAIMS, (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF, (C) WATER RIGHTS OR CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B) OR (C) ARE SHOWN BY THE PUBLIC RECORDS.
6. ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR, MATERIAL OR EQUIPMENT, UNLESS SUCH LIEN IS SHOWN BY THE PUBLIC RECORDS AT DATE OF POLICY AND NOT OTHERWISE EXCEPTED FROM COVERAGE HEREIN.

EXCEPTIONS 1-6 WILL BE OMITTED ON EXTENDED COVERAGE POLICIES

7. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. (NOT PLOTTABLE)
8. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT PLOTTABLE)
9. ANY TAXES THAT MAY BE DUE, BUT NOT ASSESSED, FOR NEW CONSTRUCTION WHICH CAN BE ASSESSED ON THE UNSECURED PROPERTY ROLLS, IN THE OFFICE OF THE COUNTY ASSESSOR, PER NEVADA REVISED STATUTE 361.260. (NOT PLOTTABLE)
10. ANY TAXES THAT MAY BE DUE AS PROVIDED UNDER NRS 361.4725. (NOT PLOTTABLE)
11. ANY UNPAID CHARGES DUE THE SUN VALLEY GENERAL IMPROVEMENT DISTRICT SPECIFIC AMOUNTS MAY BE OBTAINED BY CALLING 775-673-2226. (NOT PLOTTABLE)
12. ANY UNPAID CHARGES DUE THE WASHOE COUNTY SEWER & WATER DISTRICT. SPECIFIC AMOUNTS MAY BE OBTAINED BY CALLING THE WASHOE COUNTY WATER RESOURCES, UTILITY SERVICES DIVISION AT P.O. BOX 11150, RENO, NV 89520, (775) 954-4601. (NOT PLOTTABLE)
13. THOSE TAXES FOR THE FISCAL YEAR JULY 1, 2021 THROUGH JUNE 30, 2022, INCLUDING ANY SECURED PERSONAL PROPERTY TAXES COLLECTED BY THE COUNTY TREASURER:
APN 502-250-09
1ST INSTALLMENT \$ 671.84 PAID
2ND INSTALLMENT \$ 669.84
3RD INSTALLMENT \$ 669.84
4TH INSTALLMENT \$ 669.84

TOTAL \$ 2,681.36

NOTE:
SAID TAXES BECOME A LIEN ON JULY 1, 2021, EACH INSTALLMENT WILL BECOME DUE AND PAYABLE ON THE FOLLOWING DATES:

1ST INSTALLMENT IS DUE ON THE 3RD MONDAY OF AUGUST, 2021.
2ND INSTALLMENT IS DUE ON THE 1ST MONDAY OF OCTOBER, 2021.
3RD INSTALLMENT IS DUE ON THE 1ST MONDAY OF JANUARY, 2022.
4TH INSTALLMENT IS DUE ON THE 1ST MONDAY OF MARCH, 2022.

EACH INSTALLMENT WILL BECOME DELINQUENT TEN (10) DAYS AFTER DUE (AFFECTS PARCEL 1) (NOT PLOTTABLE)
14. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR JULY 1, 2021 THROUGH JUNE 30, 2022 ARE EXEMPT, IF THE EXEMPT STATUS IS TERMINATED AN ADDITIONAL TAX MAY BE LEVIED. A.P. NO.: 502-250-10.

(AFFECTS PARCEL 2) (NOT PLOTTABLE)

THE FOLLOWING MATTERS AFFECT ALL PARCELS:

15. RIGHTS OF WAY FOR ANY EXISTING ROADS, TRAILS, CANALS, DITCHES, FLUMES, CONDUITS, PIPE, POLE OR TRANSMISSION LINES OR UNDER, OVER, THROUGH OR ACROSS SAID PREMISES, RIGHT OF WAY TO THE SUN VALLEY GENERAL IMPROVEMENT DISTRICT GRANTED BY THE BUREAU OF LAND MANAGEMENT, NVN - 000284. (AFFECTS PARCELS 1 & 2)
16. INTENTIONALLY DELETED.
17. RESERVATIONS AND PROVISIONS AS CONTAINED IN PATENT FROM THE UNITED STATES OF AMERICA, RECORDED APRIL 10, 2001, IN BOOK N/A OF OFFICIAL RECORDS, AS INSTRUMENT NO. 2541714. AN EASEMENT AS CONTAINED IN THE ABOVE DOCUMENT FOR DITCHES AND CANALS AND INCIDENTAL PURPOSES, (DITCHES & CANALS NOT PLOTTABLE) (OTHER GRANTS OF EASEMENTS AS SHOWN ON SURVEY)
18. EASEMENTS, DEDICATIONS, RESERVATIONS, PROVISIONS, RELINQUISHMENTS, REDTALS, CERTIFICATES, AND ANY OTHER MATTERS AS PROVIDED FOR OR DELINEATED ON PARCEL MAP NO. 3767 REFERENCED IN THE LEGAL DESCRIPTION CONTAINED HEREIN. REFERENCE IS HEREBY MADE TO SAID PLAT FOR PARTICULARS. (AS SHOWN ON SURVEY SEE NOTES 4, 5 & 7).
19. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT TO GRANT RIGHT-OF-WAY AND ACCESS AND UTILITY EASEMENT" RECORDED AUGUST 27, 2001 AS INSTRUMENT NO. 2588709 OF OFFICIAL RECORDS. (AFFECTS PARCEL 2) (AS SHOWN ON SURVEY).
20. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH WOULD BE DISCLOSED BY A CORRECT ALTA/NSPS SURVEY.
21. RIGHTS OF PARTIES IN POSSESSION.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF WASHOE, STATE OF NEVADA, AND DESCRIBED AS FOLLOWS:

PARCEL 1:

PARCEL 4 OF PARCEL MAP NO. 3767, FILED IN THE OFFICE OF THE COUNTY RECORDER, WASHOE COUNTY, STATE OF NEVADA, ON APRIL 25, 2001, AS DOCUMENT NO. 2546369, OF OFFICIAL RECORDS.

PARCEL 2:

THAT PORTION OF CHOCOLATE DRIVE DEDICATED TO THE COUNTY OF WASHOE ON PARCEL MAP NO. 3767, FILED IN THE OFFICE OF THE COUNTY RECORDER, WASHOE COUNTY, STATE OF NEVADA, ON APRIL 25, 2001, AS DOCUMENT NO. 2546369, OFFICIAL RECORDS.

THE ABOVE MENTIONED OFFER OF DEDICATION (PARCEL 2) WAS REJECTED BY WASHOE COUNTY OWNERSHIP UNDER CHOCOLATE GROUP, LLC.

SURVEYOR'S CERTIFICATE

TO: PEDCOR INVESTMENTS, A LIMITED LIABILITY COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY

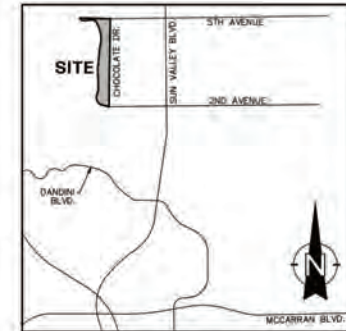
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(c), 6(d), 7(c), 8, 9, 10, 11(a), 11(b), 12, 13, 14, 15, 16, 17, 18, 19 AND 20 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 2021.

DATE OF PLAT OR MAP: MARCH 17, 2022



03/17/2022

GUILLELMO C. CAREY
NEVADA LICENSED LAND SURVEYOR NO. 17758
MAPCA SURVEYS, INC.



VICINITY MAP
N.T.S.

ALTA/NSPS LAND TITLE SURVEY
Pecdor Investments, A Limited Liability Company
6400 CHOCOLATE DRIVE
SUN VALLEY, NEVADA 89433
FIRST AMERICAN TITLE INSURANCE COMPANY

ORDER NO. NCS-1087613-INDY
DATED: AUGUST 6, 2021
APN 502-250-09 (45.51± ACRES)

PARCEL 4 and CHOCOLATE DRIVE (2.75±AC.)
PER PARCEL MAP No.3767
A PORTION OF SECTION 24
T.20 N. - R19 E., M.D.B.&M.
WASHOE COUNTY, NEVADA
MARCH 17, 2021

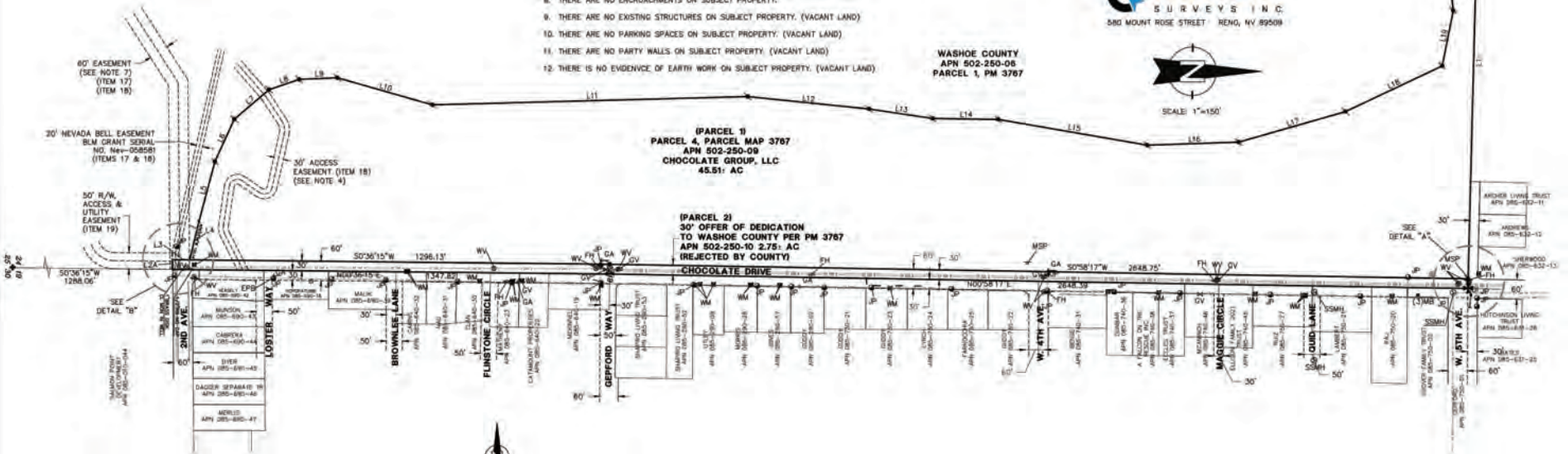

SURVEYS INC.
580 MOUNT ROSE STREET RENO, NV 89509

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S88°51'29"E | 130.57 |
| L2 | S88°51'29"E | 30.00 |
| L3 | S89°53'13"E | 54.41 |
| L4 | S02°58'19"W | 32.51 |
| L5 | N76°23'04"W | 122.14 |
| L6 | N76°23'04"W | 122.14 |
| L7 | N65°23'29"W | 144.17 |
| L8 | N65°23'29"W | 144.17 |
| L9 | N15°58'25"E | 343.28 |
| L10 | N20°25'56"W | 349.53 |
| L11 | N76°23'04"W | 122.14 |
| L12 | N07°02'22"E | 376.03 |
| L13 | N87°29'16"E | 188.01 |
| L14 | N03°04'48"E | 203.08 |
| L15 | N04°47'46"E | 465.98 |
| L16 | N15°24'51"W | 292.21 |
| L17 | N15°58'25"E | 343.28 |
| L18 | N20°25'56"W | 349.53 |
| L19 | N76°23'04"W | 122.14 |
| L20 | S83°19'49"W | 292.79 |
| L21 | S89°29'16"W | 138.53 |
| L22 | N10°22'02"W | 41.89 |
| L23 | N29°22'57"W | 114.44 |

NOTES

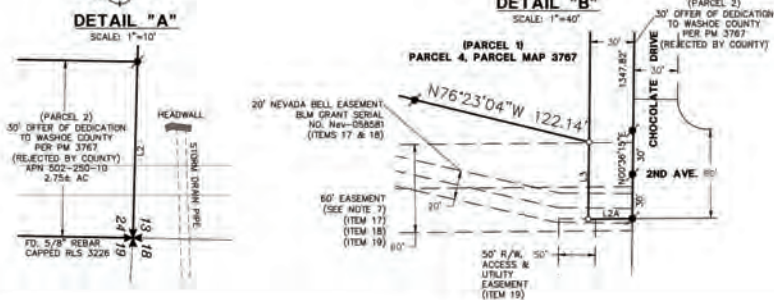
- THIS SURVEY IS BASED ON THE INFORMATION CONTAINED IN THAT PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NO. NCS-1087613-INDY, DATED AUGUST 6, 2021.
- NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES WAS REPORTED AT THE TIME OF THIS SURVEY.
- NO METLAND DELINEATION MARKERS WERE OBSERVED ON SITE AT THE TIME OF THIS SURVEY.
- THE 30' ACCESS EASEMENT THROUGH PARCELS 1 & 2 (BEND PARCEL 4 AND CHOCOLATE DR. 2.75± AC. AS SHOWN ON PARCEL MAP 3767) FOR THE BENEFIT OF THE SUN VALLEY GENERAL IMPROVEMENT DISTRICT IS RELOCATABLE AT THE DISCRETION OF THE OWNER OF PARCELS 1 & 2, AS NOTED ON SHEET 1 OF PARCEL MAP 3767, NOTE #3. (ITEM NO. 18)
- A UTILITY EASEMENT IS ALSO HEREBY GRANTED WITHIN EACH PARCEL FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY SERVICE FACILITIES TO THAT PARCEL AND THE RIGHT TO EXIT THAT PARCEL WITH SAID UTILITY FACILITIES FOR THE PURPOSE OF SERVING ADJACENT PARCELS AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THAT TIME AND THE UTILITY COMPANY PER PARCEL MAP #3767 (ITEM NO. 18)
- THE NATURAL DRAINAGE WILL NOT BE IMPAIRED DURING THE DEVELOPMENT OR IMPROVEMENT OF THESE PARCELS PER PARCEL MAP #3767 (ITEM NO. 18)
- 60' SUN VALLEY G&D ACCESS, WATER PIPELINE AND RESERVOIR SITE EASEMENT GRANTED BY BLM SERIAL NO. N-284 (ITEMS 17 & 18); A 60' SIERRA PACIFIC POWER CO. ELECTRIC TRANSMISSION EASEMENT GRANTED BY BLM SERIAL NO. N-1108 (ITEMS 17 & 18); AND A 60' COMMUNICATIONS LINE EASEMENT GRANTED BY BLM SERIAL NO. N-1228 (ITEMS 17 & 18).
- THERE ARE NO ENCROACHMENTS ON SUBJECT PROPERTY.
- THERE ARE NO EXISTING STRUCTURES ON SUBJECT PROPERTY. (VACANT LAND)
- THERE ARE NO PARKING SPACES ON SUBJECT PROPERTY. (VACANT LAND)
- THERE ARE NO PARTY WALLS ON SUBJECT PROPERTY. (VACANT LAND)
- THERE IS NO EVIDENCE OF EARTH WORK ON SUBJECT PROPERTY. (VACANT LAND)

ALTA/NSPS LAND TITLE SURVEY
Pedcor Investments, A Limited Liability Company
6400 CHOCOLATE DRIVE
SUN VALLEY, NEVADA 89433
FIRST AMERICAN TITLE INSURANCE COMPANY
 ORDER NO. NCS-1087613-INDY
 DATED: AUGUST 6, 2021
 APN 502-250-09 (45.51± ACRES)
PARCEL 4 and CHOCOLATE DRIVE (2.75± AC.)
PER PARCEL MAP No.3767
A PORTION OF SECTION 24
T.20 N. - R19 E., M.D.B.&M.
WASHOE COUNTY, NEVADA
MARCH 17, 2021



DETAIL "A"
 SCALE: 1"=10'

DETAIL "B"
 SCALE: 1"=40'



BASIS OF BEARINGS

NEVADA STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83 (84), DISTANCES SHOWN HEREON ARE GROUND DISTANCES, CALCULATED USING A GRID TO GROUND CORRIDIMED SCALE FACTOR OF 1.000197939

REFERENCES

PARCEL MAP #3767 FOR AMERICAN LAND CONSERVATORY, ACCORDING TO THE MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF WASHOE COUNTY, STATE OF NEVADA, ON APRIL 28, 2001, AS FILE NO. 2546369.

FLOOD ZONE

THIS PROPERTY IS ENTIRELY WITHIN FLOOD ZONE "X", AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) NO. 32031C0303G, EFFECTIVE MARCH 18, 2009.

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON CITY OF SPARKS BENCHMARK NO. 3036, A 2" BRASS DISK MARKING THE SOUTHEAST CORNER OF SECTION 24, T.20N.-R.19E. M.D.B.&M. ELEVATION = 4877.80

ZONING

ZONE: CACZ (SFR LAND - MDS/LDS ZONING)
 BUILDING SIZE: NO MIN./NO MAX.
 FRONT BUILDING SETBACK: 10 FEET.
 SIDE SETBACK: 0-10 FEET.
 REAR SETBACK: 0-10 FEET.
 BUILDING SEPARATION: 30 FEET MINIMUM BETWEEN MAIN BUILDINGS ON THE SAME LOT FOR DEVELOPMENTS OF 50 UNITS OR MORE, AND 10 FEET FOR DEVELOPMENTS OF LESS THAN 50 UNITS.
 BUILDING HEIGHT: ORC OVERLAY STANDARD: 100 FOOT HEIGHT LIMIT.
 PARKING: MULTI-FAMILY: 1.6 FOR 1 BEDROOM UNITS, 2.1 FOR 2 BEDROOM AND LARGER UNITS; 1 OF WHICH MUST BE AN ENCLOSED GARAGE OR CARPORT. (HANDICAP PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE TO TABLE 110.410.15.1 PER WASHOE COUNTY DEVELOPMENT CODE).

LEGEND

- NOTHING FOUND/SET
- FOUND 5/8" REBAR CAPPED PLS 6495 UNLESS INDICATED OTHERWISE
- ELECTRICAL PULL BOX
- JOINT/POWER POLE
- GUY ANCHOR
- METAL SIGN POST
- GAS VALVE/TEST STATION
- GAS METER
- SANITARY SEWER MANHOLE
- STORM DRAIN INLET
- DRAIN CULVERT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- TREE/CONIFEROUS
- MAISON
- CORNER OF SECTION
- QUARTER CORNER

| L# | BEARING | DISTANCE |
|-----|-------------|----------|
| L1 | S88°41'29"E | 1362.14' |
| L2 | S88°41'29"E | 30.00' |
| L2A | N89°34'14"E | 50.00' |
| L3 | S0°58'19"W | 52.51' |
| L4 | N78°23'04"W | 122.14' |
| L5 | N73°05'17"W | 190.45' |
| L6 | N65°23'29"W | 144.12' |
| L7 | N40°18'08"W | 145.31' |
| L8 | N18°50'59"W | 98.29' |
| L9 | N2°20'55"W | 118.13' |
| L10 | N13°54'24"E | 304.13' |
| L11 | N1°30'04"W | 973.53' |
| L12 | N5°50'22"E | 376.03' |
| L13 | N8°29'18"E | 188.01' |
| L14 | N0°50'48"E | 203.08' |
| L15 | N9°47'46"E | 465.88' |
| L16 | N1°52'43"W | 292.51' |
| L17 | N15°58'23"W | 343.28' |
| L18 | N25°18'56"W | 329.63' |
| L19 | N78°44'18"W | 174.13' |
| L20 | S83°19'49"W | 292.79' |
| L21 | N89°35'11"W | 138.53' |
| L22 | N10°22'09"W | 41.65' |
| L23 | N29°22'57"W | 114.44' |

ALTA/NSPS LAND TITLE SURVEY
Pedcor Investments, A Limited Liability Company
6400 CHOCOLATE DRIVE
SUN VALLEY, NEVADA 89433

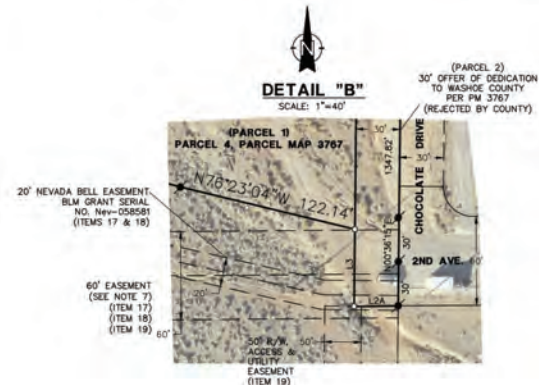
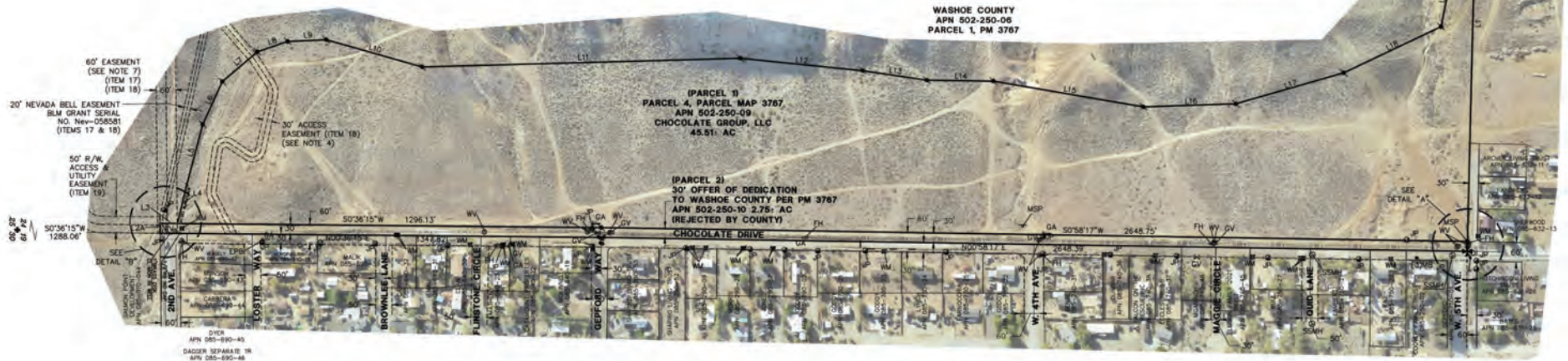
FIRST AMERICAN TITLE INSURANCE COMPANY

ORDER NO. NCS-1087613-INDY
 DATED: AUGUST 6, 2021
 APN 502-250-09 (45.51± ACRES)

PARCEL 4 and CHOCOLATE DRIVE (2.75± AC.)
 PER PARCEL MAP No.3767
 A PORTION OF SECTION 24
 T.20 N. - R19 E., M.D.B.&M.
 WASHOE COUNTY, NEVADA
 MARCH 17, 2021



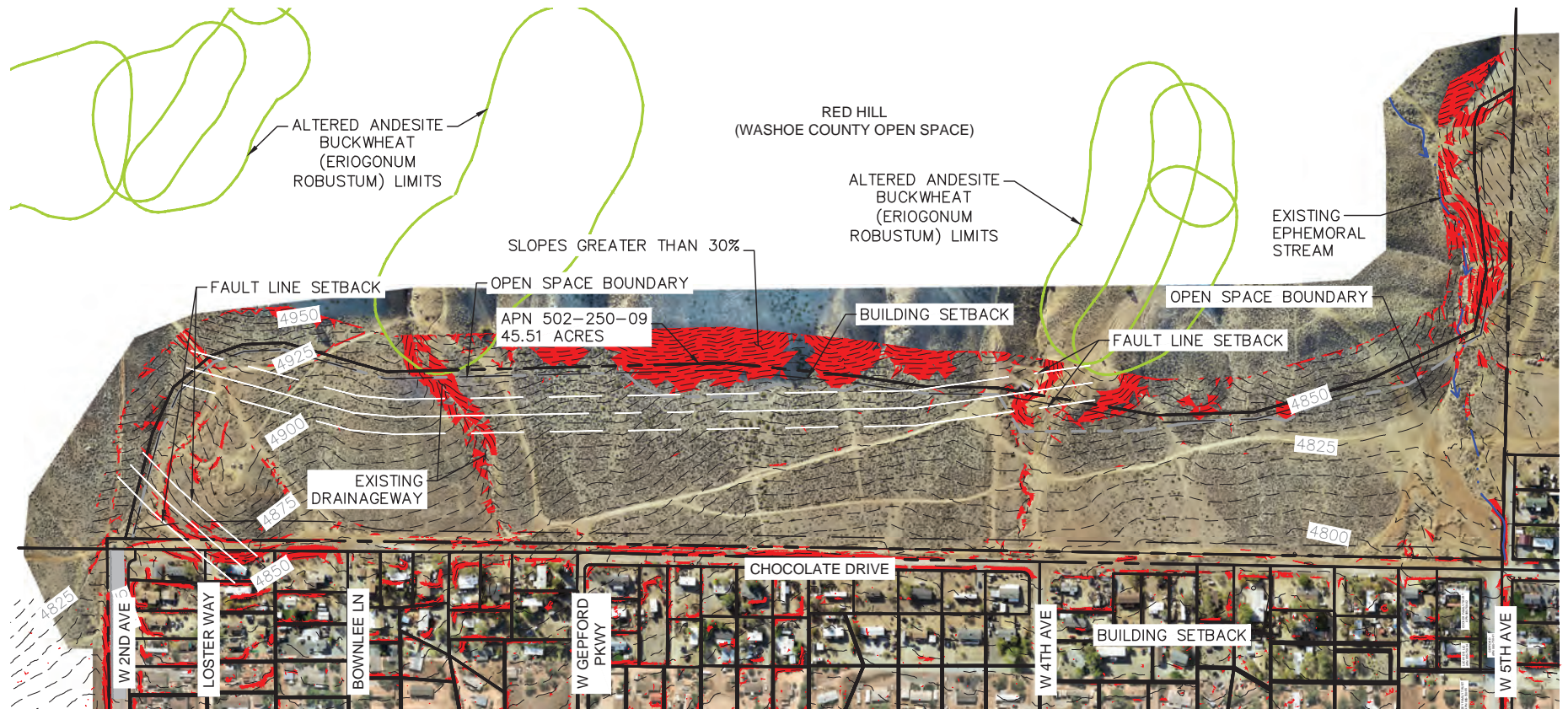
580 MOUNT ROSE STREET RENO, NV 89509



- LEGEND**
- NOTHING FOUND/SET
 - FOUND 5/8" REBAR CAPPED PLS 6495 UNLESS INDICATED OTHERWISE
 - ELECTRICAL PULL BOX
 - ⊕ JOINT/POWER POLE
 - + GA GUY ANCHOR
 - ⊕ MSP METAL SIGN POST
 - ⊕ GAS VALVE/TEST STATION
 - ⊕ GAS METER
 - ⊕ MAILBOX
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ STORM DRAIN INLET
 - ⊕ DRAIN CULVERT
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - ⊕ FH FIRE HYDRANT
 - ⊕ TREE/CONIFEROUS
 - ⊕ CORNER OF SECTION
 - ⊕ QUARTER CORNER

APPENDIX G
DEVELOPABLE AREA MAP

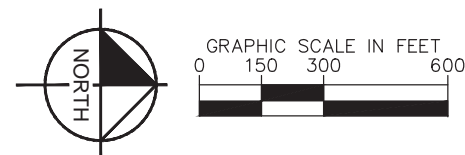
\\p101\MT_REMREN_Civil\192233000 - Pedcor Chocolate Drive\07 CAD\Exhibits\2022.12.20 - Developable Area Map 12/28/2022 1:22 PM



| Slopes Table | | | |
|--------------|---------------|---------------|-------|
| Number | Minimum Slope | Maximum Slope | Color |
| 1 | 30.00% | 57879.93% | |

- * APPROXIMATELY 43%± OF SITE (±19.56 ACRES) IS OVER 15% IN SLOPE.
- * APPROXIMATELY 8%± OF SITE (±3.64 ACRES) IS OVER 30% IN SLOPE.

| | AREA | |
|--|--------------|--------|
| | SQUARE FOOT | ACRES |
| TOTAL PARCEL | 1,982,369.00 | 45.51 |
| FAULT ZONES | (245,648.00) | (5.64) |
| SETBACK AND OPEN SPACE ZONING | (274,958.55) | (6.31) |
| SLOPE >30% | (9,009.46) | (0.21) |
| DRAINAGEWAY | (18,260.00) | (0.42) |
| TOTAL BUILDABLE AREA | 1,434,492.99 | 32.93 |
| PERCENTAGE OF PROJECT SITE BUILDABLE AREA | 72% | |



CHOCOLATE DRIVE DEVELOPABLE AREA MAP WASHOE COUNTY, NEVADA

Kimley»Horn

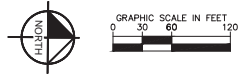
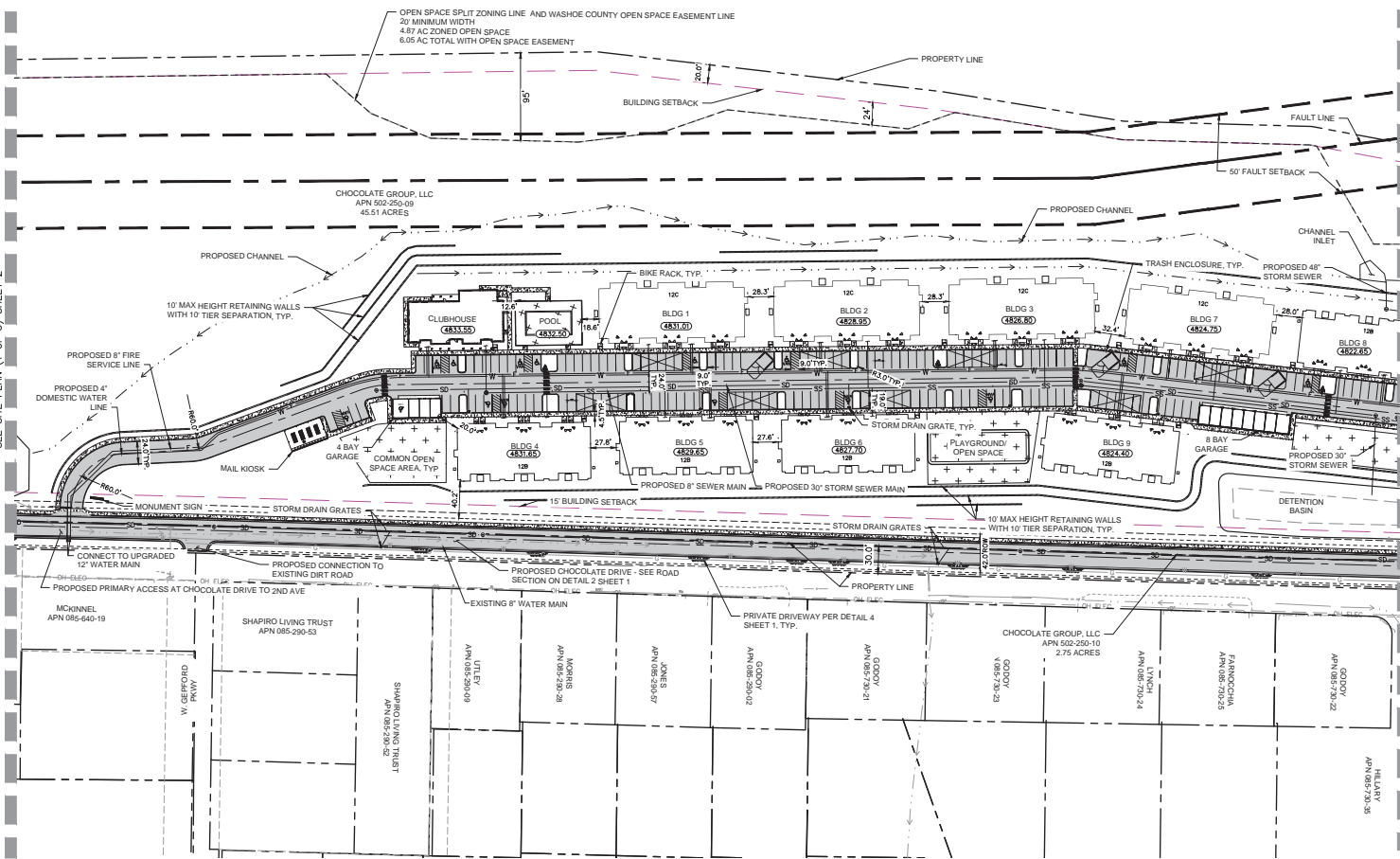
7900 Rancharrah Parkway
Suite 100
Reno, Nevada 89511
775-200-1978

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY, TREE LOCATION SURVEY, UTILITIES, ETC. ADDITIONAL SURVEY IS REQUIRED TO PHYSICALLY LOCATE EXISTING TREES AND VERIFY TOPOGRAPHY SHOWN.

DWG NAME
LAST SAVED

APPENDIX H
PROPOSED SITE AND GRADING PLANS

Projected by: M. J. Adams - Date: November 15, 2024 - 12:25:16pm - File Path: C:\Users\mjohns\OneDrive\Documents\Projects\2024\Chocolate\Chocolate_Site_Plan\2024\Chocolate_Site_Plan_1_of_3_Sheet_2.dwg - Plotter: AutoCAD Plotter - Plot Size: 36x48 - Plot Scale: 1/8"=1'-0" - Plot Orientation: Landscape - Plot Date: 11/15/2024 12:25:16 PM - The information on this drawing was prepared by the engineer or other qualified professional in accordance with the professional seal and signature of the engineer or other qualified professional. The engineer or other qualified professional is not responsible for the accuracy of the information on this drawing.

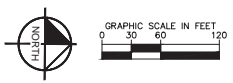
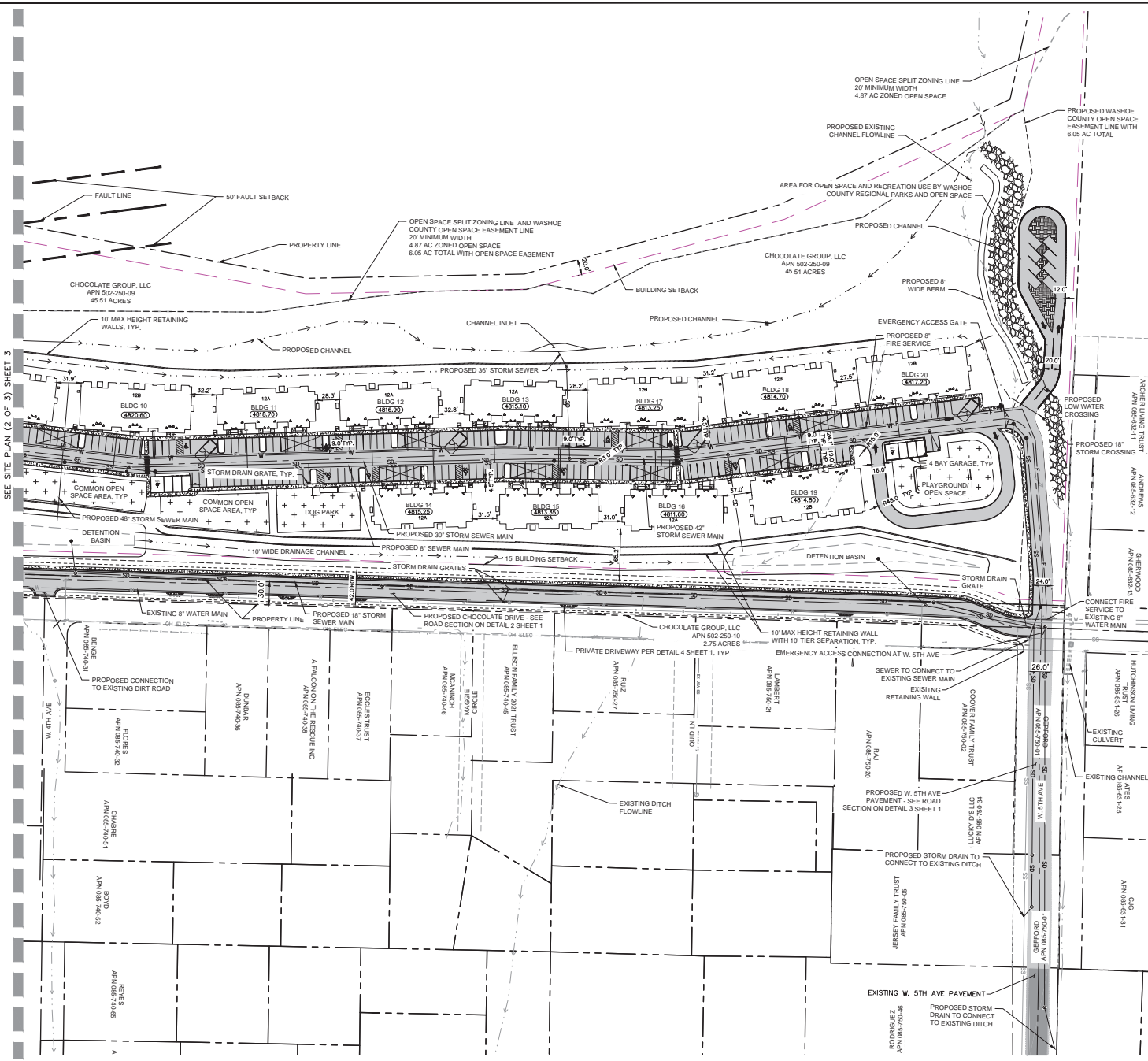


| SITE INFORMATION | |
|--------------------------------------|---|
| SITE APN | 502-250-09, 502-250-10 |
| SITE AREA | -09 PARCEL IS 45.51 AC -10 PARCEL IS 2.75 AC |
| ZONING | -09 PARCEL IS MEDIUM DENSITY URBAN 89% (40.64 AC) AND OPEN SPACE 11% (4.87 AC) -10 PARCEL IS GENERAL RURAL |
| EXISTING LAND USE | -09 PARCEL IS 100 (VACANT-UNKNOWN/OTHER) -10 PARCEL IS 170 (UNASSIGNED) |
| PROPOSED LAND USE | -09 PARCEL TO BE 340 (TEN OR MORE UNITS) -10 PARCEL TO BE PBRD (PUBLIC ROAD) |
| TOTAL NUMBER OF UNITS | 240 UNITS |
| TOTAL PARKING REQUIRED | 288 (INCLUDING 120 CARPORTS OR GARAGES, AND 8 ADA SPACES) |
| TOTAL PARKING PROVIDED | 360 (INCLUDING 20 GARAGES, 102 CARPORTS, AND 23 ADA SPACES) |
| PARKING RATIO | 1.5 PER UNIT |
| BICYCLE STORAGE REQUIRED | 60 LONG-TERM STORAGE SPACES 36 SHORT-TERM STORAGE SPACES |
| BICYCLE STORAGE PROVIDED | 240 LONG-TERM STORAGE SPACES IN UTILITY CLOSET WITH 1 IN EACH UNIT 105 SHORT-TERM STORAGE SPACES |
| CONSTRUCTION PHASING | ONE PHASE |
| TOTAL NUMBER OF BUILDINGS | 20 APARTMENTS; CLUBHOUSE (3,884 SF); 3 4-BAY GARAGES; 1 8-BAY GARAGE; 1 MAIL KIOSK |
| 1-BEDROOM 12-UNIT BUILDINGS (12A) | 6 BUILDINGS 61,440 SF |
| 2-BEDROOM 12-UNIT BUILDINGS (12B) | 10 BUILDINGS 83,928 SF |
| 3-BEDROOM 12-UNIT BUILDINGS (12C) | 4 BUILDINGS 104,280 SF |

| LEGEND | |
|--------|----------------------------------|
| | PROPERTY LINE |
| | SETBACK LINE |
| | OPEN SPACE SPLIT ZONING BOUNDARY |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | EXISTING FENCE |
| | PROPOSED RIGHT OF WAY |
| | EXISTING FAULTLINE |
| | 50' FAULT SETBACK |
| | EXISTING WATER |
| | EXISTING GAS |
| | EXISTING SEWER |
| | EXISTING OVERHEAD ELECTRIC LINE |
| | EXISTING FLOW PATH |
| | EXISTING ELECTRIC POWER POLE |
| | PROPOSED FLOW PATH |
| | PROPOSED WATER LINE |
| | PROPOSED STORM DRAIN |
| | PROPOSED SEWER |
| | PROPOSED SILT FENCE |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED ASPHALT PAVEMENT |
| | EXISTING ASPHALT PAVEMENT |
| | EXISTING SIDEWALK |
| | PROPOSED SIDEWALK |
| | PROPOSED RIP RAP |
| | COMMON OPEN SPACE AREA |
| | PROPOSED RETAINING WALL |
| | PROPOSED CARPORTS |

| | | |
|--|--|--|
| © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 7900 RANCHVIEW PARKWAY, SUITE 100, RENO, NV 89511 WWW.KIMLEY-HORN.COM WWW.KIMLEY-HORN.COM | PROJECT NO. 2024-001 DATE: NOV 15, 2024 SCALE: AS SHOWN DESIGNED BY: CW/JH CHECKED BY: AW/JF | DATE: _____ REVISIONS: _____ NO. _____ |
| | KIMLEY-HORN PROFESSIONAL ENGINEER - STATE OF NEVADA LICENSE NO. 54278 | |
| CHOCOLATE DRIVE SUN VALLEY, NV | | SHEET NUMBER 3 OF 8 |

Projected by: M. J. Adams Date: 11/18/2024 File Path: C:\Users\mjohns\OneDrive - Kimley-Horn and Associates, Inc. OneDrive\Projects\2024\Chocolate Drive\Chocolate Drive\Site Plan\Site Plan.dwg Plot Date: 11/18/2024
 This document applies only to the conditions and design parameters shown on the drawings. Any changes to the design parameters or conditions shown on the drawings shall be subject to a written change order issued by Kimley-Horn and Associates, Inc.

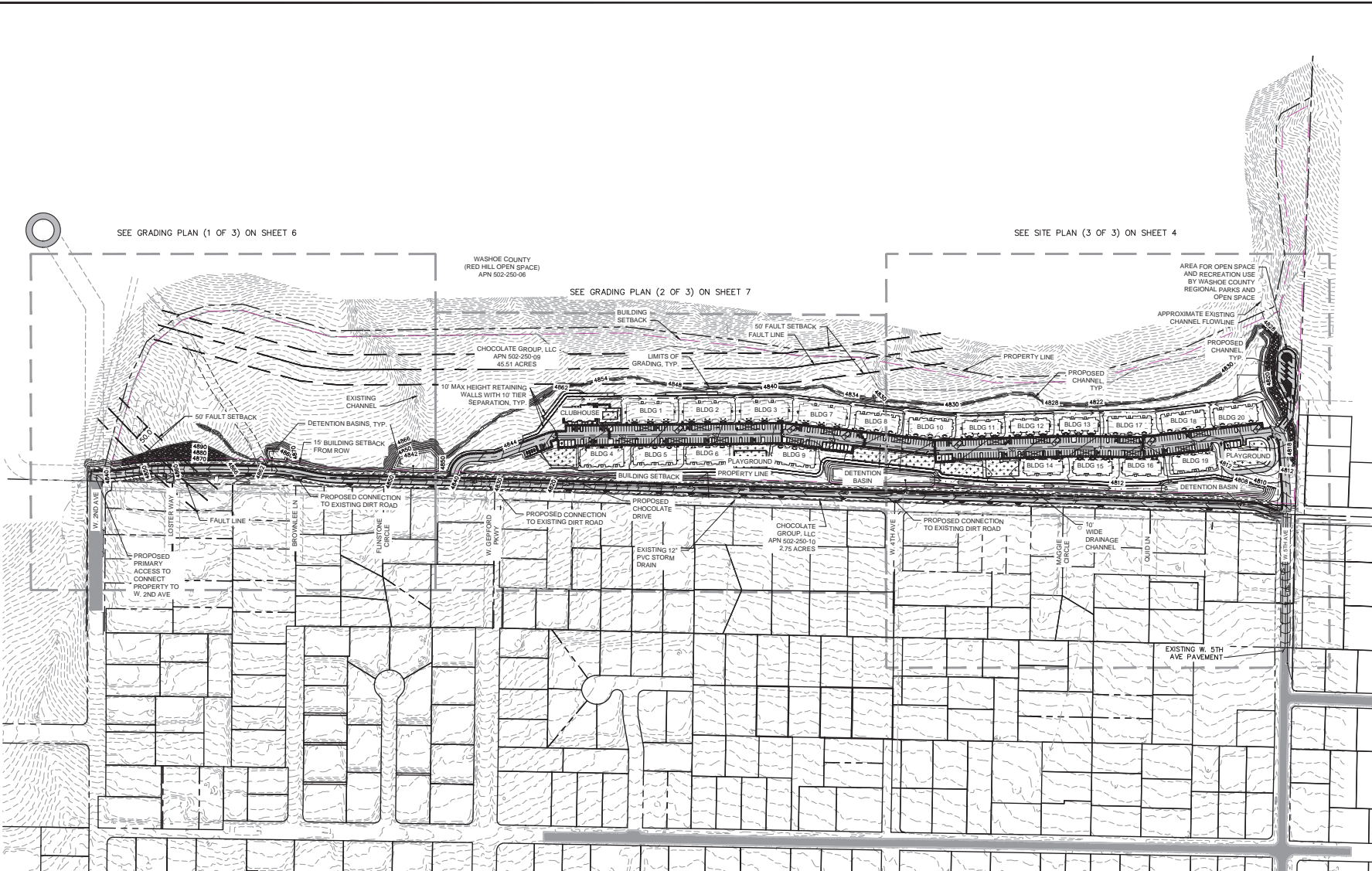


| SITE INFORMATION | |
|-----------------------------------|--|
| SITE APN | 502-250-09, 502-250-10 |
| SITE AREA | -09 PARCEL IS 45.51 AC -10 PARCEL IS 2.75 AC |
| ZONING | -09 PARCEL IS MEDIUM DENSITY URBAN 89% (40.64 AC) AND OPEN SPACE 11% (4.87 AC) -10 PARCEL IS GENERAL RURAL |
| EXISTING LAND USE | -09 PARCEL IS 100 (VACANT-UNKNOWN/OTHER) -10 PARCEL IS 170 (UNASSIGNED) |
| PROPOSED LAND USE | -09 PARCEL TO BE 340 (TEN OR MORE UNITS) -10 PARCEL TO BE PBRD (PUBLIC ROAD) |
| TOTAL NUMBER OF UNITS | 240 UNITS |
| TOTAL PARKING REQUIRED | 288 (INCLUDING 120 CARPORTS OR GARAGES, AND 8 ADA SPACES) |
| TOTAL PARKING PROVIDED | 360 (INCLUDING 20 GARAGES, 102 CARPORTS, AND 23 ADA SPACES) |
| PARKING RATIO | 1.5 PER UNIT |
| BICYCLE STORAGE REQUIRED | 60 LONG-TERM STORAGE SPACES 36 SHORT-TERM STORAGE SPACES |
| BICYCLE STORAGE PROVIDED | 240 LONG-TERM STORAGE SPACES IN UTILITY CLOSET WITH 1 IN EACH UNIT 105 SHORT-TERM STORAGE SPACES |
| CONSTRUCTION PHASING | ONE PHASE |
| TOTAL NUMBER OF BUILDINGS | 20 APARTMENTS; CLUBHOUSE (3,884 SF); 3 4-BAY GARAGES; 1 8-BAY GARAGE; 1 MAIL KIOSK |
| 1-BEDROOM 12-UNIT BUILDINGS (12A) | 6 BUILDINGS 61,440 SF |
| 2-BEDROOM 12-UNIT BUILDINGS (12B) | 10 BUILDINGS 83,928 SF |
| 3-BEDROOM 12-UNIT BUILDINGS (12C) | 4 BUILDINGS 104,280 SF |

| LEGEND | |
|--------|----------------------------------|
| | PROPERTY LINE |
| | SETBACK LINE |
| | OPEN SPACE SPLIT ZONING BOUNDARY |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | EXISTING FENCE |
| | PROPOSED RIGHT OF WAY |
| | EXISTING FAULTLINE |
| | 50' FAULT SETBACK |
| | EXISTING WATER |
| | EXISTING GAS |
| | EXISTING SEWER |
| | EXISTING OVERHEAD ELECTRIC LINE |
| | EXISTING FLOW PATH |
| | EXISTING ELECTRIC POWER POLE |
| | PROPOSED FLOW PATH |
| | PROPOSED WATER LINE |
| | PROPOSED STORM DRAIN |
| | PROPOSED SEWER |
| | PROPOSED SILT FENCE |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED ASPHALT PAVEMENT |
| | EXISTING ASPHALT PAVEMENT |
| | EXISTING SIDEWALK |
| | PROPOSED SIDEWALK |
| | PROPOSED RIP RAP |
| | COMMON OPEN SPACE AREA |
| | PROPOSED RETAINING WALL |
| | PROPOSED CARPORTS |

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| | PROJECT NO: 2024-0001 DATE: NOV 18, 2024 SCALE: AS SHOWN DESIGNED BY: CW/JA CHECKED BY: AW/JZ DRAWN BY: AW/JZ | SHEET NO. 4 OF 8 DATE: |
| | CHOCOLATE DRIVE SUN VALLEY, NV | REVISIONS: |
| | SITE PLAN (3 OF 3) | NO. |

Project: C:\Users\jmorris\OneDrive\Documents\Projects\2024\24-0000\24-0000 - CHOCOLATE DRIVE AND GRADING PLAN\24-0000 - CHOCOLATE DRIVE AND GRADING PLAN.dwg
 Date: 11/18/2024
 Time: 11:18:24 AM
 User: jmorris
 Plot Device: HP DesignJet T1100e
 Plot Style: HP-Plotter.ctb
 Plot Range: Extents
 Plot Scale: 1:1
 Plot Orientation: Landscape
 Plot Date: 11/18/2024
 Plot Time: 11:18:24 AM
 Plot User: jmorris
 Plot Device: HP DesignJet T1100e
 Plot Style: HP-Plotter.ctb
 Plot Range: Extents
 Plot Scale: 1:1
 Plot Orientation: Landscape
 Plot Date: 11/18/2024
 Plot Time: 11:18:24 AM
 Plot User: jmorris

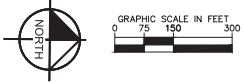


NOTES

CUT: 98.339 CY
 FILL: 96.701 CY
 NET: 1.638 (CUT)

EARTHWORK CALCULATIONS BASED ON SURFACE TO SURFACE UNADJUSTED ANALYSIS AND DO NOT ACCOUNT FOR OVER-EXCAVATION, PAVEMENT SECTION, BUILDING SLAB, OR BUILDING FOUNDATIONS.

TOTAL DISTURBANCE AREA: 23.87 ACRES
 SITE DISTURBANCE AREA: 17.04 ACRES



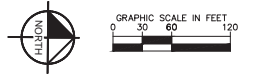
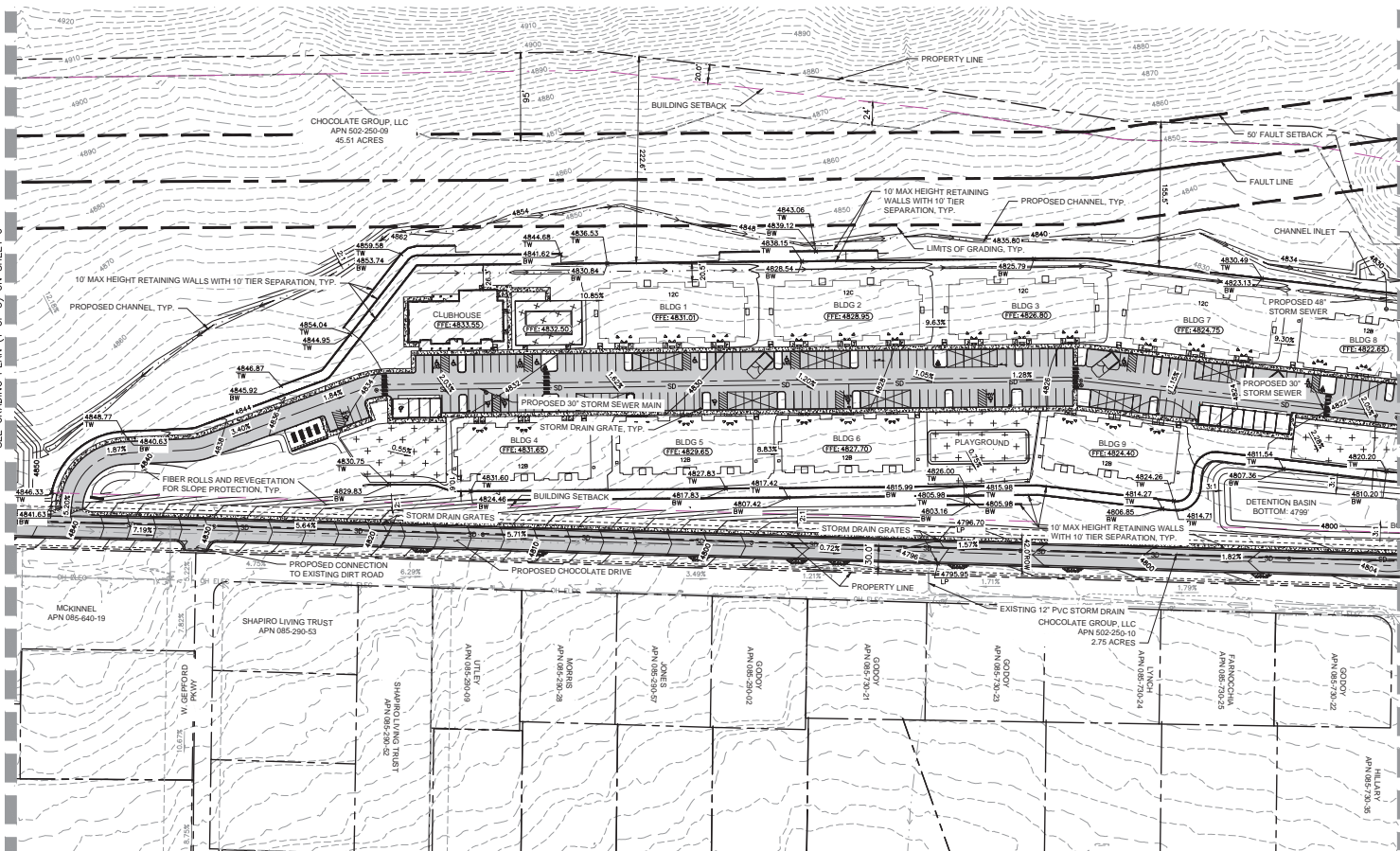
BASIS OF BEARINGS
 NEVADA STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83 (94), DISTANCES SHOWN HEREON ARE GROUND DISTANCES, CALCULATED USING A GRID TO GROUND COMBINED SCALE FACTOR OF 1.000197939

FLOOD ZONE
 THIS PROPERTY IS ENTIRELY WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) NO. 30031C0336, EFFECTIVE MARCH 16, 2009.

VERTICAL DATUM
 NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON CITY OF SPARKS BENCHMARK NO. 3036, A 2" BRASS DISK MARKING THE SOUTHEAST CORNER OF SECTION 24, T.20N-R.19E, M.D.B&M. ELEVATION = 4877.80

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| | PROJECT NO. _____ DATE _____ SCALE: AS SHOWN DESIGNED BY: CW/JH DRAWN BY: AW/ZF CHECKED BY: CW |
| GRADING INDEX | SHEET NUMBER 5 OF 8 |
| CHOCOLATE DRIVE SUN VALLEY, NV | REVISIONS NO. _____ DATE _____ |

Issued by: MFL Architects - Date Issued: 11/18/2024 - File Path: G:\View_GA\19253500 - 04800 - chocolate group, LLC plan, site and grading plan\Architectural Grading Plan.dwg
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SEE SITE PLAN (3 OF 3) SHEET 4

| LEGEND | |
|-----------------------------------|----------------------------------|
| [Symbol: Dashed line] | PROPERTY LINE |
| [Symbol: Dash-dot line] | SETBACK LINE |
| [Symbol: Long-dash line] | OPEN SPACE SPLIT ZONING BOUNDARY |
| [Symbol: Short-dash line] | EXISTING EASEMENT |
| [Symbol: Long-dash-dot line] | PROPOSED EASEMENT |
| [Symbol: Dash-dot-dot line] | EXISTING FENCE |
| [Symbol: Dotted line] | PROPOSED RIGHT OF WAY |
| [Symbol: Dash-dot-dot-dot line] | EXISTING FAULTLINE |
| [Symbol: Long-dash-dot-dot line] | 50' FAULT SETBACK |
| [Symbol: Dotted line with 'XXXX'] | EXISTING MAJOR CONTOURS |
| [Symbol: Dotted line with 'XXXX'] | EXISTING MINOR CONTOURS |
| [Symbol: Dotted line with 'XXXX'] | PROPOSED MAJOR CONTOURS |
| [Symbol: Dotted line with 'XXXX'] | PROPOSED MINOR CONTOURS |
| [Symbol: Arrow] | EXISTING FLOW PATH |
| [Symbol: Arrow] | EXISTING ELECTRIC POWER POLE |
| [Symbol: Arrow] | PROPOSED FLOW PATH |
| [Symbol: Arrow] | PROPOSED STORM DRAIN |
| [Symbol: Arrow] | PROPOSED SILT FENCE |
| [Symbol: Arrow] | PROPOSED FIRE HYDRANT |
| [Symbol: Arrow] | PROPOSED ASPHALT PAVEMENT |
| [Symbol: Arrow] | PROPOSED ASPHALT PAVEMENT |
| [Symbol: Arrow] | EXISTING SIDEWALK |
| [Symbol: Arrow] | PROPOSED SIDEWALK |
| [Symbol: Arrow] | PROPOSED RIP RAP |
| [Symbol: Arrow] | COMMON OPEN SPACE AREA |
| [Symbol: Arrow] | PROPOSED RETAINING WALL |
| [Symbol: Arrow] | PROPOSED CARPORTS |

| NO. | REVISIONS | DATE | BY |
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PROFESSIONAL ENGINEER - STATE OF NEVADA
 04/20/24
 No. 027536
 11/18/2024

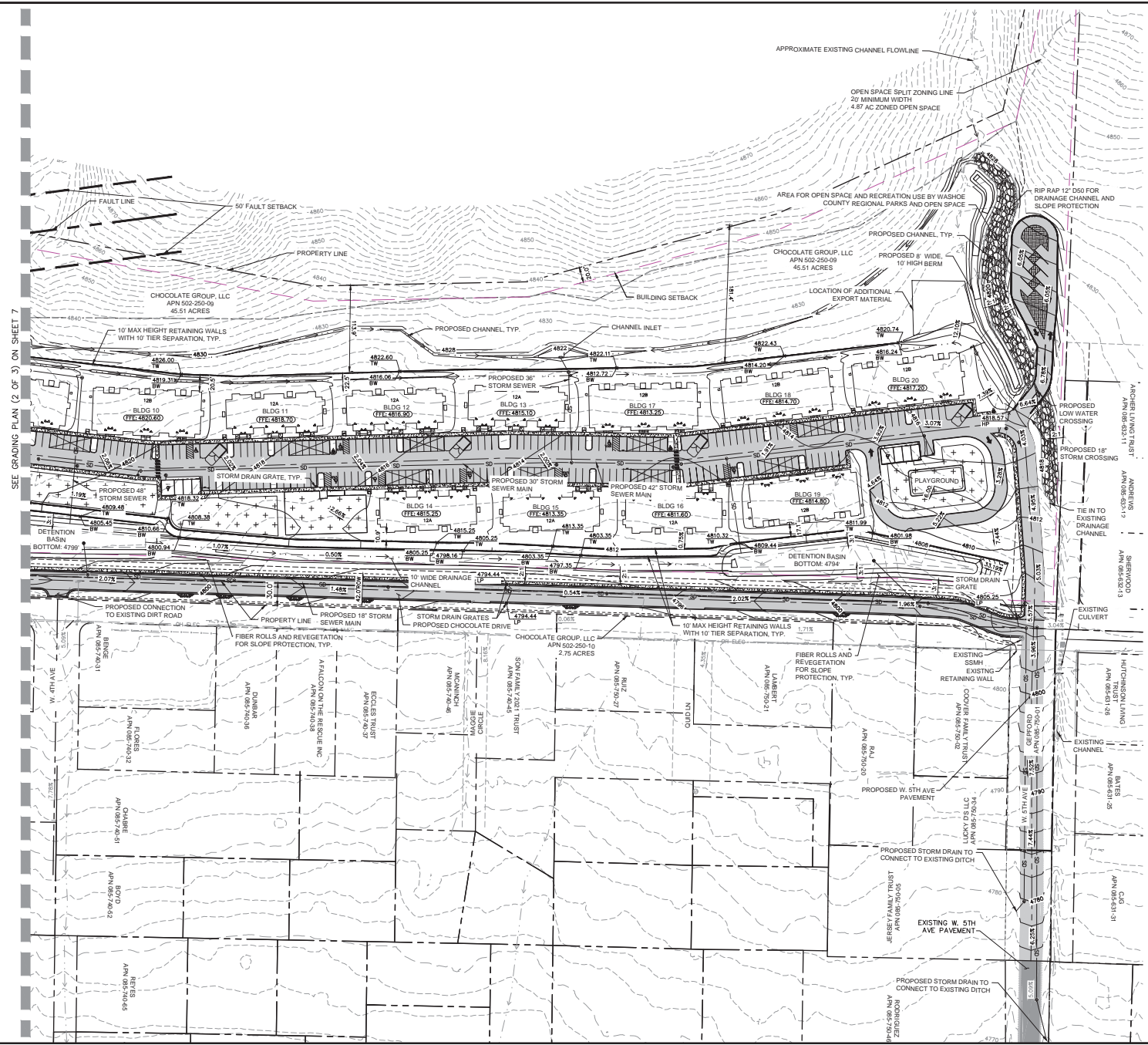
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 DESIGNED BY: CW/JH
 DRAWN BY: AW/ZF
 CHECKED BY: CW

GRADING PLAN
(2 OF 3)

CHOCOLATE DRIVE
SUN VALLEY, NV

SHEET NUMBER
7 OF 8

Projected By: M. A. Adams Date: 10/24/2024 File Path: C:\Users\m.adams\OneDrive - Kimley-Horn and Associates, Inc. \Documents\Projects\18_2024_23_20_23hm\18_2024_23_20_23hm.dwg User: m.adams Plot Date: 10/24/2024 Plot Time: 10:10:10 AM Plot Scale: AS SHOWN Plot Size: 31.00 x 42.00 inches Plot Resolution: 2400 DPI Plot Color: Black and White Plot Orientation: Landscape Plot Method: Plot on Sheet (2 of 3) on Sheet 7



LEGEND

| | |
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| | PROPERTY LINE |
| | SETBACK LINE |
| | OPEN SPACE SPLIT ZONING BOUNDARY |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | EXISTING FENCE |
| | PROPOSED RIGHT OF WAY |
| | EXISTING FAULTLINE |
| | 50' FAULT SETBACK |
| | EXISTING MAJOR CONTOURS |
| | EXISTING MINOR CONTOURS |
| | PROPOSED MAJOR CONTOURS |
| | PROPOSED MINOR CONTOURS |
| | EXISTING FLOW PATH |
| | EXISTING ELECTRIC POWER POLE |
| | PROPOSED FLOW PATH |
| | PROPOSED STORM DRAIN |
| | PROPOSED SILT FENCE |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED ASPHALT PAVEMENT |
| | EXISTING ASPHALT PAVEMENT |
| | EXISTING SIDEWALK |
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| | PROPOSED RIP RAP |
| | COMMON OPEN SPACE AREA |
| | PROPOSED RETAINING WALL |
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Civil Engineer - State License
 No. 027536
 NOV 18, 2024
 SCALE: AS SHOWN
 DESIGNED BY: C.W./J.F.
 DRAWN BY: A.W./Z.F.
 CHECKED BY: C.W.

**GRADING PLAN
(3 OF 3)**

**CHOCOLATE DRIVE
SUN VALLEY, NV**

APPENDIX I
LANDSCAPING PLAN

GENERAL NOTES

1. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
2. TREES
 - DECIDUOUS TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES.
 - EVERGREEN TREES SHALL HAVE A MINIMUM HEIGHT OF 7 FEET.
 - ADDITIONAL TREES, BEYOND THOSE REQUIRED BY CODE, MAY BE REDUCED IN SIZE AT INSTALLATION AND PROVIDED AT THE DISCRETION OF THE OWNER.
3. FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATIVE TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1990).
4. ALL SHRUB BEDS WILL RECEIVE 4" MULCH WITH WEED CONTROL.
5. ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED BASED ON THE SPECIFIC HORTICULTURAL REQUIREMENTS OF EACH SPECIES. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTER WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.
6. PLANTING PLAN IS CONCEPTUAL. PLANT QUANTITIES INDICATED ARE PER WAHCO CO. CODE REQUIREMENTS. PLANT LOCATIONS, FINAL SPECIES SELECTION, AND SIZE AT PLANTING SHALL BE DETERMINED DURING DEVELOPMENT OF FINAL CONSTRUCTION DOCUMENTS.
7. AMENITIES AND AMENITY AREAS ARE CONCEPTUAL. FINAL SELECTION SHALL BE DETERMINED DURING DEVELOPMENT OF FINAL CONSTRUCTION DOCUMENTS.

LANDSCAPE DATA

SITE AREA: 1,982,485 SQ FT (45.510 ACRES)
 AREA TO BE DEVELOPED/IMPACTED: 742,429 SQ FT (17.04 ACRES)
 JURISDICTION: WAHCO CO.
 ZONING: MDU 89%/OS 11% (MEDIUM DENSITY URBAN/OPEN SPACE)

REQUIRED LANDSCAPE AREA = 148,486 SQ FT MIN.
 * (20% OF TOTAL DEVELOPED AREA)

PROVIDED LANDSCAPE AREA = 148,486 SQ FT MIN.

REQUIRED TREES = 498 MIN.
 * ONE TREE PER 300 SQ FT OF REQUIRED LANDSCAPE AREA = 498
 INCLUDES:
 * ONE TREE PER 10 PARKING SPACES = 47
 * ONE TREE PER 50 LN FT OF STREET FRONTAGE = 55

REQUIRED SHRUBS = 2,988 MIN.
 * 6 SHRUBS PER REQUIRED TREE

TURF GRASS PROVIDED = APPROX. 34,041
 POOL AREA = APPROX. 3,456 SQ FT
 DOG PARK AREA = APPROX. 5,968 SQ FT
 PLAYGROUND AND TOT LOT AREA = APPROX. 6,546 SQ FT

OPEN SPACE DATA

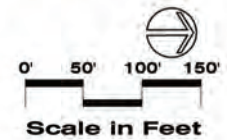
AT LEAST 300 SQUARE FEET OF COMMON OPEN SPACE SHALL BE REQUIRED PER DWELLING UNIT FOR DEVELOPMENTS OF TWELVE (12) OR MORE UNITS

COMMON OPEN SPACE MAY BE COMPRISED OF ONE (1) OR MORE OF THE FOLLOWING:

1. COURTYARD
2. LARGE LAWN AREA
3. PLAYGROUND
4. TENNIS COURT
5. BASKETBALL COURT
6. SWIMMING POOL AND
7. SIMILAR OUTDOOR RECREATION FACILITY AS APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING.

TOTAL UNITS PROVIDED = 240
 TOTAL COMMON OPEN SPACE REQUIRED (240 X 200) = 48,000 SQ FT
 TOTAL COMMON OPEN SPACE PROVIDED = 49,911 SQ FT MIN.

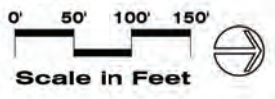
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- ### LEGEND
- DECIDUOUS TREES
 - EVERGREEN TREES
 - ORNAMENTAL LANDSCAPE AREAS/SHRUB PLANTING
 - REVEGETATION AREAS



MATCHLINE - SEE SHEET L1

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L.A. Studio Nevada
1800 WEST CLEAR SPRING AVENUE SUITE 101
1502 D Street Sparks, NV 89411 (775) 325-2024 NV (LA) 444
www.la-studio.com

Preliminary Landscape Plan
CHOCOLATE DRIVE
Padcor Investments, LLC

| No. | Revision Date |
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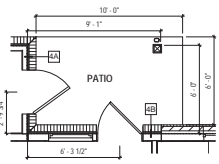
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Date: 11/16/2024

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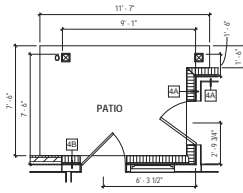
APPENDIX J
BUILDING ELEVATIONS

GENERAL NOTES:

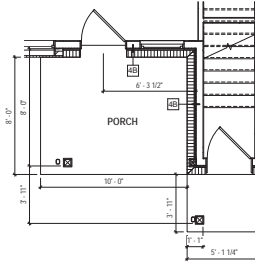
- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD (8 1/2" OR 5 1/2") EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. WINDOWS AND DOORS ARE DIMENSIONED TO THEIR CENTERLINE.
- B. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS, POWDER ROOMS, KITCHENS, AND WITHIN FOUR FEET OF ANY WATER SOURCES.
- C. VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS AND APPROVED SHOP DRAWINGS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- D. VERIFY ROUGH IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL LUMBER.
- E. FCC - FIRE EXTINGUISHER CABINET RECESSED. LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF.
- F. PROVIDE 2x BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- G. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR WINDOW TYPES & SIZES.
- H. PROVIDE A SHELF AND ROD IN ALL CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS AND PANTRIES. REFER TO DETAIL FOR TYPICAL INSTALL.
- I. PREFABRICATED SHOWER / TUB UNIT TO INCLUDE REQUIRED BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS.
- J. TOILET FLUSH CONTROLS IN ACCESSIBLE UNITS TO BE OPEN SIDE OF TOILET.
- K. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH & KITCHEN CABINETS. ALL TOILET ACCESSORIES, STAIR HANDRAILS AND OTHER MISCELLANEOUS ITEMS SUPPORTED ON AND ATTACHED TO WALLS.



4 BUILDING TYPE 12A - ENLARGED PATIO PLAN 2
1/4" = 1'-0"



3 BUILDING TYPE 12A - ENLARGED PATIO PLAN 1
1/4" = 1'-0"



2 BUILDING TYPE 12A - ENLARGED PORCH PLAN
1/4" = 1'-0"

WALL TYPE LEGEND:

- SEE SHEET A602 FOR DETAILS
- 1A 2x4 EXTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2x4 WOOD STUD FRAMING @ 16" O.C.
- 2x6 INTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2x6 WOOD STUD FRAMING @ 12" O.C.
- 2x4 INTERIOR WALL - STORAGE ROOM
5/8" GYPSUM BOARD ON EACH SIDE OF 2x4 WOOD STUD FRAMING @ 12" O.C. WITH 3/4" BATT INSULATION. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT THE STORAGE ROOM SIDE.
- 2 1/4" GATED EXTERIOR WALL
ELEV FIN: 015-050
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2x4 STAGGERED STUDS W/ 1" AIRSPACE AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 3 1/4" GATED EXTERIOR WALL
ELEV FIN: 015-050
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2x4 STAGGERED STUDS W/ 3/4" AIRSPACE ON EITHER SIDE OF DOUBLE 1" GYPSUM BOARD LINER PANELS SUPPORTED WITH STEEL TRACK AND H STUDS AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 4A 2x4 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2x4 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE ELEVATIONS FOR EXTERIOR FINISH.
- 4B 2x4 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2x6 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE ELEVATIONS FOR EXTERIOR FINISH.
- 5A BRICK VENEER 2x4 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2x4 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE EXT. ELEV. FOR COLORS.
- 5B BRICK VENEER 2x6 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2x6 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE EXT. ELEV. FOR COLORS.

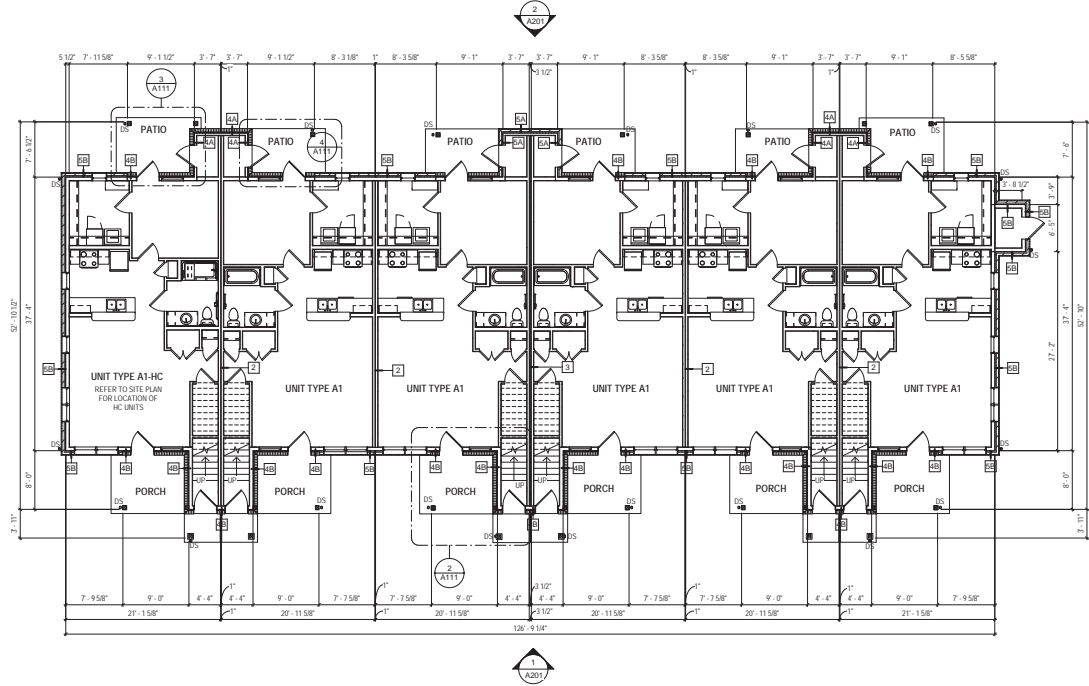


VILLAGE CAPITAL CORP.
170 3RD AVE. SW
CAMEL RO AD02
PHONE: (217) 817-0366

CHOCOLATE DRIVE

SUN VALLEY, NV

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1 BUILDING TYPE 12A FIRST FLOOR PLAN
1/8" = 1'-0"

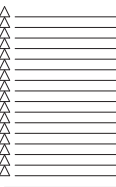
OVERALL BUILDING AREAS

| BUILDING | AREA |
|-------------------|----------|
| BUILDING TYPE 12A | |
| FIRST FLOOR | 5120 SF |
| SECOND FLOOR | 5093 SF |
| | 10214 SF |

| BUILDING TYPE 12B | AREA |
|-------------------|----------|
| FIRST FLOOR | 6996 SF |
| SECOND FLOOR | 6972 SF |
| | 13967 SF |

| BUILDING TYPE 12C | AREA |
|-------------------|----------|
| FIRST FLOOR | 8665 SF |
| SECOND FLOOR | 8643 SF |
| | 17308 SF |

ISSUE



BUILDING TYPE 12A FIRST FLOOR PLAN
AS INDICATED

PROJECT # 221896
DRAWN BY Author
CHECKED BY Checker
FILE NAME
PLOT DATE XXXX
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BUILDING TYPE 12B FIRST FLOOR PLAN AS INDICATED

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| PLOT DATE | XXX |

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| BUILDING TYPE 12B | |
| FIRST FLOOR | 6996 SF |
| SECOND FLOOR | 6972 SF |
| | 13967 SF |

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|--------------------------|----------|
| BUILDING TYPE 12C | |
| FIRST FLOOR | 8665 SF |
| SECOND FLOOR | 8643 SF |
| | 17308 SF |

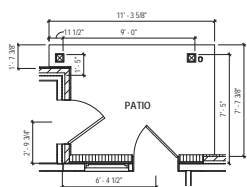
A121

GENERAL NOTES:

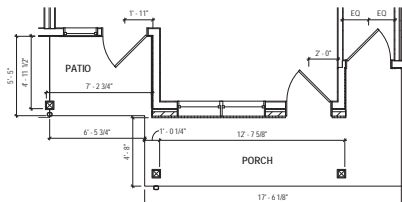
- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD (8 1/2" OR 5 1/2") EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. WINDOWS AND DOORS ARE DIMENSIONED TO THEIR CENTERLINE.
- B. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS, POWDER ROOMS, KITCHENS, AND WITHIN FOUR FEET OF ANY WATER SOURCES.
- C. VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER. INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS AND APPROVED SHOP DRAWINGS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- D. VERIFY ROUGH IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS. ORDERING CABINETRY OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL LUMBER.
- E. FEC - FIRE EXTINGUISHER CABINET RECESSED. LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF.
- F. PROVIDE 2X BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- G. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR WINDOW TYPES & SIZES.
- H. PROVIDE A SHELF AND DOOR IN ALL CLOSETS. PROVIDE FIVE (5) SHELVES IN MEN CLOSETS AND PAINTERS. REFER TO DETAIL FOR TYPICAL INSTALL.
- I. PREFABRICATED SHOWER / TUB UNIT TO INCLUDE REQUIRED BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS.
- J. TOILET FLUSH CONTROLS IN ACCESSIBLE UNITS TO BE OPEN SIDE OF TOILET.
- K. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH & KITCHEN CABINETS. ALL TOILET ACCESSORIES, STAIR HANDRAILS AND OTHER MISCELLANEOUS ITEMS SUPPORTED ON AND ATTACHED TO WALLS.

WALL TYPE LEGEND:

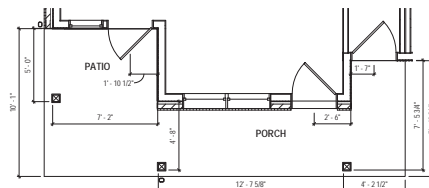
- SEE SHEET A602 FOR DETAILS
- 1A 2X4 EXTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2X4 WOOD STUD FRAMING @ 16" O.C.
- 1B 2X6 EXTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2X6 WOOD STUD FRAMING @ 12" O.C.
- 1C 2X4 INTERIOR WALL - STORAGE ROOM
5/8" GYPSUM BOARD ON EACH SIDE OF 2X4 WOOD STUD FRAMING @ 12" O.C. WITH 3/4" BATT INSULATION. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT THE STORAGE ROOM SIDE.
- 2 1 HQ BATED DENSING WALL
ELEV. FIN. STC=09
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2X4 STAGGERED STUDS W/ 1" AIRSPACE AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 3 2 HQ BATED DENSING WALL
ELEV. FIN. STC=09
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2X4 STAGGERED STUDS W/ 3/4" AIRSPACE ON EITHER SIDE OF DOUBLE 1" GYI BOARD LINER PANELS SUPPORTED WITH STEEL TRACK AND H-STUDS AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 4A 2X4 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2X4 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE ELEVATIONS FOR EXTERIOR FINISH.
- 4B 2X6 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2X6 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR EXTERIOR FINISH.
SEE ELEVATIONS FOR EXTERIOR FINISH.
- 5A BRICK VENEER 2X4 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" ON 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2X4 WOOD STUD FRAMING WITH 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE EXT. ELEV. FOR COLORS.
- 5B BRICK VENEER 2X6 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" ON 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2X6 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE EXT. ELEV. FOR COLORS.



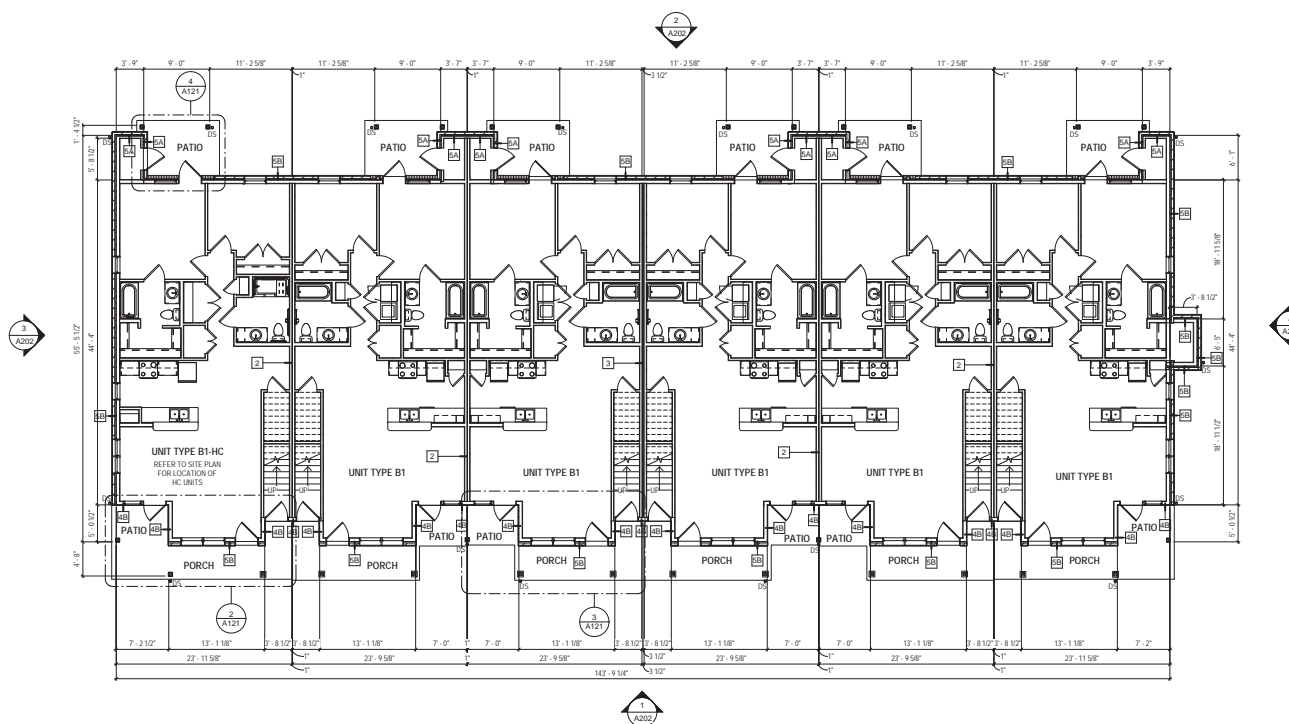
4 BUILDING TYPE 12B - ENLARGED PATIO PLAN
1/4" = 1'-0"



3 BUILDING TYPE 12B FIRST FLOOR PLAN - Callout 1
1/4" = 1'-0"



2 BUILDING TYPE 12B - ENLARGED PORCH/PATIO PLAN
1/4" = 1'-0"



1 BUILDING TYPE 12B FIRST FLOOR PLAN
1/8" = 1'-0"

OVERALL BUILDING AREAS

| BUILDING | AREA |
|--------------------------|----------|
| BUILDING TYPE 12A | |
| FIRST FLOOR | 5120 SF |
| SECOND FLOOR | 5093 SF |
| | 10214 SF |

| BUILDING TYPE 12B | |
|-------------------|----------|
| FIRST FLOOR | 6996 SF |
| SECOND FLOOR | 6972 SF |
| | 13967 SF |

| BUILDING TYPE 12C | |
|-------------------|----------|
| FIRST FLOOR | 8665 SF |
| SECOND FLOOR | 8643 SF |
| | 17308 SF |

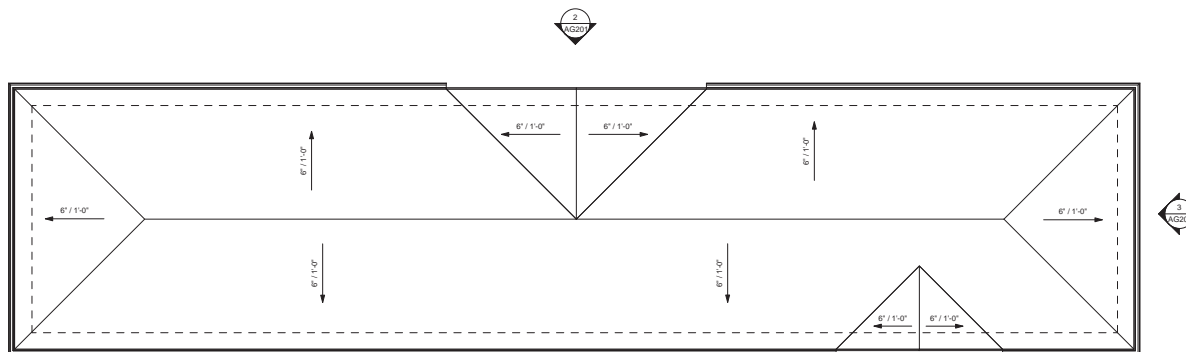


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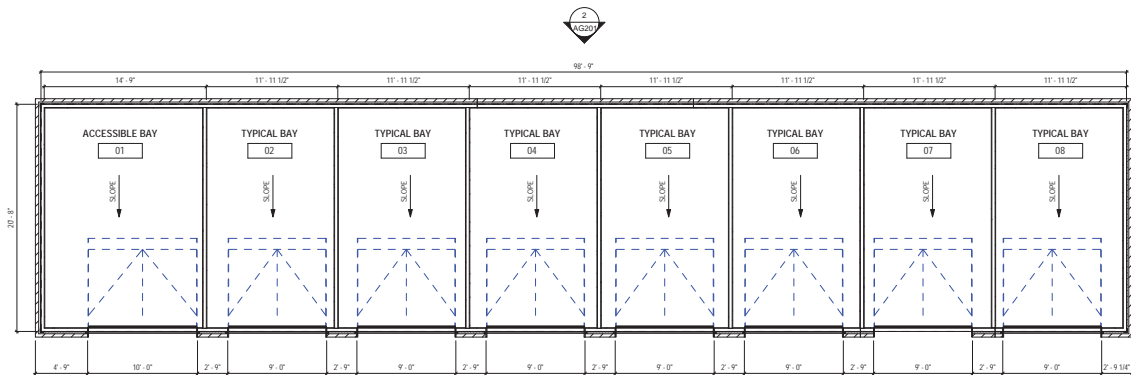
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② DETACHED GARAGE ROOF PLAN - 8 BAY
3/16" = 1'-0"



① DETACHED GARAGE FLOOR PLAN - 8 BAY
3/16" = 1'-0"

ISSUE

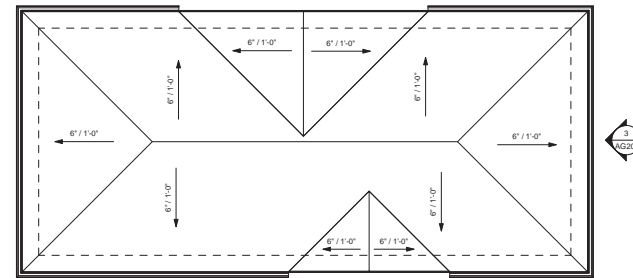
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GARAGE PLANS (8 BAY) & ROOF PLAN
3/16" = 1'-0"

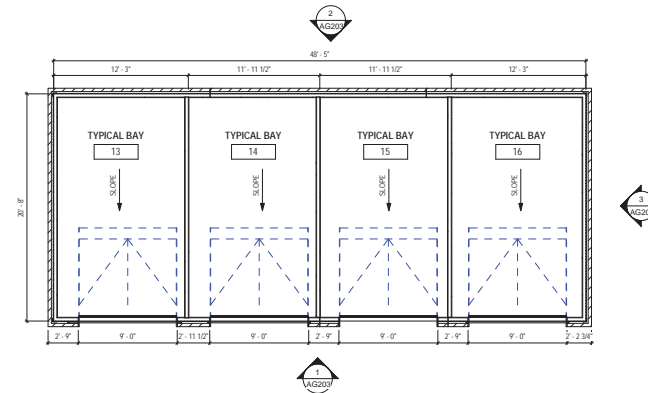
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| DRAWN BY | Author |
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2 GARAGE ROOF PLAN - 4 BAY STANDARD
3/16" = 1'-0"



1 GARAGE FLOOR PLAN - 4 BAY STANDARD
3/16" = 1'-0"

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**GARAGE PLANS (4
BAY STANDARD) &
ROOF PLAN**
3/16" = 1'-0"

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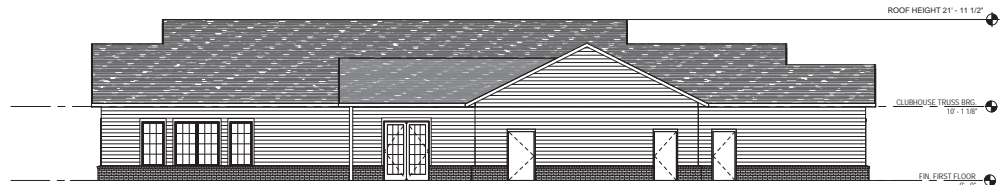
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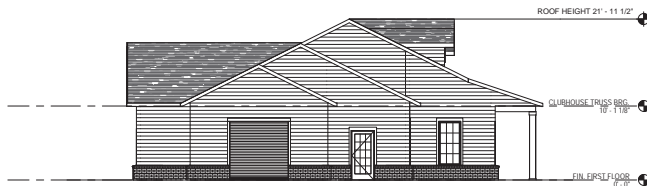
EXTERIOR ELEVATIONS - CLUBHOUSE
1/8" = 1'-0"

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4 CLUBHOUSE WEST ELEVATION
1/8" = 1'-0"



3 CLUBHOUSE SOUTH ELEVATION
1/8" = 1'-0"



2 CLUBHOUSE NORTH ELEVATION
1/8" = 1'-0"



6 CLUBHOUSE SOUTH ENTRY ELEVATION
1/8" = 1'-0"



5 CLUBHOUSE NORTH ENTRY ELEVATION
1/8" = 1'-0"



1 CLUBHOUSE EAST ELEVATION
1/8" = 1'-0"

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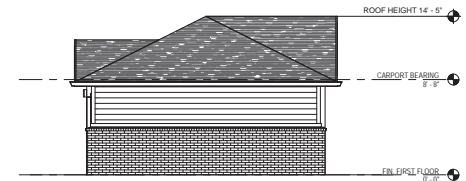
**GARAGE (8 BAY)
ELEVATIONS**

3/16" = 1'-0"

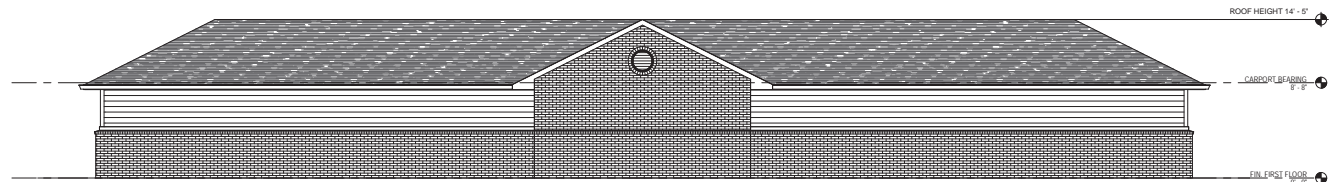
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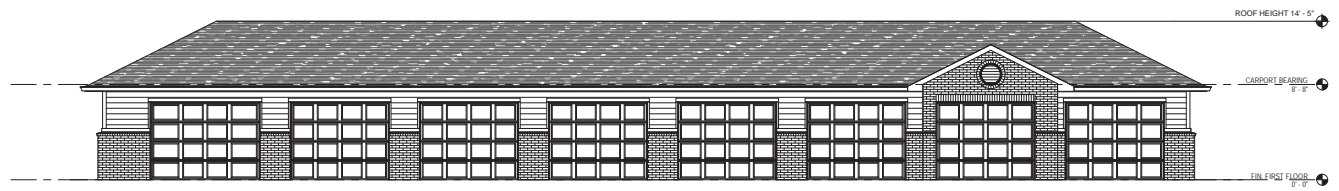
AG201



3 GARAGE SIDE ELEVATION - 8 BAY
3/16" = 1'-0"



2 GARAGE REAR ELEVATION - 8 BAY
3/16" = 1'-0"



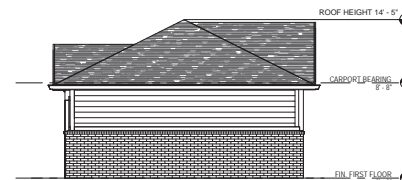
1 GARAGE FRONT ELEVATION - 8 BAY
3/16" = 1'-0"



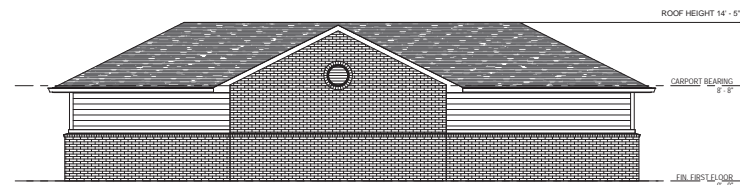
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DRIVE**

SUN VALLEY, NV



3 GARAGE SIDE ELEVATION - 4 BAY HC
3/16" = 1'-0"



2 GARAGE REAR ELEVATION - 4 BAY HC
3/16" = 1'-0"



1 GARAGE FRONT ELEVATION - 4 BAY HC
3/16" = 1'-0"

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GARAGE (4 BAY HC) ELEVATIONS

3/16" = 1'-0"

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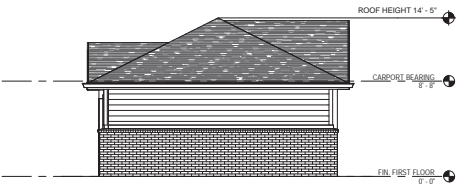
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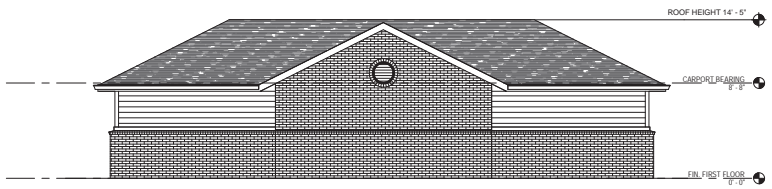
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CARMEL, IN 46032
PHONE: (317) 837-0366

CHOCOLATE DRIVE

SUN VALLEY, NV



3 GARAGE SIDE ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"



2 GARAGE REAR ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"



1 GARAGE FRONT ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"

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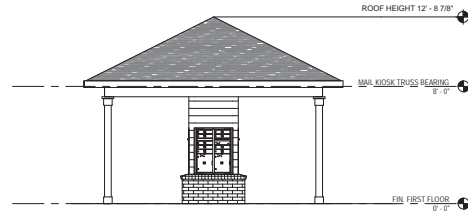
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GARAGE (4 BAY STANDARD) ELEVATIONS
2/10" = 1'-0"

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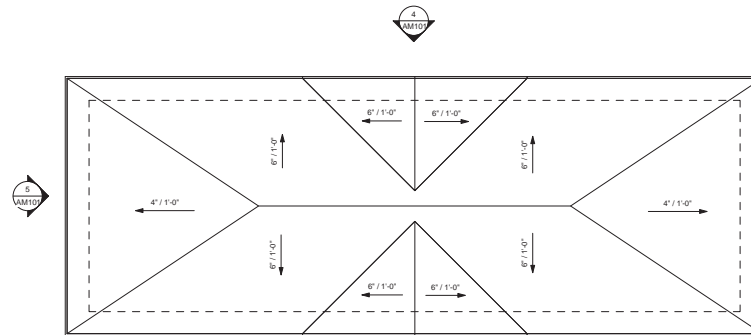
5 MAIL KIOSK SIDE ELEVATION
1/4" = 1'-0"



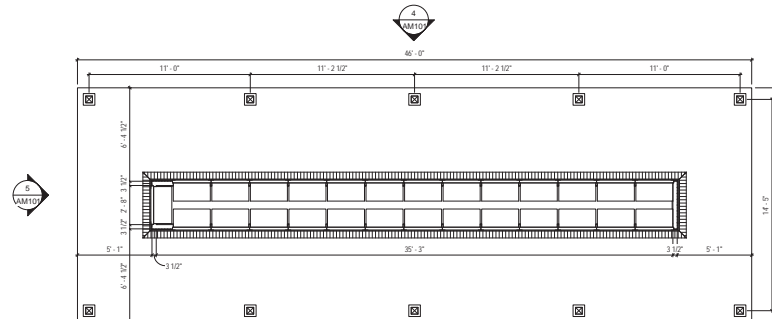
4 MAIL KIOSK REAR ELEVATION
1/4" = 1'-0"



3 MAIL KIOSK FRONT ELEVATION
1/4" = 1'-0"



2 MAIL KIOSK ROOF PLAN
1/4" = 1'-0"



1 MAIL KIOSK FLOOR PLAN
1/4" = 1'-0"

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**MAIL KIOSK
DRAWINGS**

1/4" = 1'-0"

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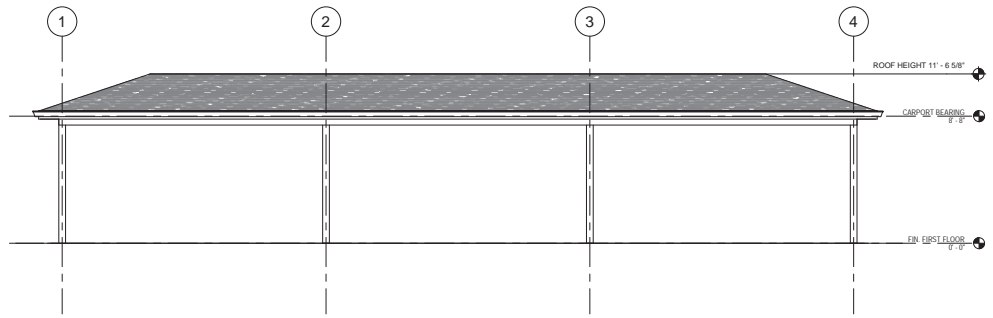
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CARPORT DRAWINGS

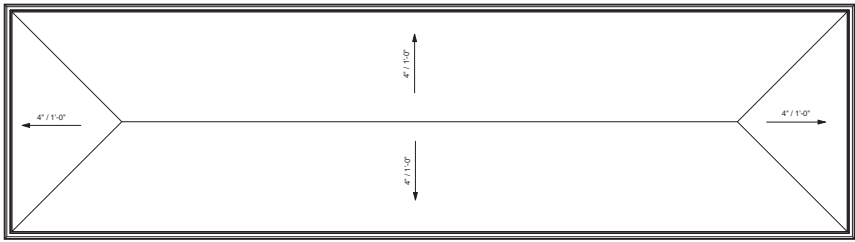
1/4" = 1'-0"

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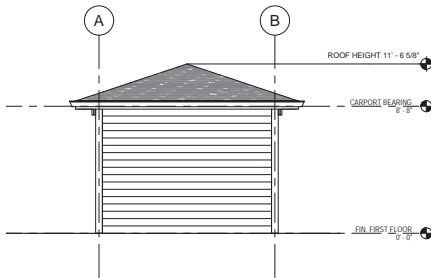
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2 CARPORT FRONT ELEVATION
1/4" = 1'-0"

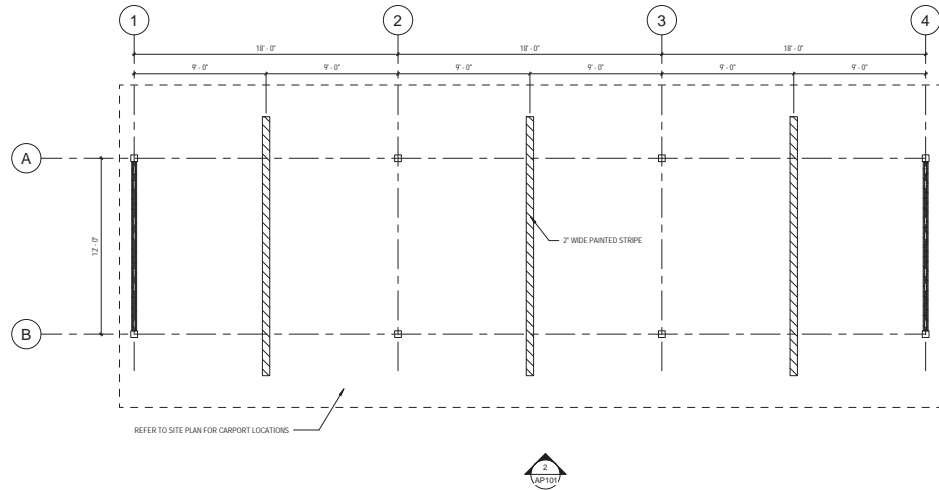


4 CARPORT ROOF PLAN
1/4" = 1'-0"



3 CARPORT SIDE ELEVATION
1/4" = 1'-0"

3
AP101



1 CARPORT FLOOR PLAN
1/4" = 1'-0"

2
AP101

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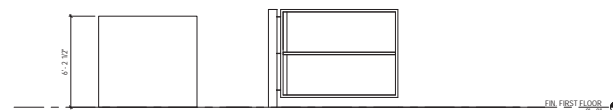
ISSUE

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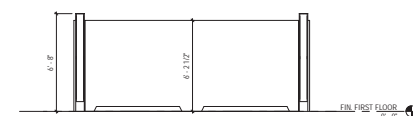
**TRASH ENCLOSURE
DRAWINGS**
1/4" = 1'-0"

| | |
|------------|---------|
| PROJECT # | 221896 |
| DRAWN BY | Author |
| CHECKED BY | Checker |
| FILE NAME | |
| PLOT DATE | XXX |

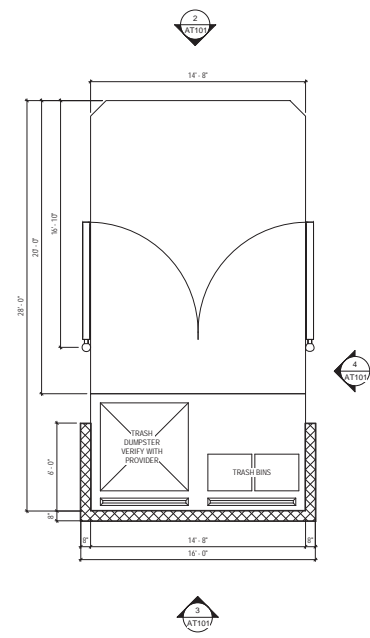
COPYRIGHT 2017 ALL RIGHTS RESERVED



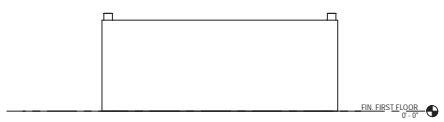
4 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"



2 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



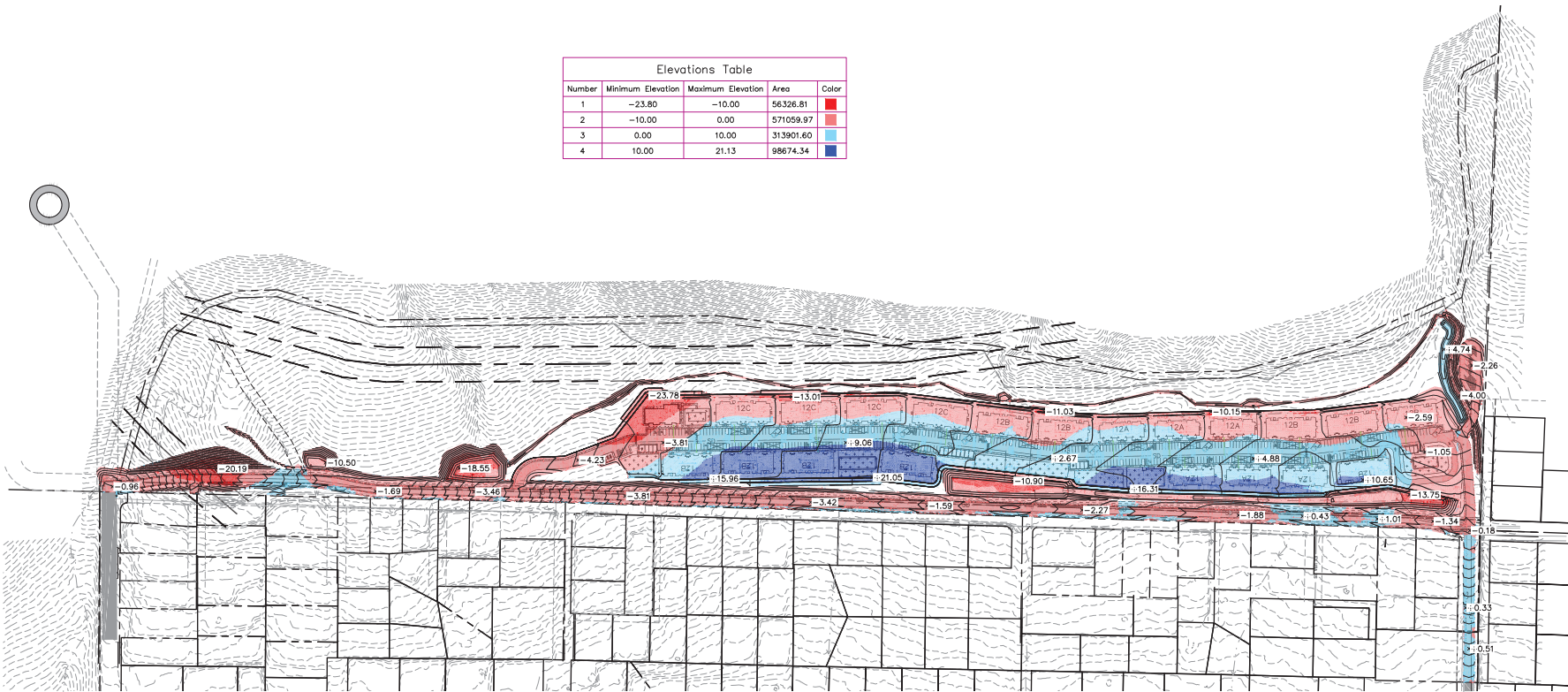
1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



3 TRASH ENCLOSURE - REAR ELEVATION
1/4" = 1'-0"

APPENDIX K
CUT AND FILL ANALYSIS EXHIBIT

Plotted by: MFL, Adams - Date: November 05, 2024 - 09:05:05am - File: PLOTFILE_VEN_CAD\132232000 - Project: Chocolate Drive\07_CAD\KIMLEY-HORN Review - Plans_Visite and Grading Plans_Visite.dwg - Plot: CUT Fill - JobTitle: 132232000 - Project: Chocolate Drive\07_CAD\KIMLEY-HORN Review - Plans_Visite and Grading Plans_Visite.dwg - Plot: CUT Fill - JobTitle: 132232000 - Project: Chocolate Drive\07_CAD\KIMLEY-HORN Review - Plans_Visite and Grading Plans_Visite.dwg
 This document is prepared for the use of the client and is not to be used for any other purpose without the written consent of Kimley-Horn and Associates, Inc.



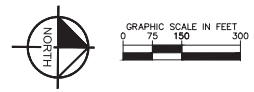
| Elevations Table | | | | |
|------------------|-------------------|-------------------|-----------|------------|
| Number | Minimum Elevation | Maximum Elevation | Area | Color |
| 1 | -23.80 | -10.00 | 56326.81 | Red |
| 2 | -10.00 | 0.00 | 571059.97 | Light Blue |
| 3 | 0.00 | 10.00 | 313901.60 | Blue |
| 4 | 10.00 | 21.13 | 98674.34 | Dark Blue |

EARTHWORK

CUT: 98,339 CY
 FILL: 96,701 CY
 NET: 1,637 (CUT)

EARTHWORK CALCULATIONS BASED ON SURFACE TO SURFACE. UNADJUSTED ANALYSIS AND DO NOT ACCOUNT FOR OVER-EXCAVATION, PAVEMENT SECTION, BUILDING SLAB, OR BUILDING FOUNDATIONS.

AREA TO BE DISTURBED: 23.87 ACRES



| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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 7800 RANCHVIEW PARKWAY, SUITE 100, RENO, NV 89511
 WWW.KIMLEY-HORN.COM



KHA PROJECT: 132232000
 DATE: NOV 5, 2024
 SCALE: AS SHOWN
 DESIGNED BY: CW/JH
 DRAWN BY: AW/CZ
 CHECKED BY: CW

SIMPLE CUT FILL ANALYSIS

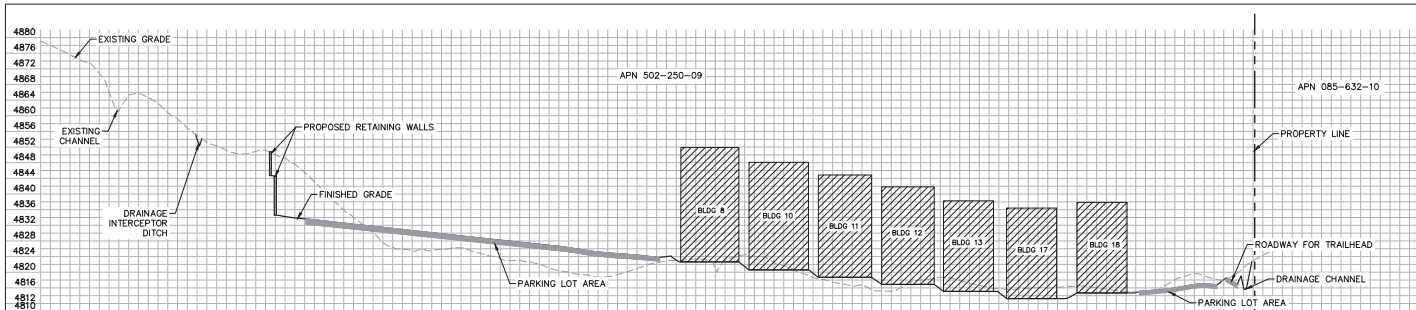
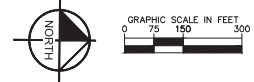
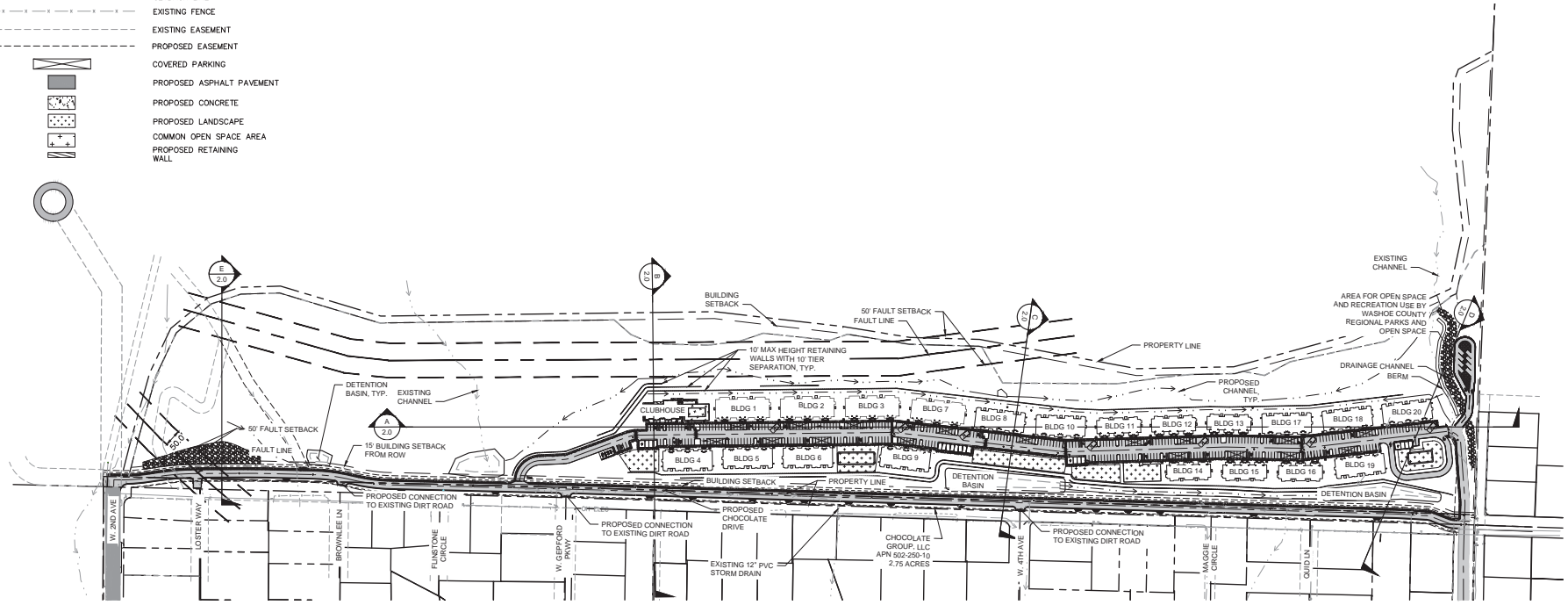
**CHOCOLATE DRIVE
SUN VALLEY, NV**

SHEET NUMBER
OF

APPENDIX L
PROPOSED CROSS SECTIONS EXHIBITS

Drawn by: MFL, Amdm Date: November 05, 2024 10:27:44am File: P:\proj\16_VEN_COVA\192233000 - Resid - Chocolate Drive\17 CAD\Kubista Main Review - Final\Section A.dwg
 This document is prepared for the use of the engineer and is not to be used for any other purpose without the written consent of the engineer. The engineer is not responsible for any errors or omissions in this document.

- LEGEND**
- PROPERTY LINE
 - - - SETBACK LINE
 - - - EXISTING FENCE
 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT
 - ▭ COVERED PARKING
 - ▭ PROPOSED ASPHALT PAVEMENT
 - ▭ PROPOSED CONCRETE
 - ▭ PROPOSED LANDSCAPE
 - ▭ COMMON OPEN SPACE AREA
 - ▭ PROPOSED RETAINING WALL



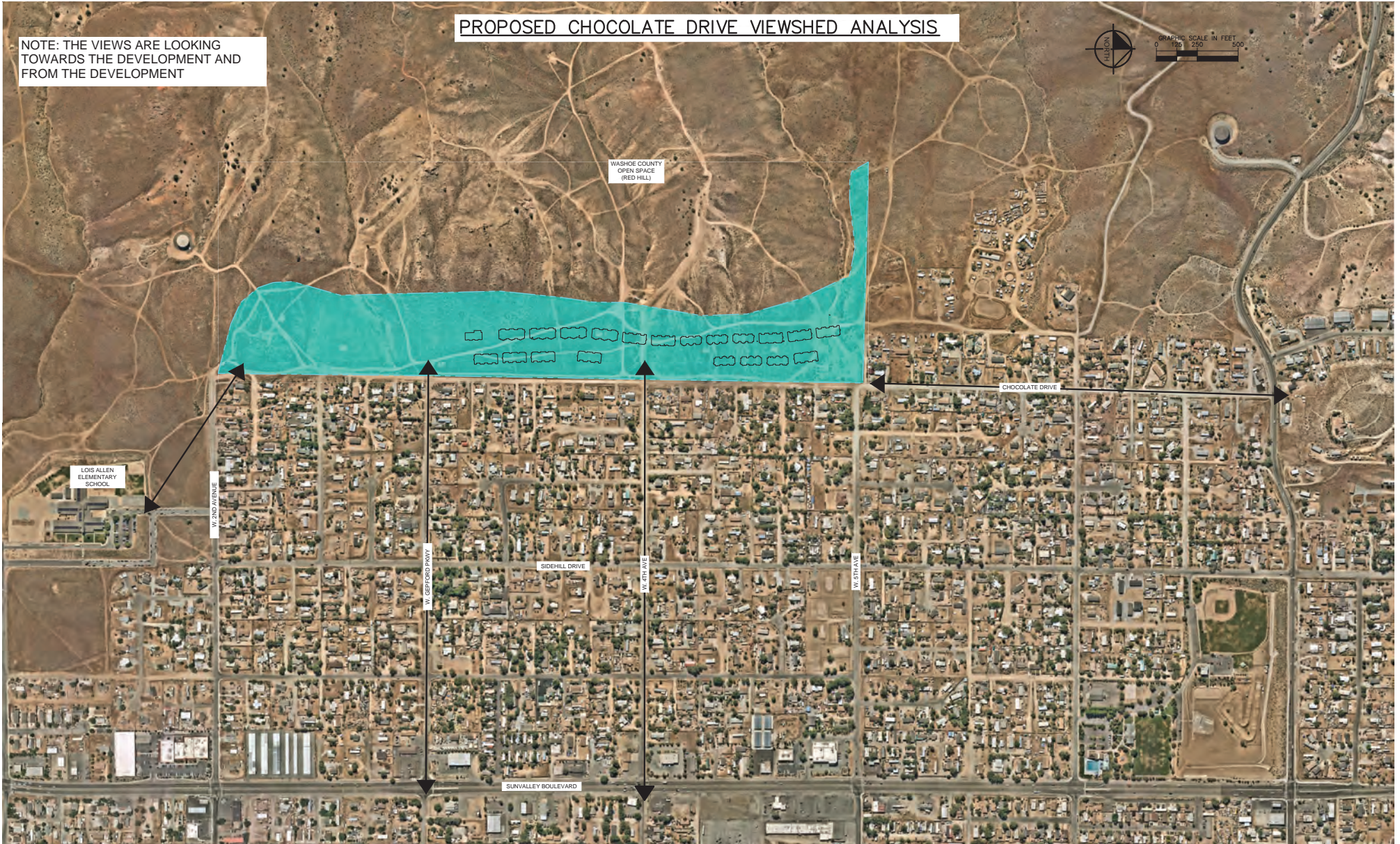
A
 SECTION A
 1.0
 HORIZ. SCALE: 1" = 150' VERT. SCALE 1" = 10'

| | |
|--|-----------|
| | DATE BY |
| | REVISIONS |
| | NO. |
| | |
| © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 7800 RANCHVIEW PARKWAY, SUITE 100, RENO, NV 89511 WWW.KIMLEY-HORN.COM | |
| | |
| 11/08/2024 KHA PROJECT 192233000 DATE NOV 05, 2024 SCALE: AS SHOWN DESIGNED BY: CW/JH DRAWN BY: AW/JF CHECKED BY: CW | |
| PRELIMINARY SECTIONS | |
| CHOCOLATE DRIVE SUN VALLEY, NV | |
| SHEET NUMBER 1 OF 2 | |

APPENDIX M
VIEWSHED ANALYSIS

PROPOSED CHOCOLATE DRIVE VIEWSHED ANALYSIS

NOTE: THE VIEWS ARE LOOKING TOWARDS THE DEVELOPMENT AND FROM THE DEVELOPMENT



Chocolate Drive
VIEW SHED ANALYSIS
Washoe County, Nevada
November 2024

Kimley»Horn
7900 Ranchharrah Parkway
Suite 100
Reno, Nevada 89511
(775) 200-1978

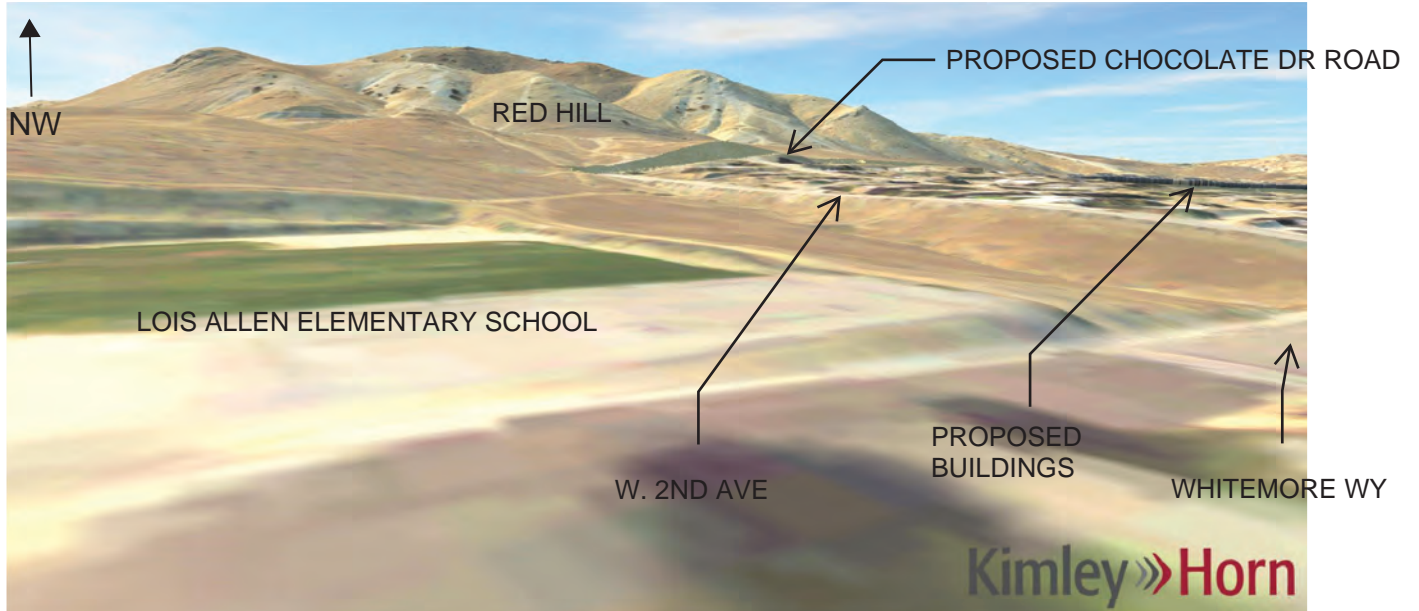
Chocolate Drive Viewshed Analysis

Viewshed Methodology

1. Used Autodesk Infracore software application/tool to develop the 3D imagery and the degree that proposed sample apartment buildings were visible from the cross sections.
2. From each cross section, the view faced to and from the development and panned 180 degrees horizontally (e.g., left-to-right) and these views were intersected with the Chocolate Drive existing and proposed Digital Elevation Models (DEMs).
3. Views do not include obstructions of any existing buildings, houses, or trees in the vicinity which will reduce visibility.
4. Used a uniform maximum height of 32-feet for 2-story buildings, however building heights will vary according to architectural elevations.
5. Observation height is approximately 5-feet from ground elevation.

Chocolate Drive Viewshed Analysis

From Lois Allen Elementary School looking northwest to West 2nd and Chocolate Ave – Grading of Chocolate Drive is partially visible

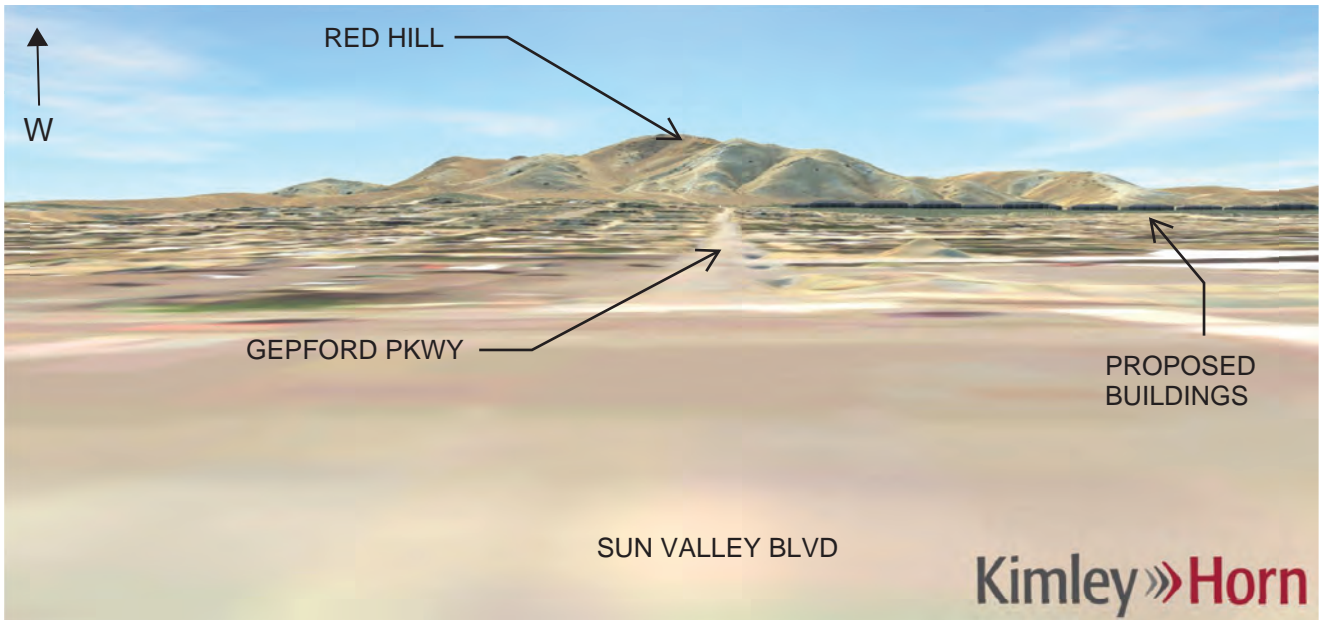


From Chocolate Drive and Loster Way Intersection towards Lois Allen Elementary looking southeast

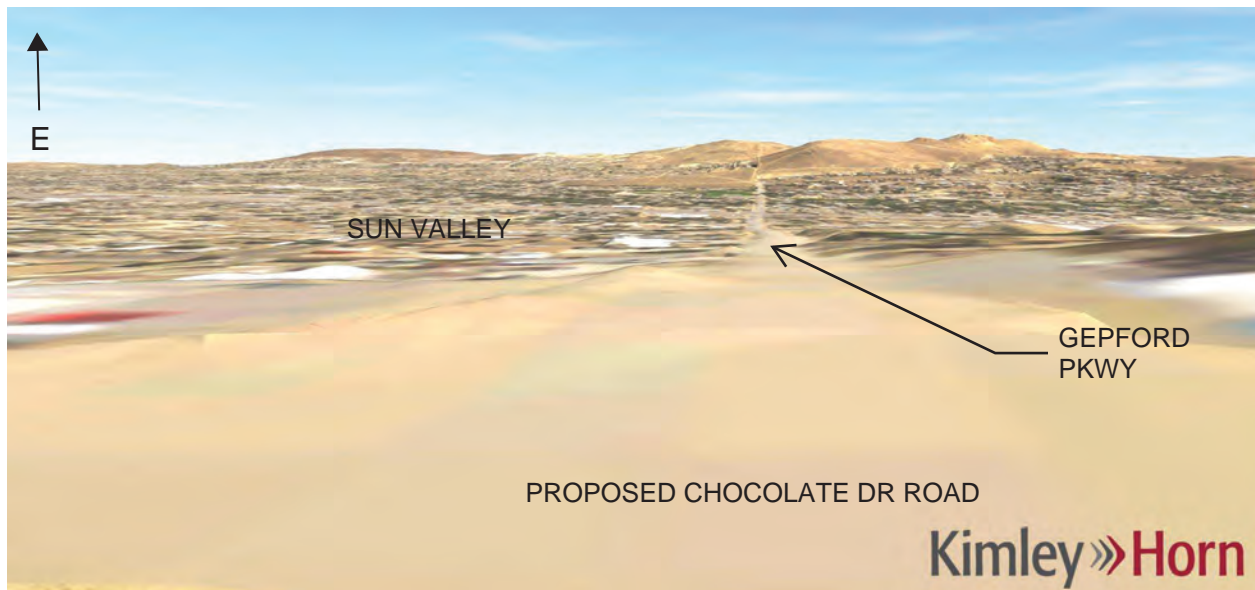


Chocolate Drive Viewshed Analysis

From Sun Valley Boulevard looking west along Gepford Parkway – Buildings partially visible

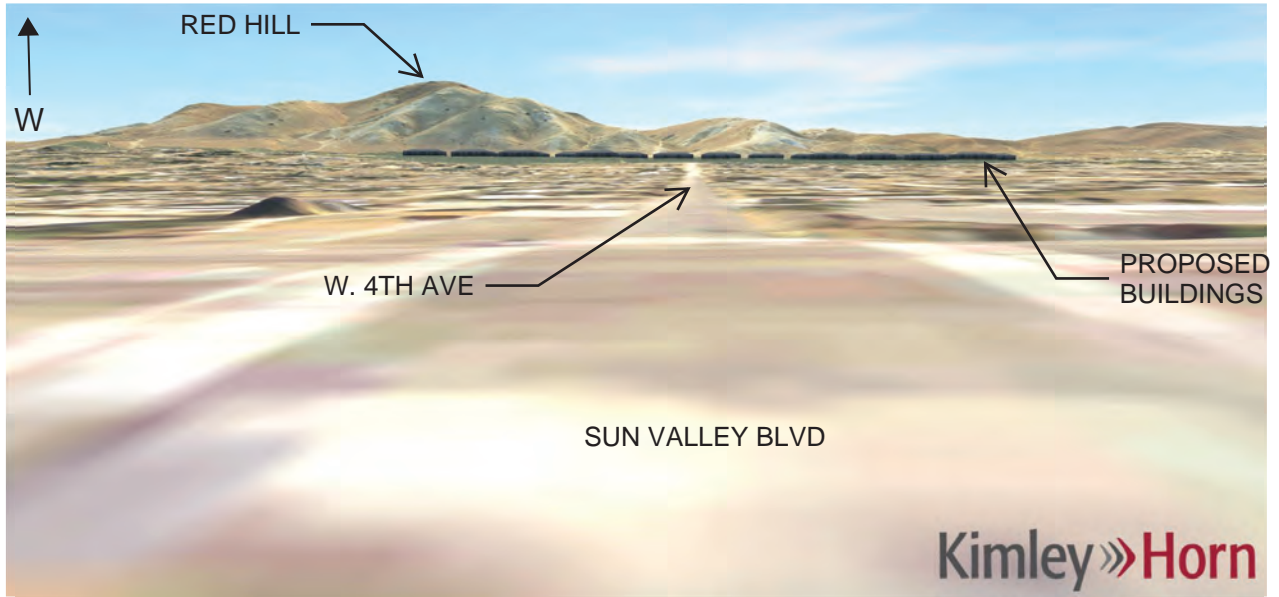


From Chocolate Drive and Gepford Parkway Intersection towards Sun Valley Boulevard looking east

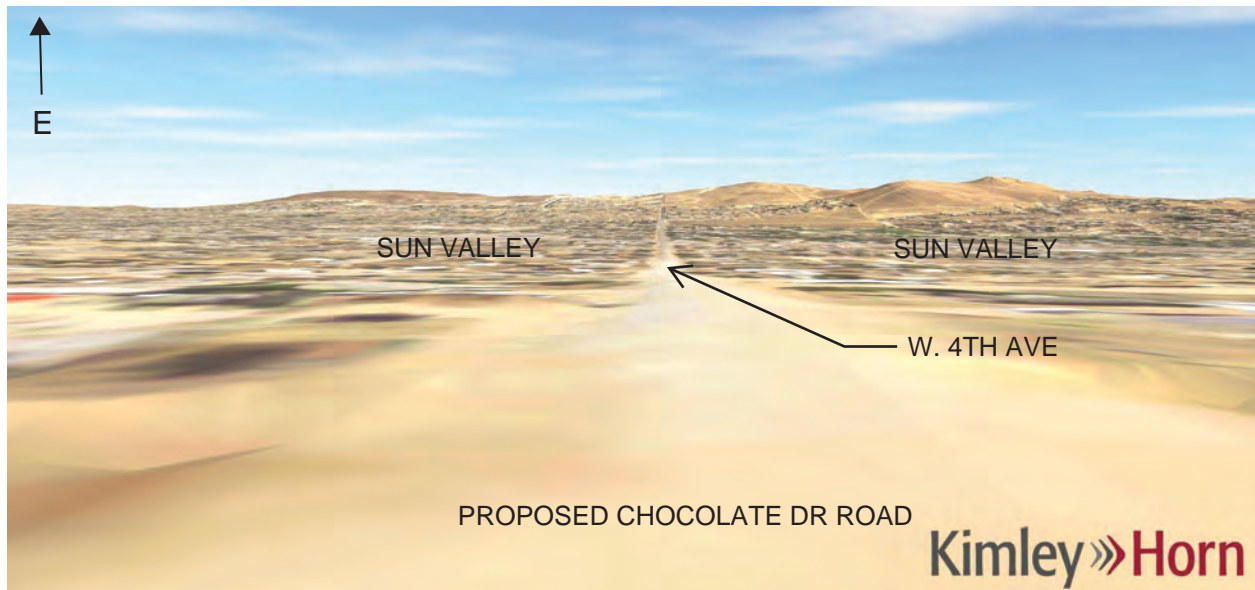


Chocolate Drive Viewshed Analysis

From Sun Valley Boulevard looking west along West 4th Ave – Buildings partially visible

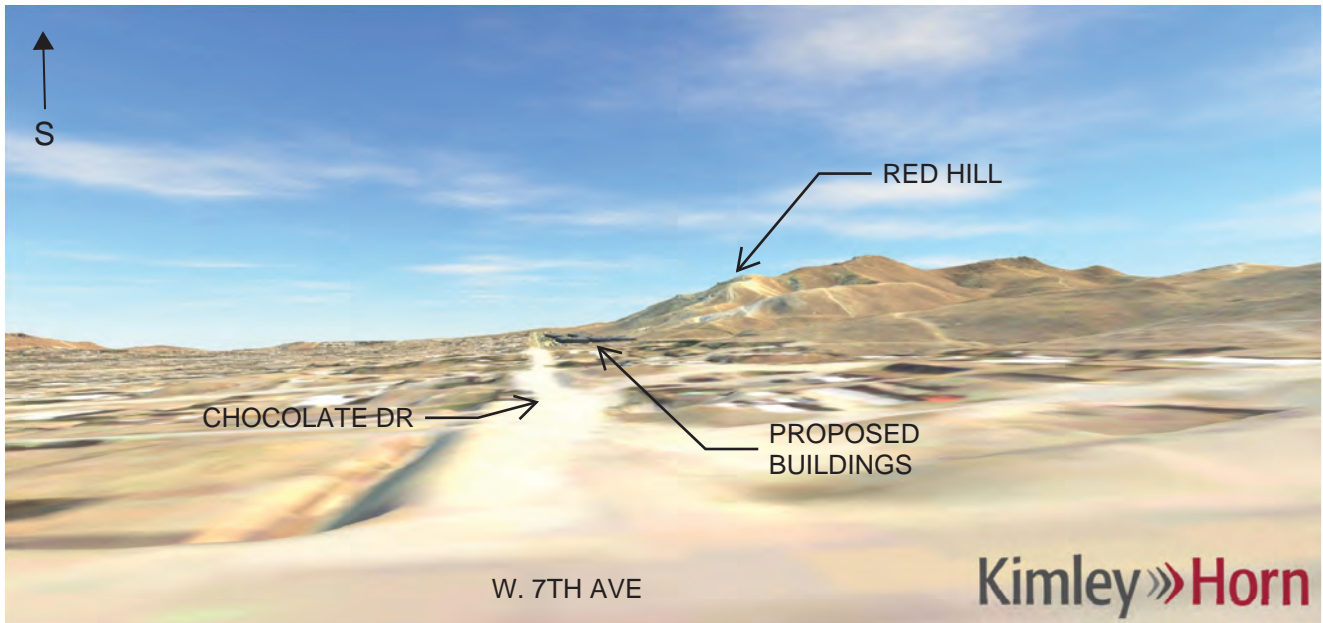


From Chocolate Drive and West 4th Ave Intersection towards Sun Valley Boulevard looking east



Chocolate Drive Viewshed Analysis

From 7th Ave looking south along Chocolate Drive Ave – Buildings partially visible



From Chocolate Drive and West 5th Ave Intersection towards 7th Ave looking north



APPENDIX N
PRELIMINARY GEOTECHNICAL REPORT, FAULT STUDY, AND SLOPE
STABILITY ANALYSIS

(LINKS TO SEPARATE ATTACHMENTS PROVIDED)

APPENDIX O

WASHOE COUNTY ENGINEERING DEPARTMENT MEMORANDUMS



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

MEMOMORANDUM

Date: September 15, 2022

To: Ryan Rodgers, PedCor Investments, LLC

From: Mitchell Fink, P.E., Licensed Engineer
Phone: (775) 328-2050, Email: mfink@washoecounty.gov

Re: Primary, Secondary, and Chocolate Drive Access Improvements
APN: 502-250-09

WASHOE COUNTY DEVELOPMENT CODE REQUIREMENTS (CHAPTER 110)

This memo is to provide you the minimum roadway improvement requirements which will be needed to provide access to your development. The following comments and requirements are based on our review of the documents you provided and do not represent a comprehensive analysis of the project but is strictly focused on access requirements. Detailed conditions of approval addressing traffic, roadway, and drainage will be prepared once an application for development is submitted for review. The latest plan is showing access to the project via W. 2nd Avenue and W. 5th Avenue.

W. 2nd Avenue Access

Washoe County currently owns and maintains W. 2nd Avenue up to Chocolate Drive with the roadway currently constructed with curb and gutter on both sides of the street and sidewalk along at least one side of the street from Chocolate to Sun Valley Blvd. The proposed development plan shows a private roadway extension from the Chocolate/W. 2nd intersection westerly into the development. Please note that Washoe County is the owner of the surrounding property as Open Space and it will not be possible for Washoe County to grant an access easement for your development. This will require then that south access point into your development will need to be move north along Chocolate Drive.

W. 5th Avenue Access

Washoe County currently owns and maintains W. 5th Avenue to a point approximately 165 feet west of Westhill Court. This road then transitions to a private access road extending to Chocolate Drive. The proposed development plan utilizes W. 5th Avenue as a secondary access. In accordance with Code Section 110.436.20(c) a secondary access shall be provided therefore the current private roadway section of W. 5th Ave. (approximately 440 feet), shall be constructed to Washoe County standards in accordance with Roadway Section – D (attached), with 26' wide, 4" thick AC paving, 2' wide minimum gravel shoulders, drainage ditches with driveway culverts matching the existing 60-foot right-of-way section. All right-of-way per Code 110.436.20(d) shall be obtained and granted/dedicated to Washoe County. It should be noted that alternative alignments for secondary access to the development could be considered and similar requirements would apply.



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Subject: Chocolate Drive
Date: September 15, 2022
Page: 2

Chocolate Drive Improvements

Per Code 110.436.20(e), Chocolate Drive from W. 2nd Ave to W. 5th Ave shall be constructed to Washoe County standards in accordance with "Roadway Sections – B" (attached). The local 42-foot right-of-way section shall apply to Chocolate Drive with 4" thick AC paving, curb, gutter and sidewalk.

The project shall comply with Washoe County Development Code which can be found at https://www.washoecounty.gov/csd/planning_and_development/dev-code/index.php. Excerpts from Article 436 Street Design Standards are provided below for your reference.

We trust that this information provides clarification and answers your questions regarding the requirements of Washoe County Development Code for primary, secondary, and Chocolate Drive access roadway improvements. Please feel free to contact me if you have any further questions.

Cc: Dwayne Smith, Walter West, Jen Heeran, Sarah Tone, Chris Waechter, Colin Patterson, Ariaahna Wolf, Timber Weiss, Chris Bronczyk



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Washoe County Code Excerpts

Article 436: Street Design Standards

Section 110.436.20 General Requirements. Street design requirements set forth in this section shall apply to all development subject to this article.

- (a) **Level of Service.** Streets shall be designed to meet a Level of Service (LOS) standard C, or as otherwise provided for by Regional Transportation Commission policy.
- (b) **Street Improvements.** All public and private streets within a development shall be improved to conform to the standards as set forth in this article.
- (c) **Ingress and Egress.** Unless otherwise approved by the County Engineer, at least two (2) means of ingress and egress built to County standards shall be provided to serve a subdivision development. Of the two (2) means, one (1) may be constructed to emergency access standards provided in Section 110.436.95, Emergency Access Roads.
- (d) **Right-of-Way and Easement Acquisition.** All necessary right-of-way or easement acquisition outside the boundaries of a proposed development, including any agreements pertaining to access, drainage, ownership and maintenance, shall be completed prior to the final map approval unless otherwise approved by the County Engineer.
- (e) **Streets Adjacent to Property Boundaries.** The location of streets adjacent to property boundaries shall comply with the following provisions:
 - (1) Unless otherwise approved by the County Engineer, a street shown by an adopted street pattern or indicated on the Streets and Highways System Plan map that lies along a boundary of a development is to be dedicated and constructed at full width and to County standards; and
 - (2) A proposed street, or streets or access adjacent to or necessary to serve a proposed development, which are not within the boundaries of the development, shall be improved full width with the development in accordance with County standards as required by the County Engineer.
- (f) **Additional Right-of-Way.** To facilitate turning movements near intersections, additional right-of-way shall be provided to the satisfaction of the County Engineer.
- (g) **Partial Width Streets.** Where permitted, partial width streets shall comply with the provisions set forth in Section 110.436.125, Partial Width Streets.
- (h) **Street Extensions.** Street extensions shall comply with the general provisions of this section and the provisions of Section 110.436.130, Street Extensions.

Section 110.436.25 Street Sections. All roadways dedicated and improved in Washoe County shall be constructed in accordance with the street sections for urban, suburban and rural areas illustrated in Tables 110.436.25.1 to 110.436.25.4. These standards are to be used in conjunction with the Land Use and Transportation Element of the Master Plan and the standards set forth in this article.



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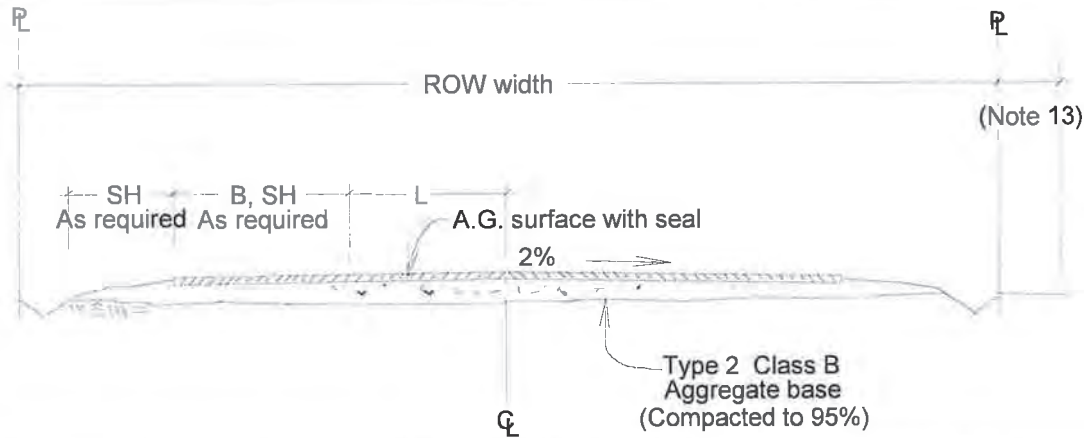


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Table 110.436.25.4

ROADWAY SECTIONS - D

GENERAL APPLICATIONS: STREETS SERVING LOT SIZES GREATER THAN 1.5 ACRES



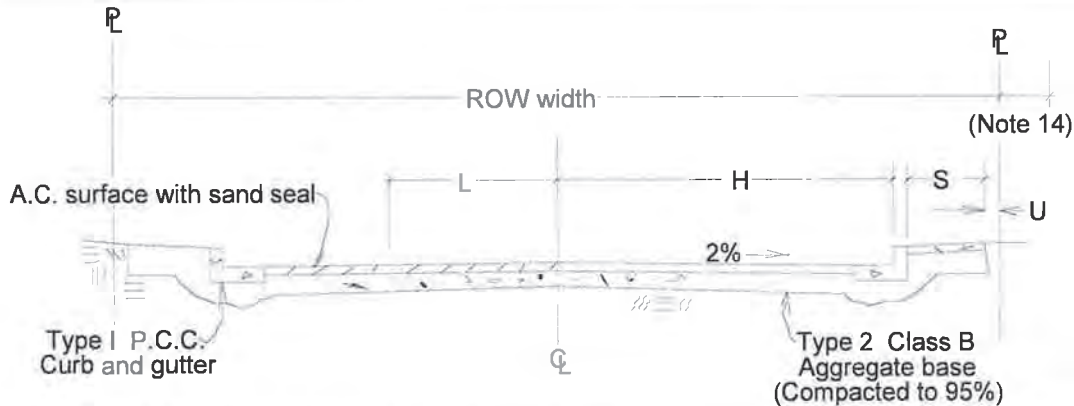
| ROW | L | B | SH | ADT Maximum per 2 Travel Lanes | Remarks |
|-----|----|---|----|--------------------------------|-----------|
| 60 | 12 | 0 | 0 | 9,600 | Collector |
| 50 | 11 | 0 | 0 | 1,000 | Local |

- Notes:
1. All widths are in feet.
 2. L is travel lane; B is bicycle lane; SH is shoulder; ROW is right-of-way; ADT is average daily traffic.
 3. ADT represents the design volume for a two (2) lane facility.
 4. Bicycle lanes shall be provided in accordance with the Bicycle and Pedestrian Element of the Regional Transportation Plan and to the satisfaction of the County Engineer.
 5. Structural sections shall be designed by a registered engineer for a twenty (20) year life based on subgrade characteristics, as determined by a geotechnical investigation and anticipated traffic volume. Refer to Section 110.436.60(d) for minimum pavement section thickness.
 6. All A.C. surfaces shall be sealed in accordance with Washoe County standards.
 7. Residential access not allowed to streets on which ten (10) year design ADT exceeds two thousand (2,000).
 8. The minimum paved shoulder width shall be two (2) feet, otherwise, the shoulder shall be engineered, Type 2 Class B aggregate base course or A.C. structural section as above, as required by the County Engineer.
 9. Erosion protection required for drainage ditches.
 10. Design of improvements to be done in accordance with Article 420, Storm Drainage Standards, and Article 436, Street Design Standards, of the *Washoe County Development Code*.
 11. All construction to be done to current Washoe County standards and specifications.
 12. Slope easements may be required in certain terrain to accommodate roadway section.
 13. A seven and one-half (7.5) foot public utility, traffic control signage and plowed snow easement on both sides of the ROW is required per standard detail.

Source: Washoe County Department of Public Works

Table 110.436.25.2

ROADWAY SECTIONS - B
GENERAL APPLICATIONS: STREETS SERVING LOT SIZES LESS THAN 0.5 ACRES



| ROW | H | S | U | L | B | PL | ADT Maximum per 2 Travel Lanes | Remarks |
|-----|----|---|-----|----|---|----|--------------------------------|-----------|
| 52 | 20 | 5 | 0.5 | 12 | 4 | 0 | 9,600 | Collector |
| 42 | 16 | 4 | 0.5 | 11 | 0 | 2 | 1,000 | Local |

- Notes:
1. All widths are in feet.
 2. H is measured to the front face of the curb.
 3. L is travel lane; S is sidewalk; B is bicycle lane; PL is maximum number of parking lanes allowed; ROW is right-of-way, ADT is average daily traffic.
 4. ADT represents the design volume for a two (2) lane facility.
 5. Bicycle lanes shall be provided in accordance with the Bicycle and Pedestrian Element of the Regional Transportation Plan and to the satisfaction of the County Engineer.
 6. Structural sections shall be designed by a registered engineer for a twenty (20) year life based on subgrade characteristics, as determined by a geotechnical investigation and anticipated traffic volume. Refer to Section 110.436.60(d) for minimum pavement section thickness.
 7. All curb and gutter is monolithic concrete and L shaped per standard detail.
 8. Sidewalks are to be provided in accordance with Table 110.436.25.5.
 9. All A.C. surfaces shall be sealed in accordance with Washoe County standards.
 10. Residential driveway access not allowed to streets on which ten (10) year ADT design exceeds two thousand (2,000).
 11. Design of improvements to be done in accordance with Article 420, Storm Drainage Standards, and Article 436, Street Design Standards, of the *Washoe County Development Code*.
 12. All construction is to be done to current Washoe County standards and specifications.
 13. Slope easements may be required in certain terrain to accommodate roadway section.
 14. A seven and one-half (7.5) foot wide public utility, traffic control signage and plowed snow easement on both sides of the ROW is required per standard detail.

Source: Washoe County Department of Public Works.



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

MEMORANDUM

Date: November 3, 2022

To: Colin Patterson, PedCor Investments, LLC

From: Mitchell Fink, P.E., Licensed Engineer
Phone: (775) 328-2050, Email: mfink@washoecounty.gov

Re: Response to Requested Changes for Chocolate Drive
APN: 502-250-09

This memorandum is to provide clarification to your requested roadway design changes (email request attached) for Chocolate Drive from the Washoe County requirements outlined in the Memorandum titled, *Primary, Secondary, and Chocolate Drive Access Improvements*, from Washoe County Engineering dated September 15, 2022 (attached). The following comments and requirements are based on our review of the documents you provided and do not represent a comprehensive analysis of the project but is strictly focused on access, alignment and drainage requirements.

1. Road Section

Washoe County will require that Chocolate Drive from W. 2nd Avenue to W. 5th Avenue be constructed to Washoe County standards in accordance with "Roadway Sections – B". The local 42-foot right-of-way section shall apply to Chocolate Drive with 4" thick AC paving, curb, gutter, sidewalk and crowned roadway section. However, we would allow a reduction in the width of asphalt pavement by removing on-street parking to reduce the asphalt width to 22 feet from 27 feet wide. No parking signs would be required on both sides of the road in this instance and the 42-foot right-of-way section would remain the same. Concrete driveway aprons for driveway access and curb returns will be required at the major roadway intersections to Chocolate Drive and constructed in accordance with Washoe County standard details and code requirements.

2. Drainage Concerns

A hydrological report shall be required for the drainage affected by the project and roadway development. Drainage ditches will not be allowed in the Chocolate Drive right-of-way as depicted in preliminary site plan. The curb and gutter section of roadway will require inlets, manholes and catch basins designed and constructed in accordance with Washoe County standard details and code requirements. Please be aware that with this project development that an offsite storm drain conveyance system may be needed and directed to existing County drainage facilities having the same pre-and-post developed flow condition.



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Subject: Chocolate Drive
Date: September 15, 2022
Page: 2

3. Road Alignment

Based on review of the preliminary site plan (attached) showing the proposed Chocolate Drive alignment from W. 2nd Avenue and W. 5th Avenue, the proposed primary and secondary accesses to the development, and the proposed curvature of Chocolate Drive near W. 5th Avenue will be acceptable provided they meet County code requirements and conditions. Where the roadway curvature enters the private parcel, you will have to obtain an Irrevocable Offer of Dedication to Washoe County from the parcel owner. The 10-foot snow storage, sign and utility easements are required as part of the roadway section. On the west side there cannot be a 2:1 slope behind the sidewalk the maximum grade allowed will be 5% over a 10-foot width behind sidewalk for snow storage.

There will be a condition requirement with the Administrative Permit allowing Washoe County to have ample time to contact the affected private residents to provide them an opportunity to submit an Irrevocable Offer of Dedication to Washoe County for the current access easement in the existing Chocolate Drive alignment. If the Irrevocable Offer of Dedication is accepted by all of the property owners along Chocolate Washoe County will require that Chocolate Drive to be constructed along the existing easement section.

W. 2nd Avenue Access & W. 5th Avenue Access

The items outlined in the Memorandum titled, *Primary, Secondary, and Chocolate Drive Access Improvements*, from Washoe County Engineering will still apply for the W. 2nd Avenue and W. 5th Avenue accesses.

We trust that this information provides clarification to your request for design changes for Chocolate Drive. Please feel free to contact me if you have any further questions.

Cc: Dwayne Smith, Walter West, Jen Heeran, Sarah Tone, Chris Waechter, Ariaahna Wolf, Timber Weiss, Chris Bronczyk



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April 17, 2023

Dear Representatives for Chocolate Drive Affordable Housing Project,

Washoe County is committed to providing efficient and responsible review and approval processes for local development within our jurisdiction. With the intent to clarify options and next steps, on April 6, Washoe County and representatives from the Chocolate Drive project located at XXX discussed unique aspects of the specific site as it pertains to infrastructure costs. The discussion included:

- Chocolate Drive, 2nd Avenue, and 5th Avenue Street Improvements
- Offsite Storm Drainage Infrastructure
- Trailhead for Washoe County Parks and Open Space
- SVGID Cost Estimate (provided by SVGID)
- RTC Regional Road Impact Fees (RRIF) (provided by Washoe County)

Washoe County, County Engineer completed a value engineering review of the provided-on April 6, 2023. Significant cost savings are limited on the site; however, opportunities for modifying drainage on open space portion of the project to potentially include a low water crossing in lieu of a box culvert is estimated savings of \$130,000. The concept is supported by the Washoe County Engineer and Washoe County Operations Director.

The proposed drainage on Washoe County Regional Parks and Open Space site is in addition to previously approved modifications with significant cost savings. Washoe County, County Engineer approved reduced width of Chocolate Drive and a sidewalk on one side of Chocolate Drive verses sidewalk on both sides of the newly constructed roadway. In addition, Washoe County dedicated resources to support public education on the road construction and easement process.

Per on April 6, Washoe County has no authority to review fees and taxes outside of our areas of responsibility including Sun Valley General Improvement District and Regional Transportation Commission.

Thank you for the opportunity to work closely with your partners and team on the local review and approval process. Please continue to include stone@washoecounty.gov in correspondence with our team to ensure communication is clear across all stakeholders.

Sincerely,

Sarah Tone
Business Facilitator
Washoe County Community Services Department

APPENDIX P
SUPPLEMENTAL SPECIAL USE PERMIT DOCUMENTS

Vicinity Map



Not to Scale



