

**AMENDMENT OF CONDITIONS
TO ADMINISTRATIVE REVIEW PERMIT
(WADMIN22-0029)**

CHOCOLATE DRIVE

SUN VALLEY, NEVADA

APN: 502-250-09, 502-250-10

Prepared for:
Pedcor Investments, a Limited Liability Company
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Carmel, IN

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Reno, Nevada
November 2024
192233001
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INTRODUCTION

This narrative includes detail on the following:

- An **Amendment of Conditions** to the previously approved **Administrative Permit** (“AP”) (**Case Number WADMIN22-0029 (Chocolate Drive)**). The previous Administrative Permit was approved on March 3rd, 2023. This Amendment of Conditions is to revise the site plan in accordance with the updated Washoe County Code and request the following modifications to the current Conditions of Approval:
 - Modify Washoe County Planning and Building Division Condition 1.c to extend the two-year timeline from the date of approval by Washoe County (currently March 3rd, 2025) to two years from the date of approval of the Amendment of Conditions by Washoe County (anticipated to be February 2027).
 - Modify Washoe County Engineering and Capital Projects Traffic and Roadway - Condition v “The permittee shall obtain the necessary easements/right-of-way for future Chocolate Drive and W. 5th Avenue to be dedicated to Washoe County.” This modification request is to also include Washoe County in obtaining the necessary easements/right of way. Based on continued coordination with Washoe County, the County will be assisting in obtaining the necessary easements/right of way for W. 5th Ave.

Approval of this Amendment of Conditions to the Administrative Permit is required by the Washoe County Board of Adjustment for the Project. The intent of this Amendment of Conditions is to revise some, but not all elements of the project that have already been reviewed and approved by the Board of Adjustment in March 2023. These changes are primarily in relation to the Washoe County Code update in July 2024 and include:

- Parking - reductions and layout modifications
- Bicycle storage additions (indoor and outdoor)
- Trash enclosures additions
- Common Open Space locations revisions
- Retaining wall locations revisions
- Landscaping revisions
- Drainage channel additions and revisions

All of the above revisions are in conformance with the newly adopted Washoe County Code. Other elements as part of the site plan design and configuration will remain the same as proposed in the Administrative Permit in 2023. The narrative below explains these revisions in further detail.

The proposed project consists of a low-income affordable housing multi-family residential development. This development is proposed to include twenty two-story apartment buildings (240 units) with a clubhouse and swimming pool, covered and garage parking spaces, mail kiosk, playground, and recreational amenities. The height (two-story) and number of units (240) is not changing as part of this Amendment of Conditions. Further information and discussion is provided in a narrative below which details the Amendment of Conditions request.

1. PROJECT LOCATION

The Chocolate Drive project site (the “Site”) is approximately 45.51± acres (APN 502-250-09) and is located in southwest Sun Valley at the western edge of a residential area generally comprised of single-family homes, approximately half a mile west of Sun Valley Blvd. Additionally, 2.75± acres of the western half of Chocolate Drive is included with this project. The APNs for the parcels are 502-250-09 and 502-250-10 (the “Parcels”). See Figure 1 – Vicinity Map for project location. The Parcels stretch north south along Chocolate Drive from W 2nd Ave to W 5th Ave and border Red Hill (Washoe County Open Space) to the west. The Site will be accessed via the following streets:

- Chocolate Drive
- Clear Acre Lane
- West 5th Ave
- Sun Valley Boulevard
- West 2nd Ave



Figure 1 – Vicinity Map

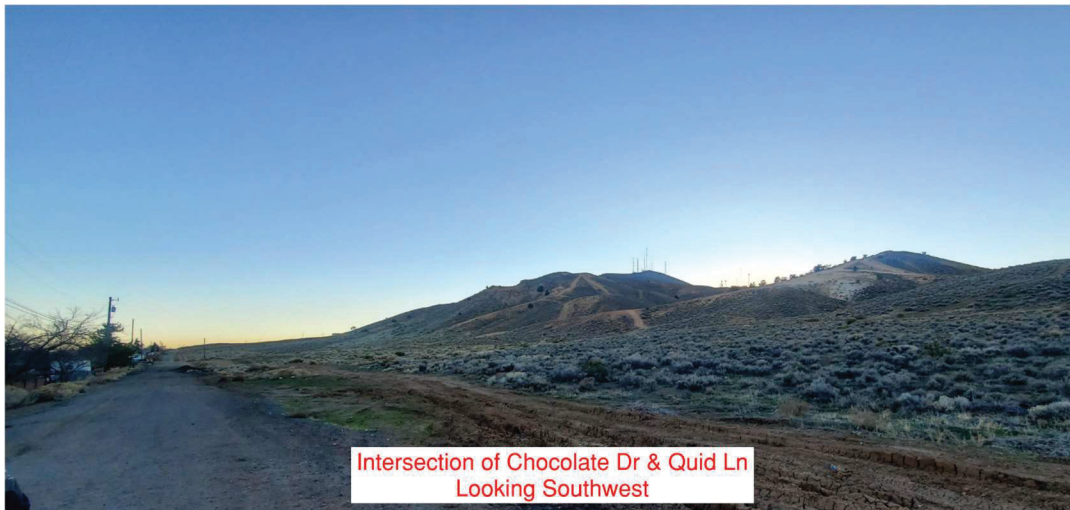
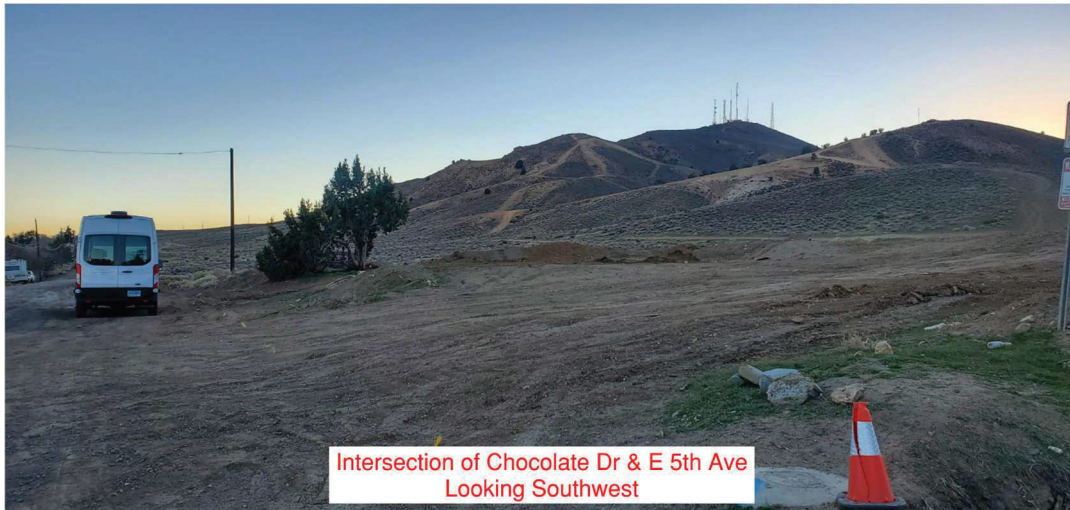
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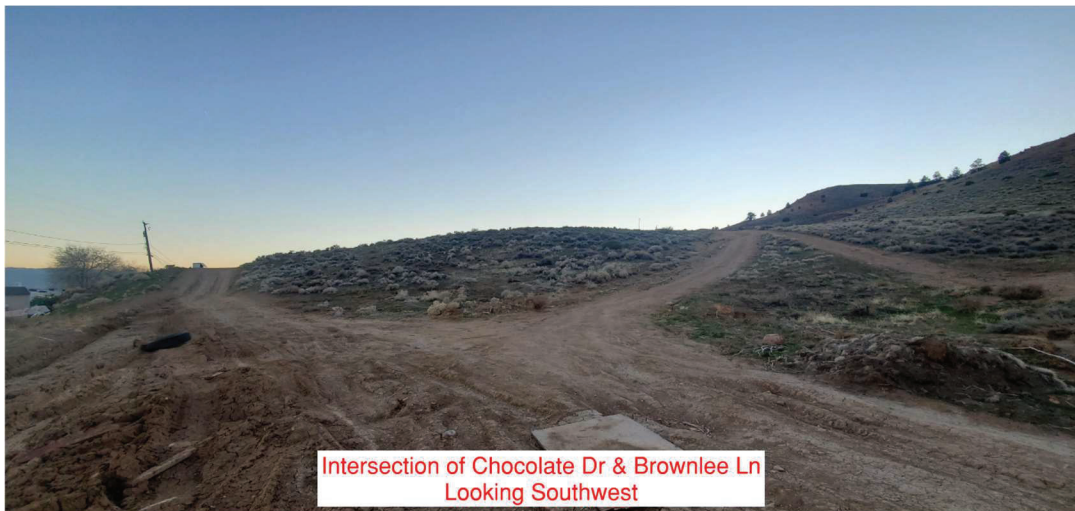
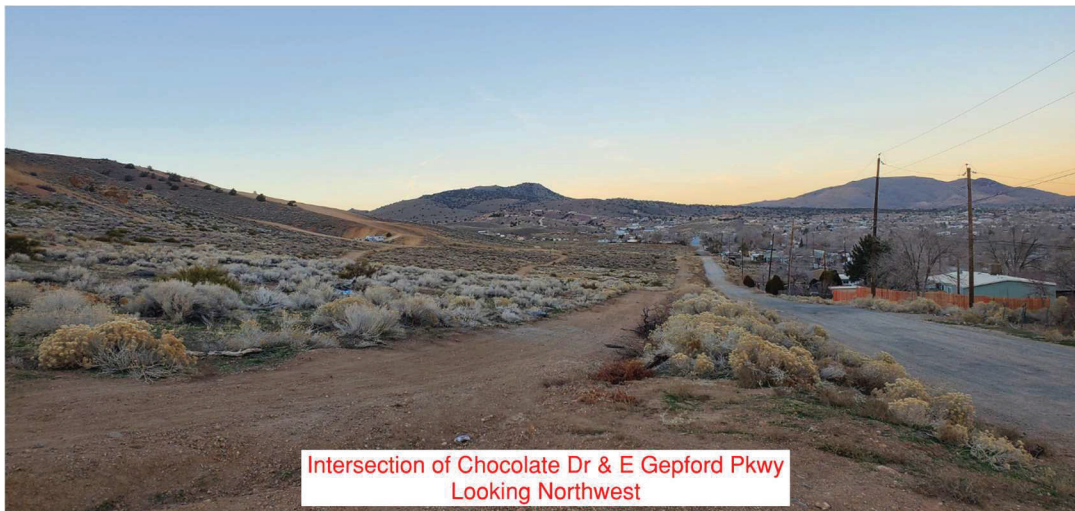
2.1. Site Information

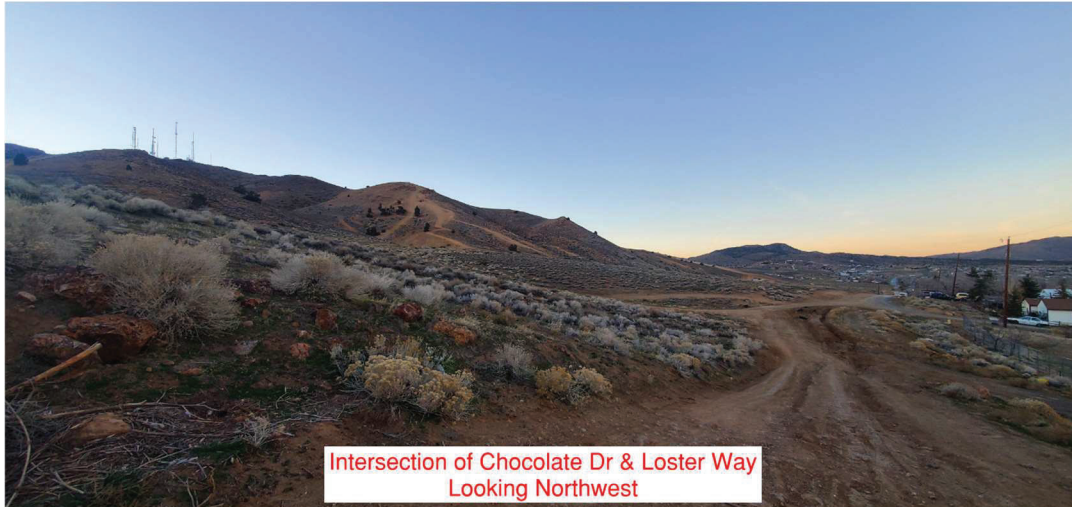
The Parcel is currently vacant with some existing utilities (water, electric, and gas) and dirt roadways. See Figure 2 – Site Photos and Appendix E for an Existing Conditions Exhibit and American Land Title Association (ALTA) Survey performed by MAPCA Surveys, Inc.

Parcel 502-250-09 is currently split-zoned and is comprised of 89% Medium Density Urban (MDU) and 11% Open Space (OS). Parcel 502-250-10 is currently zoned as general rural (GR).

The Site lies entirely in Zone X per FEMA Flood Map 32031C3033G dated March 16, 2009.







3. PROPOSED PROJECT

3.1. Project summary

The project consists of a low-income affordable housing multi-family development. There will be twenty (20) two-story apartment buildings (240 units) with a clubhouse, swimming pool, covered parking spaces, garages, mail kiosk, playgrounds, dog park, landscaping, and recreational amenities. The proposed apartment community will provide a high-quality affordable housing option for low-income residents of Washoe County.

3.1.1. Previous Applications Background

The subject project parcels (APN 502-250-09 and 502-250-10) was approved for Master Plan and Regulatory Zone Amendments in April 2022 under Case Numbers WMPA22-0003 and WRZA2-0003 (Chocolate Drive). It was also approved by the Truckee Meadows Regional Planning Agency (TMRPA) in August 2022 under CR22-007. The Project was found to be in conformance with all Washoe County Master Plan, Sun Valley Area Plan, and TMRPA policies and goals in 2022. In March 2023, the project was approved for a Special Use Permit for Major Grading (WSUP23-0001) and an Administrative Permit (WADMIN22-0029).

3.1.2. Project Request

The purpose of this submittal is to apply for an Amendment of Conditions to the Administrative Permit (WADMIN22-0029) to revise the site plan. The proposed project has been revised per the amended Washoe County Code in August 2024. The proposed Amendment of Conditions to the Administrative Permit (WADMIN22-0029) requests the following as part of this application:

- a. Modify Washoe County Planning and Building Division Condition 1.c to extend the two-year timeline from the date of approval by Washoe County (currently March 3rd, 2025) to two years from the date of approval of the Amendment of Conditions by Washoe County (anticipated to be February 2027).

Justification: This modification request is to extend the two-year timeline to complete the project. There has been extensive coordination and discussion with Washoe County staff over the last two years regarding easements to construct roadways, private utility connections, and access to road easements for the proposed paved Chocolate Drive and portion of 5th Avenue. The complexity of road easements available and dedicated to Washoe

County and SVGID in this area cannot be understated as the existing recorded documents are outdated and contain circulating language. It has taken time to understand how these entities will have access to develop roads by several legal teams (both publicly and privately). The parcels in question on 5th Avenue already have road easement access across the property and cannot be further developed in these areas. However, the ownership of these easements is held privately and prevents construction of any future roadways. Currently, the County District Attorney is involved to file a quiet title action this year for access to construct these roadways. This will be a community benefit to create safer access to homes in the area and provide access for vehicle travel on currently difficult to navigate dirt roads. This extension of time request is to support the effort to reconcile this extensive coordination.

- (b) Modify Washoe County Engineering and Capital Projects Traffic and Roadway - Condition v “The permittee shall obtain the necessary easements/right-of-way for future Chocolate Drive and W. 5th Avenue to be dedicated to Washoe County.” This modification request is to also include Washoe County in obtaining the necessary easements/right of way. Based on continued coordination with Washoe County, the County will be assisting in obtaining the necessary easements/right of way for W. 5th Ave.

Justification: Based upon the first modification justification above, the County is currently assisting the permittee in obtaining the necessary easements/right-of-way for the future Chocolate Drive and W. 5th Avenue to be dedicated to Washoe County. While the permittee is still responsible for building the roads to County standards and obtaining Irrevocable Offers of Dedication and future right-of-way, the County will be assisting in allowing access to construct these roadways across existing private easements. Without the County’s assistance this would not be possible.

Approval of this Amendment of Conditions to the Administrative Permit is required by the Washoe County Board of Adjustment for the Project. The intent of this Amendment of Conditions is to revise some, but not all elements of the project that have already been reviewed and approved by the Board of Adjustment in March 2023.

The following areas of the proposed development will remain unchanged as part of this Amendment of Conditions:

- Low-income affordable housing project
- Project density of 240 units, number of multi-family apartment buildings (20)
- Sidewalk along Chocolate Drive and safe pedestrian access to Schools
- Building elevations and floor plans
- Height of buildings (two-story)
- Array of building types (number of 1, 2, and 3 bedroom buildings)
- Traffic impacts and mitigations
- Entrance and egress to the site
- Emergency Access location
- Lighting
- Type of amenities
- Preservation of trailhead and open space areas
- Open space buffer
- Public road infrastructure
- Chocolate Drive Road and 5th Avenue road sections and alignments
- Signage
- Type of landscaping (shrubs, trees)

These changes are primarily in relation to the Washoe County Code update in July 2024 and include the following in further detail:

3.1.3. Parking - Reductions and Layout Modifications

Article 410 of the Washoe County Development Code (“WCDC”) identifies the parking requirements for multi-family to be “2-bedrooms or fewer units = 1 parking space; 3-bedrooms = 2 parking spaces; and 1 covered parking space or enclosed garage for every 2 units.” **Table 1** below identifies the unit count per bedroom size and the associated parking requirements:

Unit Size (Bedrooms)	Number of Units	Parking Ratio	Parking Required
One-Bedroom Units	72	1 per Unit	72
Two-Bedroom units	120	1 per Unit	120
Three-Bedroom units	48	2 per Unit	96
Covered parking spaces		1 every 2 Units	120 (included in total)
Total	240		288 (including 120 covered spaces)

Table 1 – Parking Required Per Unit

Parking requirements were calculated per WCDC Table 110.410.10.1. which required 288 spaces including 120 covered spaces (carports and garages). Additionally, Table 11.410.15.1 requires 8 of those spaces to be ADA accessible, with a minimum of 1 van accessible space.

A total of 360 parking spaces are proposed which will include 20 garages and 102 carports. This results in approximately 1.5 parking spaces per unit, which is more than the Code requires. In addition, 23 ADA accessible spaces are included with 18 designated van accessible. The parking previously approved in the 2022 Administrative and Special Use Permit was designed per Code at the time. The previously approved and proposed parking is summarized and compared in **Table 2**.

	Previous Administrative Permit	Proposed
Parking Required	468	288
Total Parking Provided	470	360
ADA Spaces Required	9	8
ADA Spaces Provided	28	23
Garage/Carports Required	240	120
Garages/Carports Provided	240 (36/204)	122 (20/102)

Table 2 – Comparison of Previous Parking and Proposed Parking

3.1.4. Bicycle Storage Additions

This proposed Amendment of Conditions includes bicycle storage as part of the Project which was not included before. This is in compliance with WCDC Section 110.410.15(b) and (c). Below is **Table 3** showing the required and provided bicycle storage information:

	Required	Proposed
Long-Term Bicycle Storage (Indoor)	60	240 (one per unit)
Short-Term Bicycle Storage (Outdoor)	36	105
Total	96	345

Table 3 – Required and Provided Bicycle Storage

As proposed above, 240 long-term bicycle storage spaces (one per unit) are being provided as part of this Project. A secure locking closet in each unit will be provided to store bicycles and other personal items. For short-term bicycle storage, a total of 21 inverted U bicycle racks with 5 spaces each are provided outside of every building (including the clubhouse) for a total of 105 spaces. These will be located in well-lit and high traffic areas adjacent to sidewalks as indicated on the Site Plans in Appendix E.

3.1.5. Trash Enclosure Additions

An addition of two trash enclosures have now been provided for the Project, bringing the total number of enclosures to seven. The reason for the increase in trash enclosures it to provide more residents with additional trash disposal locations as well as meet the developers minimum number in their internal design standards. Each trash enclosure configuration will remain the same as previously proposed. However, their locations have been changed to be along drive aisles and allow for Waste Management vehicles to easily navigate to these areas.

3.1.6. Common Open Space

The proposed community will contain a clubhouse, pool, dog park, turf/lawn areas, mail kiosk, and a playground lot for children who live within the community. The changes to the amenities are the arrangement of some of the amenities on site, a revised mail kiosk building, and revised trash enclosures. As well, in the previous submittal, there were five trash enclosures proposed; there are now seven trash enclosures proposed to improve resident access.

Common open space areas are required for the multi-family development which consist of the provided amenities. Common open space requirements were calculated based on 200 square feet per unit and a total of 240 units resulted in common open space of 48,000 square feet required.

The current proposed plan includes 49,911 square feet of common open space which exceeds this requirement. The proposed common open space consists of the same amenities as previously approved and includes a pool, turf/lawn areas, playground, and a dog park. The common open space is compared and summarized in **Table 4** below.

	Previous Administrative Permit	Proposed
Required Common Open Space	48,000 SQ FT	48,000 SQ FT
Proposed Common Open Space	50,258 SQ FT	49,911 SQ FT

Table 4 – Comparison of Previous and Proposed Common Open Space

3.1.7. Retaining Wall Locations

The retaining wall locations have changed within the site mostly due to the change in parking, but also to limit the site disturbance area, lessen the amount of grading impacts, and balance the site in earthwork. The revised retaining wall locations are shown in the site plan comparison exhibit in Appendix H and Site and Grading Plans in Appendix E. The proposed retaining wall design, heights, benches, material, and tiers of retaining walls has not changed. The retaining walls serve to limit the grading disturbance area by cutting into the terrain on the west side and filling on the eastern sides. The increased heights in 10-foot-tall walls and 10 foot wide tiered benches will provide a transition of heights to blend into the existing topography. Although there will be some tiering of the site as presented, the multi-family buildings have been concentrated to a small portion of the parcel area at the north end where road access, trail access, and open space amenities exist. The proposed disturbance area will also be significantly reduced with this orientation of retaining walls. This design does meet the requirements of the Washoe County Development Code. These retaining walls are also reflected and described in further detail in the Special Use Permit Application which is provided separately.

3.1.8. Landscaping Revisions

Landscaping is proposed throughout the project site per Washoe County standards to contain a variety of trees, shrubs, and amenity areas and has been updated to the new site layout. The landscape plan is included in Appendix R.

There is a total of 17.04 acres of site disturbance area for the development of the project. A minimum of 20% of the disturbance area (148,486 square feet) is required to be landscaped. The proposed landscape area is estimated to be 148,486 square feet (3.41 acres), exactly 20% of the disturbance area. The required and proposed landscaping is summarized in **Table 5** below and compared to the previous Administrative Permit.

	Previous Administrative Permit	Proposed*
Required Landscaping (20% of Disturbed Area)	149,434 SQ FT	148,486 SF
Proposed Landscaping	302,616 SQ FT	148,486 SF

*See Landscaping Plans in Appendix O for more detail

Table 5 – Comparison of Previous and Proposed Landscaping

There has been a reduction in landscaping from the above as the site development area has become smaller. There has also been a change in the Washoe County Code to not require as much grassed turf which was provided before. The minimum landscaping has been provided to the extent possible, however the landscaping area is limited outside of proposed roads, buildings, and common open space amenities.

3.1.9. Drainage Revisions

Proposed drainage includes four (4) detention basins, a variety of storm drain network pipes and inlets, and curb and gutter along the proposed Chocolate Drive to collect runoff in inlets along the road. A Preliminary Storm Drainage Exhibit is included in Appendix P and depicts catchment area and flow, drainage features, storm pipes, and flow direction.

Drainage will be mitigated for both the on-site development and also for off-site flows coming from Red Hill to the west. The drainage improvement proposed will not only improve drainage for the development, but also for the surrounding community as a project benefit.

Existing drainage is currently routed east through the neighboring properties, which introduces erosion and flooding concerns as it passes through during rainstorm events. The project proposes to capture and lessen the impact to the neighborhood with the installation of Chocolate Drive and detention basins, channels, pipes, and interceptor swales which will collect drainage as it is flowing east. Drainage will be routed to these proposed detention basins and storm drain pipes, slowing down the peak flow and staging runoff to be slowly released into the storm drainage network. The drainage will eventually flow down 5th Avenue towards existing drainage patterns and channels along Sidehill Drive, where it will eventually make its way to Sun Valley Boulevard where it currently is routed. The post-peak flows will be reduced to pre-existing conditions as required by the Truckee Regional Drainage Manual. A hydrology report has not been prepared or required for this Amendment of Conditions, but will be submitted as part of the Construction Drawings phase as required by Washoe County.

A series of drainage channels will be provided throughout the Project site. There is a new proposed channel which connects two detention basins within the development area. This will allow for stormwater to attenuate and reduce the peak flow of areas downstream. Another channel at the north end of the site which conveys existing runoff from Red Hill safely through the site. This channel is proposed to better direct existing stormwater to 5th Avenue and around the proposed development (where it currently channelizes). The northern channel contains a 8 foot wide berm on the south side which is outside of any building or site setbacks. This channel will improve existing conditions by routing stormwater away from the surrounding neighborhood and away from the proposed buildings. This berm will assist in stabilizing this channel storage, to contain flows which pass the 100-year storm event. The berm will also protect flows to be contained within the channel and the top of the berm elevation is planned above the hydraulic flow line.

There is also a proposed trailhead and parking lot (as requested by Washoe County Regional Parks and Open Space) with a road that crosses this northern channel. Initially, there was a box culvert that was proposed for this crossing. Washoe County collaborated with this project for value engineering and has approved the box culvert to be replaced with a low water crossing. (All Washoe County correspondence is in Appendix O).

3.1.10. Access and Circulation

Access to the project is the same as previously proposed: with a driveway on Chocolate Drive, south of W. Gepford parkway, that will direct traffic to 2nd Avenue and Sun Valley Boulevard; and secondary emergency access at the intersection of W. 5th Avenue and Chocolate Drive. Circulation of the site has slightly changed due to the reduction of some internal parking areas. There are no changes to the traffic site access, configuration, or number of trips for the development. There will be no changes to the previously provided Traffic Study as part of the approved Administrative Permit (WADMIN22-0029).

The Washoe County Regional Transportation Commission (RTC) asked that potential traffic impacts to Sun Valley Boulevard be analyzed to ensure the acceptable level of service is met at the intersections. A traffic study previously prepared by Kimley-Horn addresses this requirement and was provided as part of original Administrative Permit package. The RTC has also indicated that the future Project will not require a bus stop based upon its future project size of 240 multi-family units. In addition, the RTC does not recommend any deviation of current bus routes from Sun Valley Boulevard to the parcel as they are located nearby.

Safe pedestrian access will be provided along the new sidewalk within the site development area but also along the west side of Chocolate Drive. This will provide a safe route to the nearby Lois All Elementary School and to public RTC bus stops and other multi-modal areas. As a sidewalk does not currently exist in the surrounding neighborhood or along Chocolate Drive, this will be a significant community benefit.

3.2. Hillside Development

The proposed development is classified as Hillside Development by Article 424 as twenty percent of the Site is in excess of fifteen percent in slope. The following specifies how Hillside Development requirements will be met.

3.2.1. Site Development Standards

The proposed development has been designed to encourage compatibility with the existing hillside. The proposed design is in conformance with the requirements outlined in Article 424 Hillside Development Section 110.424.15(a)(1-9) and Section 110.424.30.

The site disturbance area and earthwork volume has reduced since the initial Administrative Permit approved in 2023. See **Table 6** below for more detail on the previous and proposed changes.

	Previous Permit	Administrative	Proposed
Disturbance Area (Including Roads)	25.13 acres		23.87 acres
Earthwork Volume	91,169 cubic yards (CY) Cut		98,939 CY Cut
	123,584 CY Fill		96,701 CY Fill
	32,415 CY Net Fill		1,638 CY Net Cut

Table 6 – Comparison of Previous and Proposed Grading

The changes in earthwork volume are significant as this will assist in less hauling trips to and from the development during construction. Previously hauling of earthwork volume offsite was planned for, but now earthwork will remain balanced onsite with very limited hauling if any. For an average 14 cubic yard dump truck, that is equivalent to approximately 2,198 construction trips saved for the surrounding neighborhood. This will limit degradation of streets and vehicles passing by residents' homes.

The proposed buildings are clustered towards the northeast of the site to minimize disturbance area, preserve natural features, and to retain views of the surrounding Red Hill open space. The buildings, roadway, and drainage features follow the natural slope to the extent possible. In conjunction with following the natural topography where possible, man-made pads are used due to the limited options for site layout, as constrained by the narrow parcel configuration and steep grades. The buildings are staggered to the extent possible while minimizing the extents of the grading area. While most of the site is vacant, development will include existing, disturbed areas where possible which are concentrate at the northern end of the site. Small decks and patios are incorporated into the buildings to limit grading but still be comfortable for future residents. Buildings are proposed to be a maximum of two-stories in height and with varied, pitched roofs, both of which will complement the existing slopes of the terrain. In some areas, the buildings will be shorter than the retaining walls on the west end of the site. Refer to Appendix J for the building floor plans and elevations. The building heights are compliant with the allowable height standards. The building types will vary slightly in height and

paired with the site landscaping, these will mitigate the visual impacts of the development and complement the natural character of the hillside. Previously, a stepped foundation building was planned for the northern end of the site due to the building orientation, but this is no longer necessary since the disturbance area has been reduced.

Retaining wall tiers are separated horizontally by a distance of 10 feet and the walls are a height of 10 feet. The tiered wall design will help the transition to the natural topography of the hillside. The retaining walls on the west and east sides of the development help to balance the earthwork of the site. This will limit hauling of material to and from the site during construction. Landscaping will be provided at each retaining wall bench/tier in accordance with Washoe County Standards and to mitigate the visual impact of the development.

The proposed Chocolate Drive road is located on the east side of the site to protect the hillside as much as possible and is designed in accordance with Washoe County standards. The slopes adjacent to the roadway are designed in a uniform manner and compliant with code. The roadway includes a sidewalk for pedestrians. Driveway intersections are provided at every crossroad and driveways are provided for every adjacent resident as has been coordinated with Washoe County. If common driveways are allowed/encourage by the County, this can be incorporated into the site design at a later time. The roadway is designed in accordance with Section 110.424.45 and the Geotechnical Report and Preliminary Slope Stability Analysis. (See Section 2.2 and Appendix N for more information.)

At the northmost end of the site, there is a proposed public trailhead in an open space easement for Washoe County Regional Parks and Open Space. This is in addition to the open space split-zoning of the parcel that complements the adjacent Red Hill open space. This trailhead increases access to useable open space and is consistent with Washoe County code.

In accordance with Section 110.424.50, retaining walls will help act as fuel breaks to reduce the risk of fire spreading towards or from the development area. Vegetation will be designed in accordance with this section. Building materials will meet Wildland Urban Interface standards to mitigate fire risk. The site has adequate fire flow and is designed to meet all fire hydrant requirements.

3.2.2. Purpose

The proposed development is designed to meet the requirements outlined in Section 110.424.00 as outlined by the following responses in **bold**:

- (a) Minimizing use of slopes subject to instability, erosion, landslide, flood hazards or drainage problems;
The proposed development will limit disturbance on steeper slopes on the project site (located south) and concentrate development to the northern end of the site. The site has been shifted further north from before to limit disturbance of steeper slope areas. A perimeter drainage swale around the site has been proposed to convey drainage to proposed detention basins and significantly reduce existing flooding concerns. Existing channels will be undisturbed and drainage will be gathered in a series of detention basins, within channels, and into storm drainage systems along Chocolate Drive. Retaining walls will limit erosion in lieu of graded slopes. Erosion will be mitigated on taller slopes by Best Management Practices (BMPs). Please refer to slope analysis in Appendix E and grading plans in Appendix H for more detail.
- (b) Minimizing the careless alteration of and disruption to the natural topography and landscape;
The proposed design intends to incorporate native landscaping in accordance with Washoe County standards and will limit disruption to the natural topography in grading by balancing the site in earthwork and limiting the development to a smaller portion of

the property. The proposed grading, limited disturbance area, and drainage improvements will complement the existing terrain.

- (c) Providing safe and adequate vehicular and pedestrian access to and within hillside areas, including emergency access;
Vehicular and pedestrian access will be provided along the proposed paved Chocolate Drive. This will accommodate safer emergency access, utility access, and access to the proposed development. A sidewalk system will be provided along Chocolate Drive and throughout the development for the community and to the Lois Allen Elementary School. A proposed trailhead easement and parking area for Washoe County Regional Parks and Open Space is provided for future trail connection to Red Hill at the northern end of the project site. This will assist in public access to open space areas in accordance with the goals of the Sun Valley Planning Area within the Washoe County Master Plan. Appropriate vehicular parking above code requirements, site access, and emergency access have been provided for the project.

- (d) Establishing stormwater runoff and erosion control techniques to minimize adverse water quality impacts resulting from non-point runoff;
There will be significant improvements to existing drainage patterns on-site and to downstream properties with the proposed design. A series of detention basins will improve the stormwater flooding in the area from the adjacent Red Hill. The proposed design utilizes erosion control best management practices (BMP's) and will minimize water quality impacts from non-point runoff. Please refer to site and grading plans in Appendix I.

- (e) Encouraging innovative grading techniques and building design which respond to the hillside terrain and natural contours of the land;
The proposed design is in conformance with the site development and grading standards in Section 110.424.30 and 110.424.35. Building heights will be low and limited to two-stories complement the existing slopes of the terrain.

- (f) Minimizing impacts on existing trees and vegetation which reduce erosion, stabilize steep hillsides, enhance visual quality, protect water quality and preserve critical watershed recharge areas;
Existing vegetation will be limited in impact and where necessary be replaced by similar type landscaping. Landscaping, limited grading, and erosion control measures are proposed in accordance with Washoe County standards. Refer to the site and grading plans in Appendix I for more detail.

- (g) Encouraging the transfer of density to avoid hazardous areas and to protect environmentally sensitive and open space areas; and
Density of the development is limited to the flatter slope areas at the northern end of the parcel as much as possible. Environmentally sensitive areas and open space areas have been avoided with the proposed design with a buffer of any proposed grading from these areas. A split zoned buffer of open space area (4.87 acres) was established in the Master Plan Amendment process to separate development from the Red Hill open space area. Refer to slope analysis in Appendix F and developable area map in Appendix H.

- (h) Minimizing impacts on prominent ridgelines, significant viewsheds, canyons and visually prominent rock outcroppings which reflect the visual value and scenic character of hillside areas.

The proposed design will not impact any ridgelines, significant viewsheds, canyons or prominent rock outcroppings. Please refer to viewshed analysis in Appendix L.

3.2.3. Constraint and Mitigation Analysis

Constraints of the project site include fault areas, altered andesite buckwheat plant species, minor drainageways, existing stormwater, and steep topography. These constraints are identified on the developable area map in Appendix H and site plan in Appendix I. This section will only discuss project constraints relevant to the grading.

Faults

The proposed development is shown to avoid existing faults with buildings placed distant from the 50' setbacks. Chocolate Drive is proposed through one fault line to the south of the project area. However, roadways, utilities, and parking areas are permitted through these fault areas as recommended by the seismic hazard investigation in Appendix M.

Grading

The site is limited by steep slopes as shown in the Slope Analysis exhibit in Appendix F. Grading for the proposed development has been designed to complement the existing terrain. The proposed development will be graded into the existing slopes and concentrated on the northern side of the site where the slopes are less steep. Grading is proposed outside of the existing drainageways to allow stormwater to flow along existing drainage patterns. Retaining walls are proposed on the west and east sides of the development to limit disturbance area in lieu of large slopes and balance the site in earthwork. Balancing the site earthwork will reduce the amount of hauling trips during construction to and from the development and throughout the neighborhood.

Chocolate Drive Alignment

One of the project constraints is the placement and design of the proposed Chocolate Drive Road. The alignment was carefully selected in coordination with the neighborhood community. Currently Chocolate Drive is located between several private parcels, one half on our project parcel (APN 502-250-10) and the other half on 19 other private parcels as an easement. In February 2023, Washoe County reached out to all property owners along Chocolate Drive to obtain Irrevocable Offers of Dedication and establish the existing easement areas at right-of-way. If there were unanimous offers by all property owners, this would mean the proposed County road could be placed where the existing dirt road is. As several property owners declined or gave no response, the road was kept as shown on the private parcels of this project and will be dedicated to the County with an Irrevocable Offer of Dedication in the future. However, residential driveways to every property owner and at road intersections will be provided as part of this project. All of these details were coordinated with the Washoe County Engineering Department. The alignment of the road is still shown on the project parcels (APN 502-250-10 and 502-250-09) as depicted in the preliminary site and grading plans.

The grading for the Chocolate Drive Road is per County standards and the grading criteria is almost the same as previously approved. There is one change to the grading to minimize the grading extents. The updated Code allows for slopes to be greater than three-to-one (3:1) if there is a geotechnical analysis of slope stability allowing for steeper slopes along with any mitigation necessary. At the southern end of the parcel, there is a larger cut for Chocolate Drive. To minimize the extents and cut of the slope, the project proposes to grade this slope at two-to-one (2:1) in accordance with the County Code and Slope Stability Analysis prepared by GES (in Appendix M).

Storm Drainage

Proposed stormwater drainage infrastructure will improve the existing drainage patterns which currently flow into the nearby residential areas to the east. A series of four separate detention basins will collect both on-site and off-site runoff to reduce peak flows of existing and proposed stormwater. In addition, a storm drainage system consisting of curb and gutter and drainage inlets will be installed along Chocolate Drive. Compared to the previous submittal, there is one new proposed storm drainage feature: a drainage channel to connect two basins. This will allow for stormwater to attenuate and reduce the peak flow of areas downstream. The storm drainage channels, detention basins, and proposed drainage routing will significantly improve drainage issues in the area.

There is additional storm drainage infrastructure at the north end of the site which is very similar to the previous Administrative and Special Use Permits. A channel is proposed to better direct existing stormwater to 5th Avenue and around the proposed development (where it currently channelizes). This channel will improve existing conditions by routing stormwater away from the surrounding neighborhood and away from the proposed buildings. The project proposes an 8' wide and 10' high berm adjacent to the channel as an additional safety measure for the buildings closest to this area. As well, there is a proposed trailhead (as requested by Washoe County Regional Parks and Open Space) with a road that crosses this channel. Initially, there was a culvert that was proposed for this crossing. Washoe County collaborated with this project for value engineering and has approved the culvert to be replaced with a low water crossing. (All Washoe County correspondence is in Appendix N.)

3.3. Administrative Permit Findings

Per section 110.808.25 of the Washoe County Development Code, prior to approving an application for an Amendment of Conditions to the Administrative Permit, the Board of Adjustment or a hearing examiner shall find that all of the findings are true. The project still meets all of the same findings as explained below:

- A) Consistency. The proposed use is consistent with the action programs, policies, standards, and maps of the Master Plan and the Area plan in which the project is located.
 - a. **The proposed Chocolate Drive project is consistent with the Washoe County Master Plan and Washoe County Land Development Code standards. The Envision Washoe 2040 Master Plan and supports the following visions and principles:**
 - i. **Affordable housing. This development proposes low-income affordable housing which is an identified need within Washoe County due to the increasing housing prices over the last 10 years. Policies both by Washoe County and TMRSHA focus on creating flexible development standards and incentives to encourage creation of affordable housing and provide funding for affordable housing development. This developer is experienced in low-income affordable housing with over 30,000 doors open across the country for this type of housing. Extensive coordination with local jurisdictions, previous awarding of \$200,000 of HOME Consortium funds for this project, and the support for affordable housing in the Sun Valley Planning Area has been accomplished. This is conformance with Population and Housing Element Principles 1.2, 2.1, 3.1, 3.2, 3.5, 3.6, 4.2, 5.2, 5.5, and 6.3.**

As mentioned in PH Principle 3.2 – “Reduce regulatory barriers to the provision of affordable and workforce housing through methods including, but not limited to streamlining the development process or offering regulatory flexibility and/or financial incentives for affordable and attainable housing.”

- ii. **Contribute to diverse housing options available in the area. This development will seek to provide a variety of housing options for Washoe County and the Sun Valley area. This affordable housing project fits within this adjacent single-family neighborhood. Multi-family residential is the focus of this project and has been requested as the type of housing that is needed in the Sun Valley Planning Area.**
- iii. **Placement. The “rural” and suburban feel of living in an environment nearby to public open space, trails, and commercial amenities allows residents to have a safe and healthy place to live, raise a family, work, recreate, run and business, and retire. This type of housing with a location that is appropriate in relation to bus stops, nearby schools, and public open space access is a most ideal place for this project. A public open space easement, parking, and trailhead area has been proposed and coordinated with Washoe County Regional Parks and Open Space. This will preserve open space areas and ridgelines. New roads in replacement of dirt roads and sidewalks are proposed with this development (Chocolate Drive and 5th Avenue). Dark skies will be kept in the lighting design. Availability of transportation is within a half mile of the project site. This is conformance with the Sun Valley Planning Area Principles 2.1, 2.2, 7.2, 1.1, 1.4, and 3.3.**

- iv. **Communication.** As part of the Regional Form and Coordination Element, the project has engaged several agencies to make sure this project is planned well. This project has coordinated extensively with the TMRPA, SVGID, Washoe County Engineering, Planning, Regional Parks and Open Space, County Manager, District Attorney, County Surveyor, Nevada Division of Wildlife, local Tribes, U.S Fish and Wildlife, WCSD, and the community to provide input on the project. This project is an outstanding example of the coordination with agencies to produce a successful affordable housing project that also benefits the community with so many other amenities, design, and infrastructure. This is in conformance with RFC Principles 1.1, 1.2, 1.3, 1.4, 1.6, 2.1, 3.1, 3.2, 3.5, 4.1, 4.2, and 5.3.
- v. **Conservation of Natural and Cultural Resources.** The Red Hill Open Space and adjacent trails will be conserved. As coordinated with the County Regional Parks and Open Space, public trailhead access will be provided as part of this project as well as preventing illegal dumping, OHV travel, and degradation of public County lands with barriers on the project site to not allow for this to happen. Wildlife and sensitive vegetation species will be avoided in any part of the development. The local Tribes have been coordinated with and no artifacts have been found on the project site. Water resources will be conserved with connections to utilities with SVGID. Grading disturbance area will be limited to the north portion of the site to help maintain air quality. Regional parks and trails will be developed as additional recreational opportunities. This is in conformance with NCR Principles 1.1, 1.2, 1.3, 1.4, 1.5, 2.3, 2.4, 3.1, 3.2, 3.7, 4.1, 4.4, 5.4, 5.5, 6.1, 6.3, 6.7, and 7.2.
- vi. **Adaptation and Resiliency.** This project reduces impacts to parking, reduced the impervious footprint of the site, promotes water-wise and drought tolerant landscaping similar to the existing environment, and limits the site grading and orientation to less than half of the overall parcel area. This is in conformance with AR Principle 3.3.
- vii. **Land Use Element.** This project has coordinated with Washoe County Planning and TMRPA to allow for the intended use of multi-family in the previous Master Plan and Regulatory Zone Amendments which were approved in 2022. This project is suitable to the surrounding community and is an identified need of affordable housing. Also, WCSD has been coordinated with about the project and they indicate capacity for school enrollment for the project of 240 units. This project will also promote the Safe Routes to School program with the new sidewalk route along Chocolate Drive to the existing Lois Allen Elementary School. This project has adapted to new policies and conditions in the Washoe County Code and Master Plan. This is in conformance with LU Principles 1.1, 1.2, 1.4, 2.2, 3.1, 3.2, 3.3, 4.1, 4.2, 4.3, 4.6, 4.7, 5.3, 5.5, 5.6, 6.1, 6.2, and 6.3.
- viii. **Transportation Element.** The project has coordinated with the Washoe County RTC and will be providing a route to bus stops within a half mile to the project via the new sidewalk. The new paved road will promote vehicular access including emergency access, access for utility companies, and safer access for the surrounding community to existing homes. Public recreational use will also be provided within the development including a public trailhead parking lot. This is in conformance with TR Principles 1.1, 1.2, 1.4, 2.2, 2.3, 2.6, 3.5, 4.3, 4.5, and 4.6.

- B) Adequate Public Facilities. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities must exist or will be provided.
- a. **The Sun Valley General Improvement District (SVGID) has indicated that the parcel is within their service territory and will supply water, sanitary sewer, parks & recreation, and garbage services. Public facilities including water and sewer are available from the SVGID as outlined in the capacity study that was included in the previously approved Administrative Permit (WADMIN22-0029). An updated capacity study will be completed by SVGID before Construction Drawings begin. Roadway improvements are proposed to be upgraded along Chocolate Drive and will promote safe access to the development. Drainage issues with the project site and surrounding residential area will be greatly reduced with the addition of several detention basins, adequate storm drainage conveyance systems, and street drainage infrastructure. This is in conformance with PFS Principles 2.3, 3.1, 3.6, 3.7, 4.1, and 4.4.**
- C) Site Suitability. The site must be physically suitable for the proposed use and for the intensity of development.
- a. **The site is physically suitable for the proposed use and intensity of development. The parcel (APN 502-250-09) is subject to Hillside Development requirements, however proposed design is intended to complement the existing terrain in building design, grading, and landscaping. Development will be limited to approximately less than two-thirds of the parcel and avoid areas of constraint such as faults, plant species, drainageways, or steep slopes. The intensity of the development is suitable for the surrounding area and provides a variety of housing types in the area for residents. This is an ideal area for multi-family and affordable housing due to the location of transportation, schools, and recreational amenities. This is in conformance with the Policies in the Population and Housing Element as well as the Sun Valley Planning Area.**
- D) Issuance not Detrimental. Issuance of the permit may not be significantly detrimental to the public health, safety or welfare; have a detrimental impact on adjacent properties; or be detrimental to the character of the surrounding area.
- a. **Issuance of the amendment of conditions for the proposed development will not be adverse to public health, safety, and welfare. It will not impact adjacent properties in a detrimental manner or be detrimental to the surrounding community. This multi-family project will complement existing use and proposes improvements for public trail access, low-income housing, and infrastructure that will benefit the surrounding community. The project design seeks to provide several public benefits to the surrounding community. A mix of residential densities that include multi-family housing is a need within this County. The Sun Valley Planning Area calls for a combination of low, medium, and high-density housing opportunities and identifies affordable housing as a need for the area. The majority of the parcel is noted as “most suitable” on the Development Suitability map. The Amendment preserves all aspects of the Envision Washoe 20240 Master Plan and Sun Valley Planning Area which support the proposed**

Project. The public welfare of the Sun Valley community will benefit from this affordable housing and well-organized project.

E) Effect on a Military Installation. If a military installation is required to be noticed pursuant to this article, the effect of the issuance of the permit will not be detrimental to the location, purpose and mission of the military installation.

a. This finding is not applicable since there are no military installations in proximity to the project site.

APPENDIX A
WASHOE COUNTY DEVELOPMENT APPLICATION

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Chocolate Drive Multi-Family			
Project Description: The project is a proposed low income affordable multi-family apartment construction consisting of twenty 2-story buildings (240 units) with a clubhouse and swimming pool, covered and garage parking spaces, mail kiosk, playground, and recreational amenities. This submittal includes an Amendment of Conditions to the Administrative Permit (WADMIN22-0029) and a Major Grading Special Use Permit. Please refer to detailed project narrative for specifics.			
Project Address: 0 W Gepford Pkwy, Sun Valley, NV 89433			
Project Area (acres or square feet): 45.51 AC for 502-250-09 and 2.75 AC for 502-250-10. 48.26 AC total			
Project Location (with point of reference to major cross streets AND area locator):			
The parcel is located at 0 W Gepford Pkwy in southwest Sun Valley, west of Sun Valley Blvd, and on the western half of Chocolate Drive between West 2nd Ave and West 5th Ave.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
502-250-09	45.51		
502-250-10	2.75		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). #WSUP23-0001; #WADMIN22-0029; #WRZA22-0003; #WMPA22-003			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Chocolate Group, LLC		Name: Kimley-Horn and Associates, Inc	
Address: 3860 GS Richards Blvd		Address: 7900 Rancharrah Parkway, Suite 100	
Carson City, NV	Zip: 89703	Reno, NV	Zip: 89511
Phone: 775-885-8847	Fax:	Phone: 775-200-1978	Fax:
Email: randy@kbcallc.com		Email: chris.waechter@kimley-horn.com	
Cell: 775-560-2683	Other: 775-885-9102	Cell: 805-850-9102	Other:
Contact Person: Randal Kuckenmeister		Contact Person: Chris Waechter	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Pedcor Investments, A Limited Liability Company		Name:	
Address: 770 3rd Ave SW		Address:	
Carmel, IN	Zip: 46032		Zip:
Phone: 317-705-7970	Fax:	Phone:	Fax:
Email: rrodgers@pedcor.net		Email:	
Cell: 317-460-4426	Other:	Cell:	Other:
Contact Person: Ryan Rodgers		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

APPENDIX C
AMENDMENT OF CONDITIONS APPLICATION

Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the **existing** and **proposed condition(s)**.

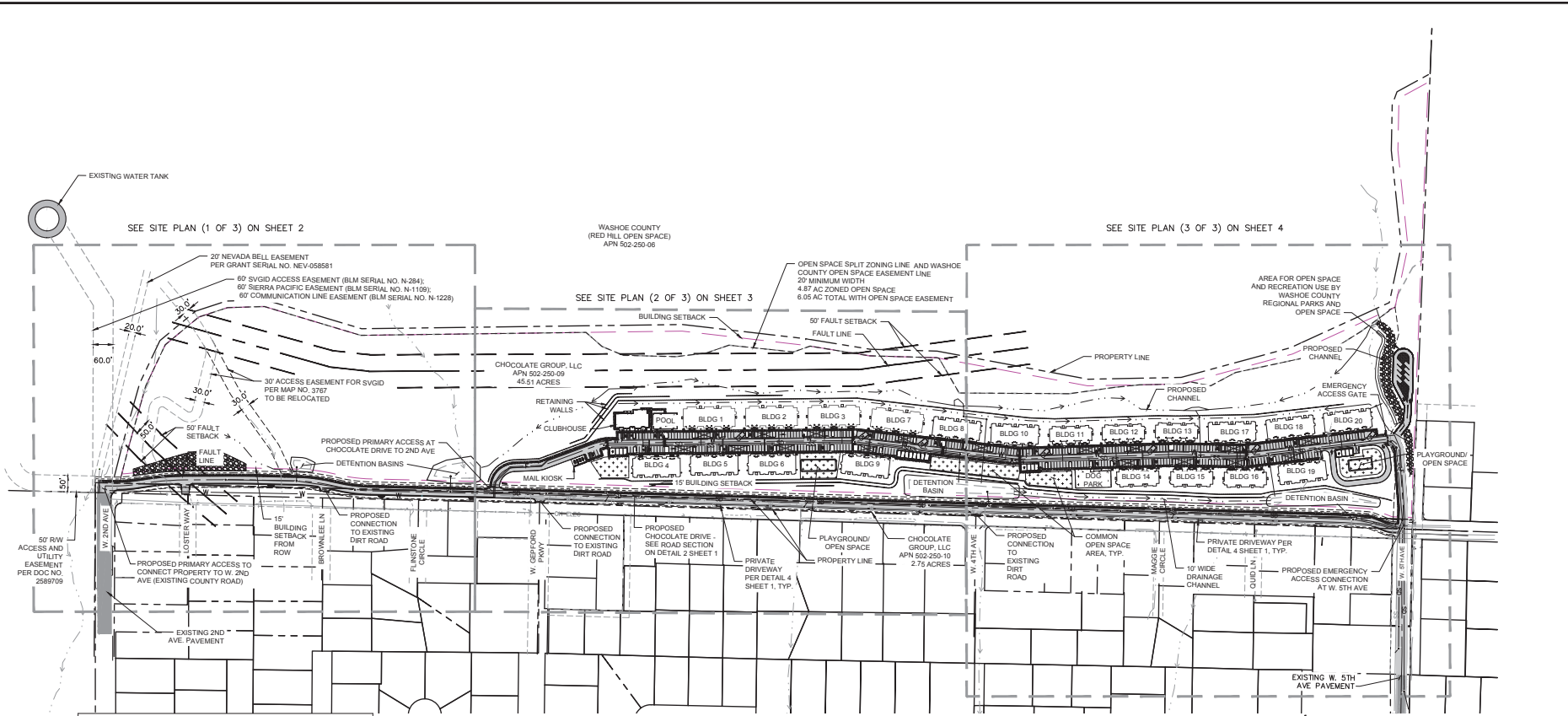
This is for an Amendment of Conditions to the Administrative Permit (WADMIN22-0029) to incorporate the updated County Code changes and modify the conditions of approval as follows: allow for an extension of time to complete the project concurrent with the new Special Use Permit and remove/modify the condition indicating that the permittee is responsible for obtaining easements/right of way for the roadways. Please see the narrative for specific details. The site changes to the project are the reduction of parking, addition of bicycle parking and trash enclosures, rearrangement of the buildings/amenities, and grading revisions. Other changes include a drainage channel adjacent to Chocolate Drive to connect two detention basins and a low-water crossing. This submittal also includes revised landscape plans that have been updated based on the revised site layout. Please see the narrative for details on specific revisions.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

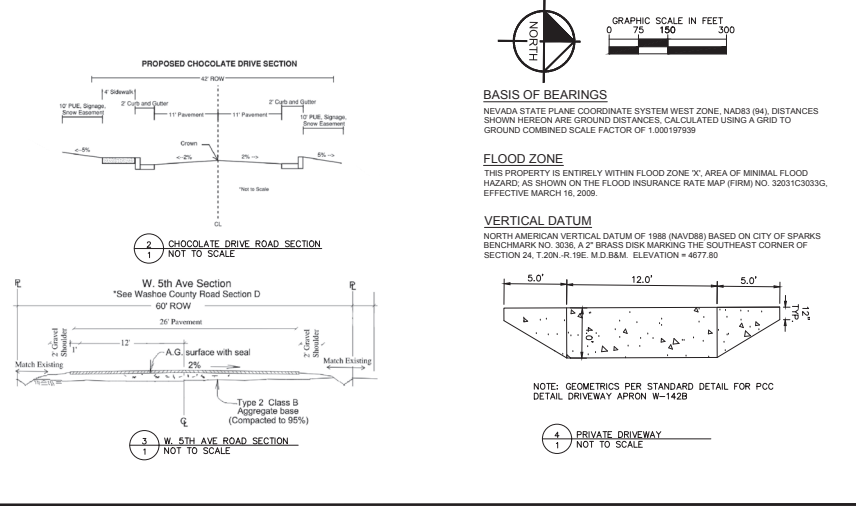
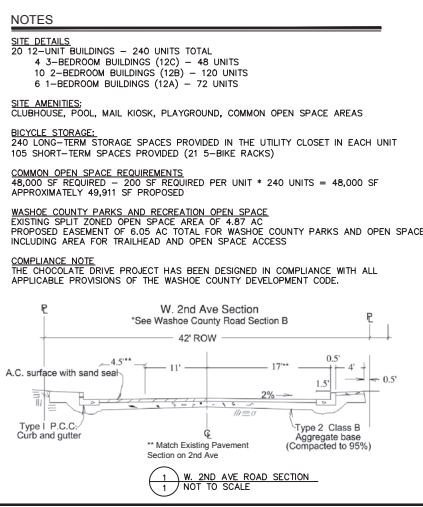
Issuance of the amendment for the proposed development will not be adverse to the public health, safety, and welfare and it will not impact the findings of the Administrative Permit. This amendment will not impact adjacent properties in a detrimental manner or be detrimental to the surrounding community. This multi-family project will complement existing surrounding uses and proposes improvements for public trail access, low-income housing, storm drainage, and road infrastructure that will benefit the surrounding community. This amendment also will positively impact the future multi-family community and provide an improved place to live for residents. The proposed project has been prepared to meet the design requirements set forth under the Washoe County Master Plan and Development Code. The proposed development meets the applicable policies and findings as before. The low-income affordable multi-family residential development will be a significant benefit to the Washoe County community and satisfy a recognized need for low-income housing.

APPENDIX E
PROPOSED SITE AND GRADING PLANS

File Path: C:\Users\jcw\OneDrive\Documents\Projects\2024\Chocolate Drive\Chocolate Drive - 12-20-2024.dwg Plot Date: 11/18/2024 1:15:00 PM Plotter: AutoCAD Plot Driver: HPGL2
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SITE INFORMATION	
SITE APN	502-250-09, 502-250-10
SITE AREA	-09 PARCEL IS 45.51 AC -10 PARCEL IS 2.75 AC
ZONING	-09 PARCEL IS MEDIUM DENSITY URBAN 69% (40.64 AC) AND OPEN SPACE 11% (4.87 AC) -10 PARCEL IS GENERAL RURAL
EXISTING LAND USE	-09 PARCEL IS 100 (VACANT-UNKNOW/OTHER) -10 PARCEL IS 170 (UNASSIGNED)
PROPOSED LAND USE	-09 PARCEL TO BE 340 (TEN OR MORE UNITS) -10 PARCEL TO BE PBRD (PUBLIC ROAD)
TOTAL NUMBER OF UNITS	240 UNITS
TOTAL PARKING REQUIRED	288 (INCLUDING 120 CARPORTS OR GARAGES, AND 8 ADA SPACES)
TOTAL PARKING PROVIDED	360 (INCLUDING 20 GARAGES, 102 CARPORTS, AND 23 ADA SPACES)
PARKING RATIO	1.5 PER UNIT
BICYCLE STORAGE REQUIRED	60 LONG-TERM STORAGE SPACES 36 SHORT-TERM STORAGE SPACES
BICYCLE STORAGE PROVIDED	240 LONG-TERM STORAGE SPACES IN UTILITY CLOSET WITH 1 IN EACH UNIT 105 SHORT-TERM STORAGE SPACES
CONSTRUCTION PHASING	ONE PHASE
TOTAL NUMBER OF BUILDINGS	20 APARTMENTS: CLUBHOUSE (3,884 SF); 3 4-BAY GARAGES; 1 8-BAY GARAGE; 1 MAIL KIOSK
1-BEDROOM 12-UNIT BUILDINGS (12A)	6 BUILDINGS 61,440 SF
2-BEDROOM 12-UNIT BUILDINGS (12B)	10 BUILDINGS 83,928 SF
3-BEDROOM 12-UNIT BUILDINGS (12C)	4 BUILDINGS 104,280 SF



NO. _____

REVISIONS _____

DATE _____

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 7900 RANCHHART PARKWAY, SUITE 100, RENO, NV 89511
 WWW.KIMLEY-HORN.COM

NO. _____

REVISIONS _____

DATE _____

11/18/2024

NOV 18, 2024

SCALE: AS SHOWN

DESIGNED BY: CW/JJW

DRAWN BY: AW/JZF

CHECKED BY: CW

KHA PROJECT NO. 25000

ISSUE DATE

REGISTERED PROFESSIONAL ENGINEER - STATE OF NEVADA

DESIGNER NUMBER: 000000000

NO. 027536

NO. _____

REVISIONS _____

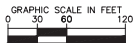
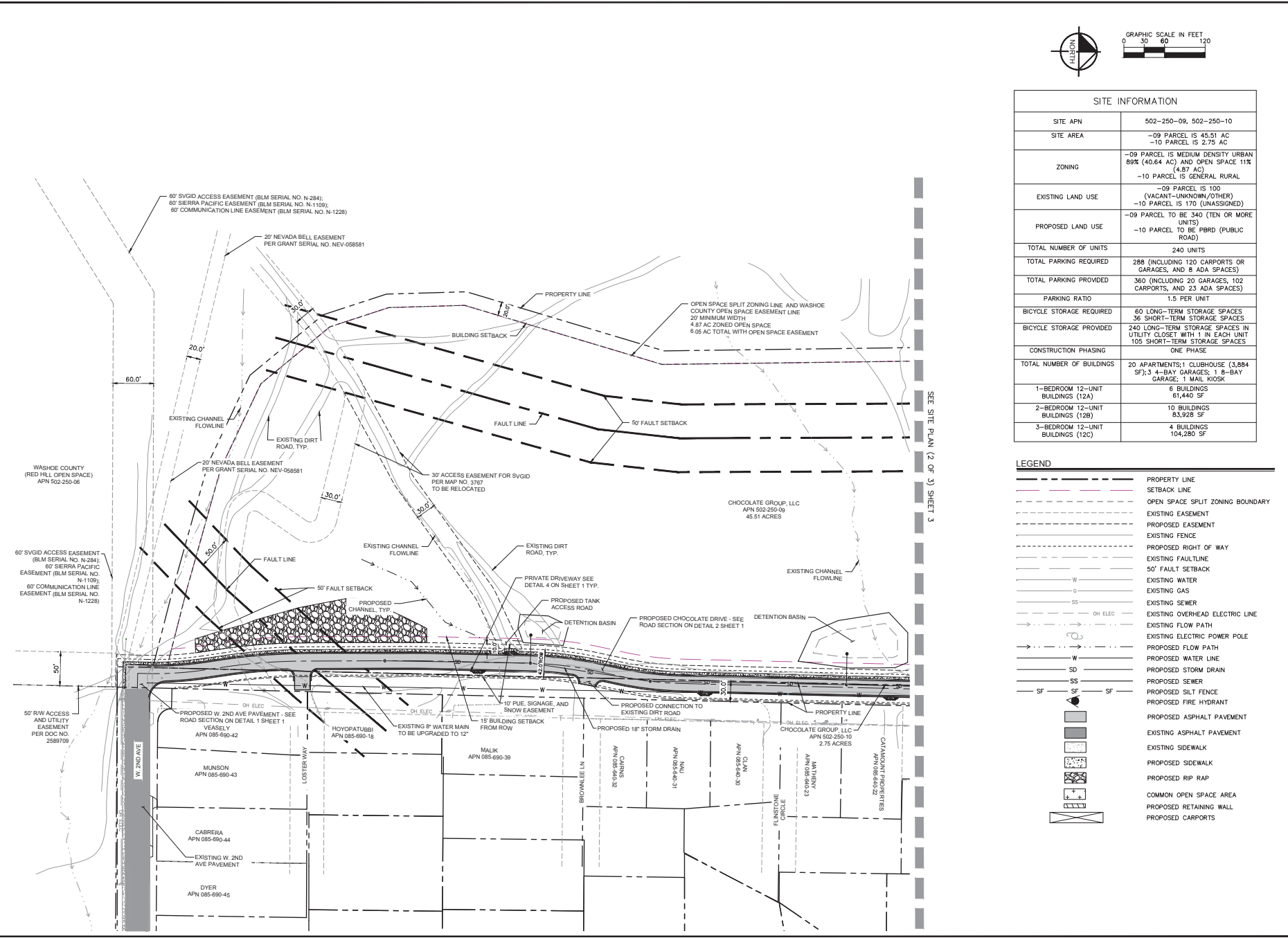
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SITE PLAN INDEX

CHOCOLATE DRIVE
SUN VALLEY, NV

SHEET NUMBER
1 OF 8

Prepared by: M.H. Adams, Civil Engineer, No. 25924. Date: November 18, 2024. File Path: C:\Users\mhadams\OneDrive\Documents\Projects\25924-000\25924-000-000000.dwg. The information on this drawing was prepared by the engineer or other professional person named on the title block and is subject to the provisions of the Professional Engineering Act. No responsibility is assumed for any use of this drawing for purposes other than those intended.



SITE INFORMATION

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LEGEND

	PROPERTY LINE
	SETBACK LINE
	OPEN SPACE SPLIT ZONING BOUNDARY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FENCE
	PROPOSED RIGHT OF WAY
	EXISTING FAULTLINE
	50' FAULT SETBACK
	EXISTING WATER
	EXISTING GAS
	EXISTING SEWER
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING FLOW PATH
	EXISTING ELECTRIC POWER POLE
	PROPOSED FLOW PATH
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED SEWER
	PROPOSED SILT FENCE
	PROPOSED FIRE HYDRANT
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	PROPOSED RIP RAP
	COMMON OPEN SPACE AREA
	PROPOSED RETAINING WALL
	PROPOSED CARPORTS

SEE SITE PLAN (2 OF 3) SHEET 3

REVISIONS	
NO.	DATE

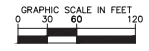
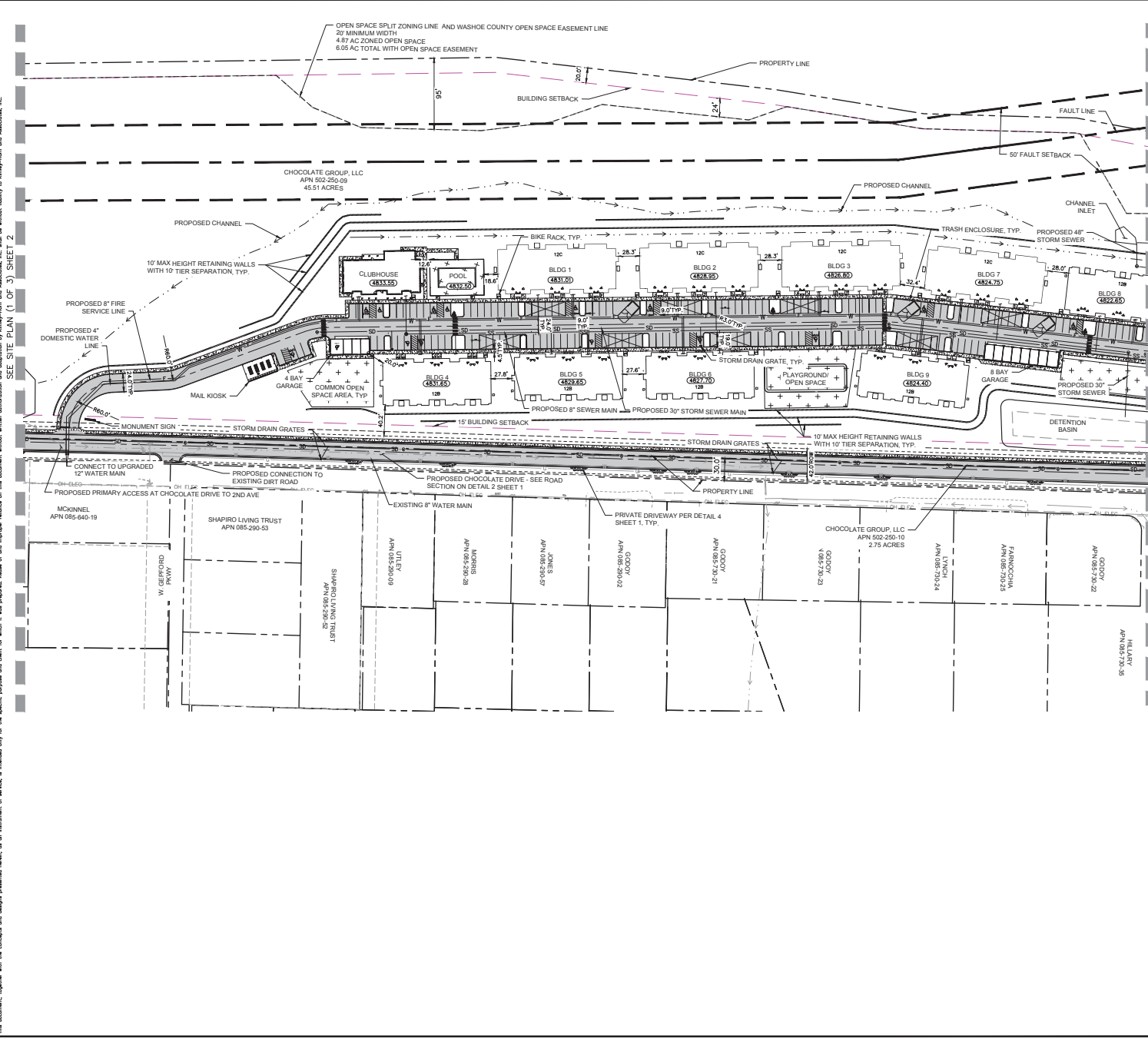
Kimley-Horn
CONSULTING ENGINEERS, INC.
7900 RANCHBRIAR PARKWAY, SUITE 100, RENO, NV 89511
WWW.KIMLEY-HORN.COM
PROJECT NO. 25924-000

KHA PROJECT NO. 25924-000
DATE NOV. 18, 2024
SCALE: AS SHOWN
DESIGNED BY: CW/JH
DRAWN BY: AW/JZ
CHECKED BY: CW

SITE PLAN (1 OF 3)

CHOCOLATE DRIVE
SUN VALLEY, NV

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	EXISTING GAS
	EXISTING SEWER
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	EXISTING FLOW PATH
	EXISTING ELECTRIC POWER POLE
	PROPOSED FLOW PATH
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	PROPOSED CARPORTS

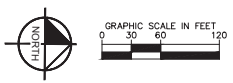
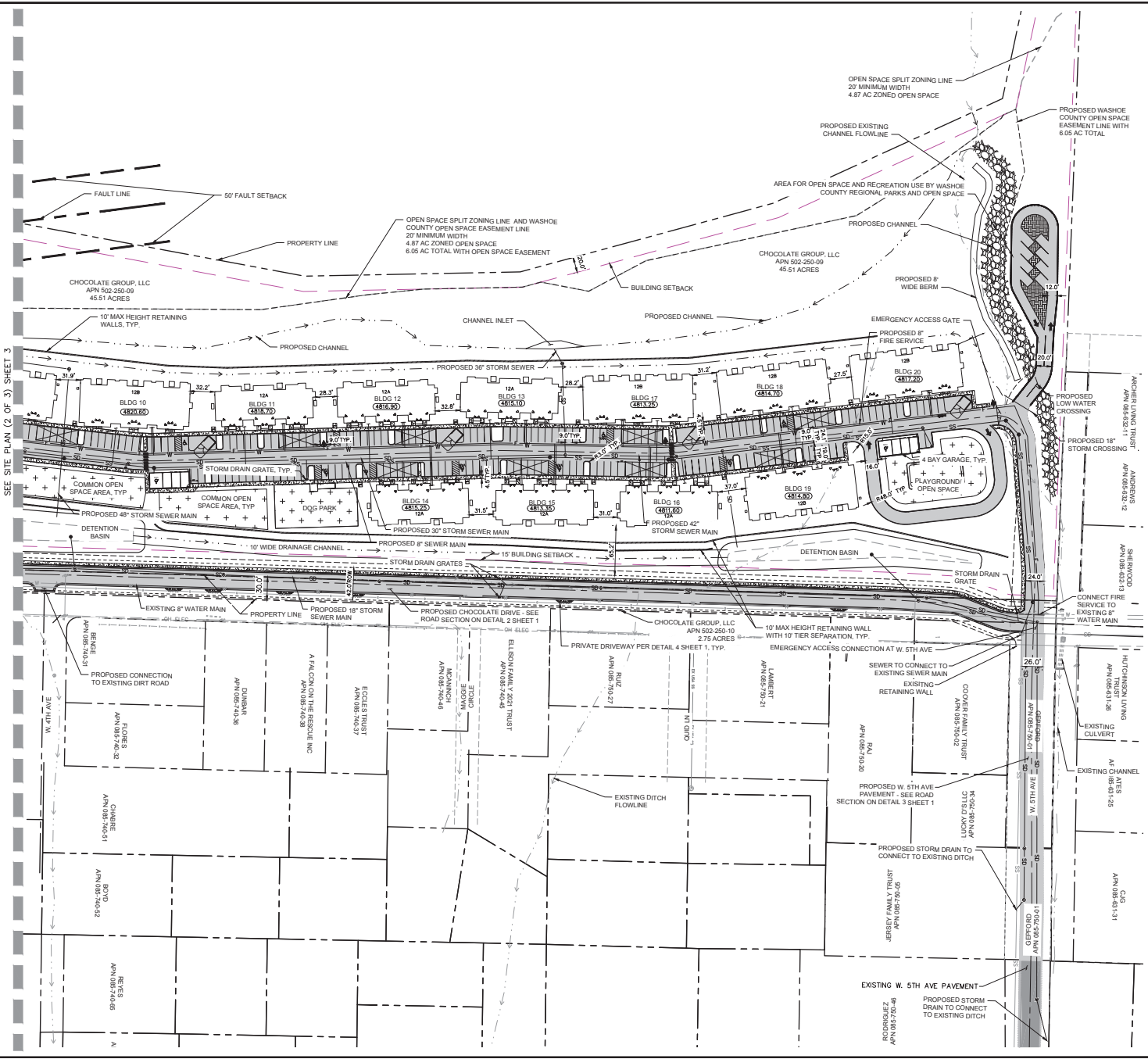
NO.	REVISIONS	DATE BY

2024 KIMLEY-HORN AND ASSOCIATES, INC.
 7900 RANCHVIEW PARKWAY, SUITE 100, RENO, NV 89511
 WWW.KIMLEY-HORN.COM

SITE PLAN (2 OF 3)
CHOCOLATE DRIVE
SUN VALLEY, NV

SHEET NUMBER
3 OF 8

Project: 15-2024-13120-0000 - Chocolate Drive, Sun Valley, NV. File Path: C:\Users\jw\OneDrive\Documents\15-2024-13120-0000 - Chocolate Drive, Sun Valley, NV.dwg. Date: 11/18/2024. The information on this drawing was prepared by the engineer or other qualified professional. The engineer or other qualified professional is not responsible for the accuracy of the information on this drawing. The information on this drawing is for the use of the client and is not to be used for any other purpose without the written consent of the engineer or other qualified professional.



SITE INFORMATION	
SITE APN	502-250-09, 502-250-10
SITE AREA	-09 PARCEL IS 45.51 AC -10 PARCEL IS 2.75 AC
ZONING	-09 PARCEL IS MEDIUM DENSITY URBAN 89% (40.64 AC) AND OPEN SPACE 11% (4.87 AC) -10 PARCEL IS GENERAL RURAL
EXISTING LAND USE	-09 PARCEL IS 100 (VACANT-UNKNOWN/OTHER) -10 PARCEL IS 170 (UNASSIGNED)
PROPOSED LAND USE	-09 PARCEL TO BE 340 (TEN OR MORE UNITS) -10 PARCEL TO BE PBRD (PUBLIC ROAD)
TOTAL NUMBER OF UNITS	240 UNITS
TOTAL PARKING REQUIRED	288 (INCLUDING 120 CARPORTS OR GARAGES, AND 8 ADA SPACES)
TOTAL PARKING PROVIDED	360 (INCLUDING 20 GARAGES, 102 CARPORTS, AND 23 ADA SPACES)
PARKING RATIO	1.5 PER UNIT
BICYCLE STORAGE REQUIRED	60 LONG-TERM STORAGE SPACES 36 SHORT-TERM STORAGE SPACES
BICYCLE STORAGE PROVIDED	240 LONG-TERM STORAGE SPACES IN UTILITY CLOSET WITH 1 IN EACH UNIT 105 SHORT-TERM STORAGE SPACES
CONSTRUCTION PHASING	ONE PHASE
TOTAL NUMBER OF BUILDINGS	20 APARTMENTS; CLUBHOUSE (3,884 SF); 3 4-BAY GARAGES; 1 8-BAY GARAGE; 1 MAIL KIOSK
1-BEDROOM 12-UNIT BUILDINGS (12A)	6 BUILDINGS 61,440 SF
2-BEDROOM 12-UNIT BUILDINGS (12B)	10 BUILDINGS 83,928 SF
3-BEDROOM 12-UNIT BUILDINGS (12C)	4 BUILDINGS 104,280 SF

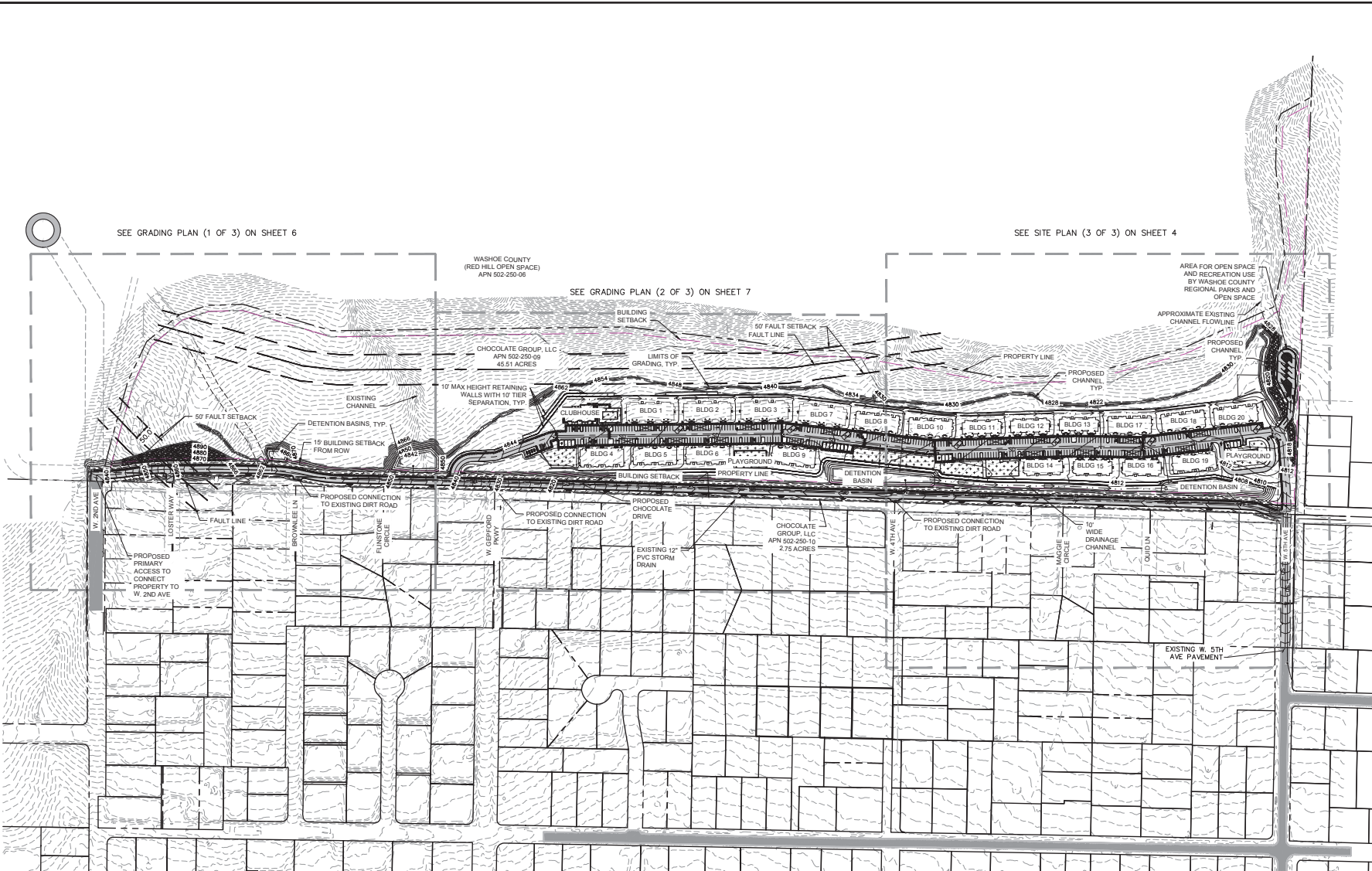
LEGEND	
	PROPERTY LINE
	SETBACK LINE
	OPEN SPACE SPLIT ZONING BOUNDARY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FENCE
	PROPOSED RIGHT OF WAY
	EXISTING FAULTLINE
	50' FAULT SETBACK
	EXISTING WATER
	EXISTING GAS
	EXISTING SEWER
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING FLOW PATH
	EXISTING ELECTRIC POWER POLE
	PROPOSED FLOW PATH
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED SEWER
	PROPOSED SILT FENCE
	PROPOSED FIRE HYDRANT
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	PROPOSED RIP RAP
	COMMON OPEN SPACE AREA
	PROPOSED RETAINING WALL
	PROPOSED CARPORTS

	© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 7900 RANCHPARK PARKWAY, SUITE 100, RENO, NV 89511 WWW.KIMLEY-HORN.COM	NO.	DATE
		NO.	DATE
		11/18/2024	
KHA PROJECT NO. 15-2024-13120-0000 DATE: NOV 18, 2024 SCALE: AS SHOWN DESIGNED BY: CW/JJ DRAWN BY: AW/JZ CHECKED BY: CW		SHEET NUMBER 4 OF 8	

SITE PLAN (3 OF 3)

CHOCOLATE DRIVE
 SUN VALLEY, NV

Project: C:\Users\jw\OneDrive\Documents\Projects\2024\24-0000\24-0000 - CHOCOLATE DRIVE AND GRADING PLAN\24-0000 - CHOCOLATE DRIVE AND GRADING PLAN.dwg
 Date: 11/18/2024
 Time: 11:18:24 AM
 User: jw
 Plot: 11/18/2024 11:18:24 AM
 Plot Device: HP DesignJet T1100e
 Plot Style: HP-Plotter.ctb
 Plot Range: Extents
 Plot Scale: 1.0000
 Plot Orientation: Landscape
 Plot Sheet: 1 of 8
 Plot Title: CHOCOLATE DRIVE AND GRADING PLAN

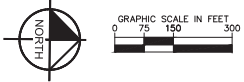


NOTES

CUT: 98,339 CY
 FILL: 96,701 CY
 NET: 1,638 (CUT)

EARTHWORK CALCULATIONS BASED ON SURFACE TO SURFACE UNADJUSTED ANALYSIS AND DO NOT ACCOUNT FOR OVER-EXCAVATION, PAVEMENT SECTION, BUILDING SLAB, OR BUILDING FOUNDATIONS.

TOTAL DISTURBANCE AREA: 23.87 ACRES
 SITE DISTURBANCE AREA: 17.04 ACRES



BASIS OF BEARINGS

NEVADA STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83 (94). DISTANCES SHOWN HEREON ARE GROUND DISTANCES, CALCULATED USING A GRID TO GROUND COMBINED SCALE FACTOR OF 1.000197939

FLOOD ZONE

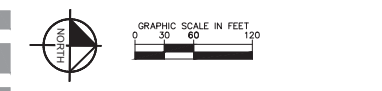
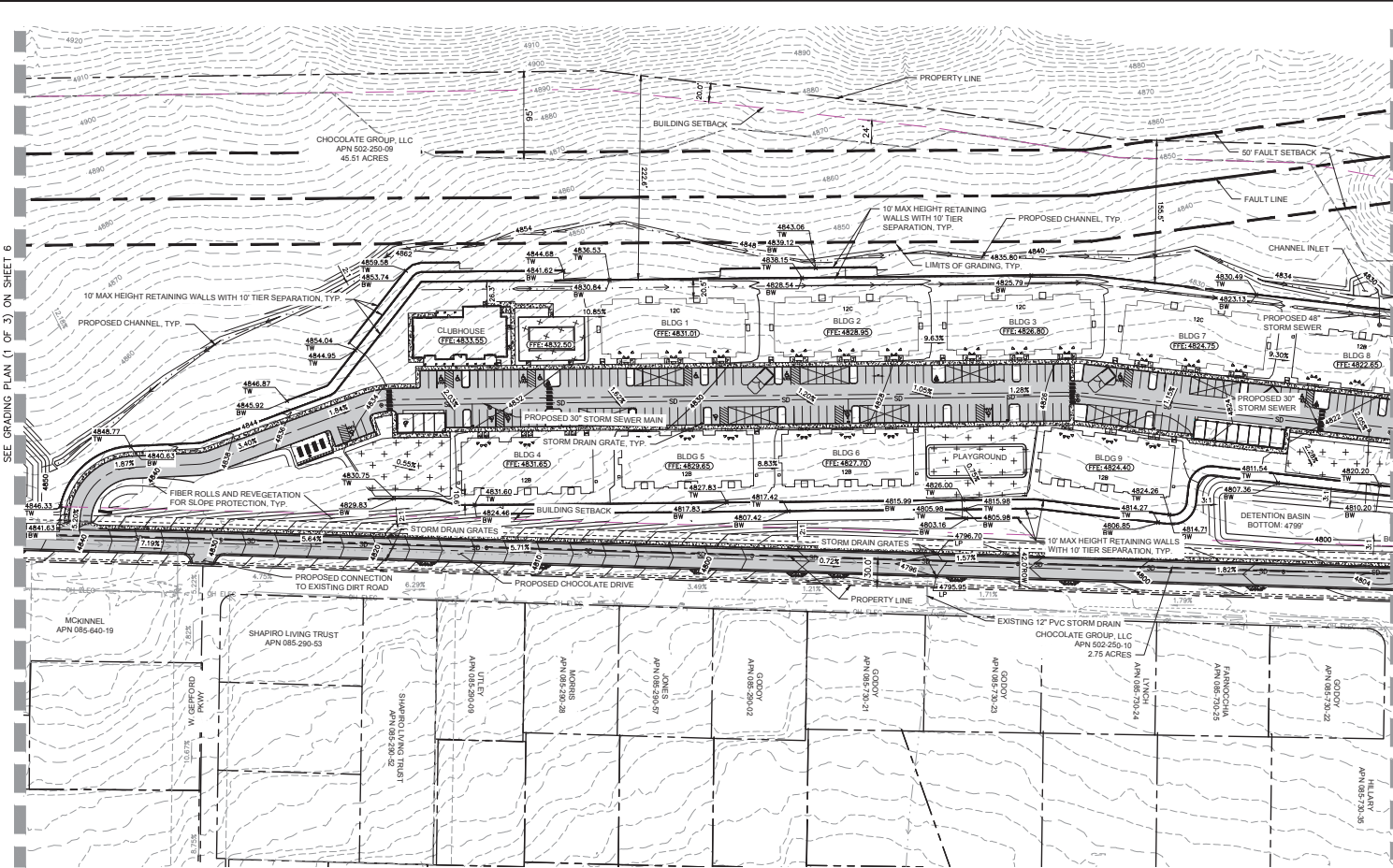
THIS PROPERTY IS ENTIRELY WITHIN FLOOD ZONE 'X', AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) NO. 30031C0303G, EFFECTIVE MARCH 16, 2009.

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) BASED ON CITY OF SPARKS BENCHMARK NO. 3036, A 2" BRASS DISK MARKING THE SOUTHEAST CORNER OF SECTION 24, T.20N.-R.19E. M.D.B.M. ELEVATION = 4877.80

<p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 7900 RANCHVIEW PARKWAY, SUITE 100, RENO, NV 89511 WWW.KIMLEY-HORN.COM</p>	<p>NO. _____</p> <p>DATE BY _____</p>
	<p>REVISIONS</p>
<p>PROFESSIONAL ENGINEER - STATE LICENSED</p> <p>DESIGNER</p> <p>NOV 18, 2024</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: CW/JH</p> <p>DRAWN BY: AW/JZ</p> <p>CHECKED BY: CW</p> <p>11/18/2024</p>	<p>KHA PROJECT DATE</p> <p>NOV 18, 2024</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: CW/JH</p> <p>DRAWN BY: AW/JZ</p> <p>CHECKED BY: CW</p>
<p>CHOCOLATE DRIVE</p> <p>SUN VALLEY, NV</p>	<p>GRADING INDEX</p>
<p>SHEET NUMBER</p> <p>5 OF 8</p>	

Prepared by: Mr. Anthony Date: November 15, 2024 File: P:\proj\10_Vivace\DWG\1022333300 - 0165060 - chocolate.dwg Plot: P:\proj\10_Vivace\DWG\1022333300 - 0165060 - chocolate.dwg
 This document, together with any other documents, drawings, reports, or data submitted herewith, is intended only for the specific purpose and project for which it was prepared. No other use or reproduction is authorized without the written consent of the engineer. The engineer, its employees, agents, and subcontractors shall not be held liable for any damages or claims arising out of the use of this document for any purpose other than that for which it was prepared.



SEE SITE PLAN (3 OF 3) SHEET 4

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	OPEN SPACE SPLIT ZONING BOUNDARY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FENCE
	PROPOSED RIGHT OF WAY
	EXISTING FAULTLINE
	50' FAULT SETBACK
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	EXISTING FLOW PATH
	EXISTING ELECTRIC POWER POLE
	PROPOSED FLOW PATH
	PROPOSED STORM DRAIN
	PROPOSED SILT FENCE
	PROPOSED FIRE HYDRANT
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	PROPOSED RIP RAP
	COMMON OPEN SPACE AREA
	PROPOSED RETAINING WALL
	PROPOSED CARPORTS

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 11/19/2024 1534 PROJECT NOV 18, 2024 SCALE: AS SHOWN DESIGNED BY: CW/JFH DRAWN BY: AW/ZF CHECKED BY: CW		GRADING PLAN (2 OF 3)	
CHOCOLATE DRIVE SUN VALLEY, NV		SHEET NUMBER 7 OF 8	

APPENDIX F

WASHOE COUNTY ENGINEERING DEPARTMENT MEMORANDUMS



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

MEMORANDUM

Date: September 15, 2022

To: Ryan Rodgers, PedCor Investments, LLC

From: Mitchell Fink, P.E., Licensed Engineer
Phone: (775) 328-2050, Email: mfink@washoecounty.gov

Re: Primary, Secondary, and Chocolate Drive Access Improvements
APN: 502-250-09

WASHOE COUNTY DEVELOPMENT CODE REQUIREMENTS (CHAPTER 110)

This memo is to provide you the minimum roadway improvement requirements which will be needed to provide access to your development. The following comments and requirements are based on our review of the documents you provided and do not represent a comprehensive analysis of the project but is strictly focused on access requirements. Detailed conditions of approval addressing traffic, roadway, and drainage will be prepared once an application for development is submitted for review. The latest plan is showing access to the project via W. 2nd Avenue and W. 5th Avenue.

W. 2nd Avenue Access

Washoe County currently owns and maintains W. 2nd Avenue up to Chocolate Drive with the roadway currently constructed with curb and gutter on both sides of the street and sidewalk along at least one side of the street from Chocolate to Sun Valley Blvd. The proposed development plan shows a private roadway extension from the Chocolate/W. 2nd intersection westerly into the development. Please note that Washoe County is the owner of the surrounding property as Open Space and it will not be possible for Washoe County to grant an access easement for your development. This will require then that south access point into your development will need to be move north along Chocolate Drive.

W. 5th Avenue Access

Washoe County currently owns and maintains W. 5th Avenue to a point approximately 165 feet west of Westhill Court. This road then transitions to a private access road extending to Chocolate Drive. The proposed development plan utilizes W. 5th Avenue as a secondary access. In accordance with Code Section 110.436.20(c) a secondary access shall be provided therefore the current private roadway section of W. 5th Ave. (approximately 440 feet), shall be constructed to Washoe County standards in accordance with Roadway Section – D (attached), with 26' wide, 4" thick AC paving, 2' wide minimum gravel shoulders, drainage ditches with driveway culverts matching the existing 60-foot right-of-way section. All right-of-way per Code 110.436.20(d) shall be obtained and granted/dedicated to Washoe County. It should be noted that alternative alignments for secondary access to the development could be considered and similar requirements would apply.



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Subject: Chocolate Drive
Date: September 15, 2022
Page: 2

Chocolate Drive Improvements

Per Code 110.436.20(e), Chocolate Drive from W. 2nd Ave to W. 5th Ave shall be constructed to Washoe County standards in accordance with "Roadway Sections – B" (attached). The local 42-foot right-of-way section shall apply to Chocolate Drive with 4" thick AC paving, curb, gutter and sidewalk.

The project shall comply with Washoe County Development Code which can be found at https://www.washoecounty.gov/csd/planning_and_development/dev-code/index.php. Excerpts from Article 436 Street Design Standards are provided below for your reference.

We trust that this information provides clarification and answers your questions regarding the requirements of Washoe County Development Code for primary, secondary, and Chocolate Drive access roadway improvements. Please feel free to contact me if you have any further questions.

Cc: Dwayne Smith, Walter West, Jen Heeran, Sarah Tone, Chris Waechter, Colin Patterson, Ariaahna Wolf, Timber Weiss, Chris Bronczyk



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Washoe County Code Excerpts

Article 436: Street Design Standards

Section 110.436.20 General Requirements. Street design requirements set forth in this section shall apply to all development subject to this article.

- (a) **Level of Service.** Streets shall be designed to meet a Level of Service (LOS) standard C, or as otherwise provided for by Regional Transportation Commission policy.
- (b) **Street Improvements.** All public and private streets within a development shall be improved to conform to the standards as set forth in this article.
- (c) **Ingress and Egress.** Unless otherwise approved by the County Engineer, at least two (2) means of ingress and egress built to County standards shall be provided to serve a subdivision development. Of the two (2) means, one (1) may be constructed to emergency access standards provided in Section 110.436.95, Emergency Access Roads.
- (d) **Right-of-Way and Easement Acquisition.** All necessary right-of-way or easement acquisition outside the boundaries of a proposed development, including any agreements pertaining to access, drainage, ownership and maintenance, shall be completed prior to the final map approval unless otherwise approved by the County Engineer.
- (e) **Streets Adjacent to Property Boundaries.** The location of streets adjacent to property boundaries shall comply with the following provisions:
 - (1) Unless otherwise approved by the County Engineer, a street shown by an adopted street pattern or indicated on the Streets and Highways System Plan map that lies along a boundary of a development is to be dedicated and constructed at full width and to County standards; and
 - (2) A proposed street, or streets or access adjacent to or necessary to serve a proposed development, which are not within the boundaries of the development, shall be improved full width with the development in accordance with County standards as required by the County Engineer.
- (f) **Additional Right-of-Way.** To facilitate turning movements near intersections, additional right-of-way shall be provided to the satisfaction of the County Engineer.
- (g) **Partial Width Streets.** Where permitted, partial width streets shall comply with the provisions set forth in Section 110.436.125, Partial Width Streets.
- (h) **Street Extensions.** Street extensions shall comply with the general provisions of this section and the provisions of Section 110.436.130, Street Extensions.

Section 110.436.25 Street Sections. All roadways dedicated and improved in Washoe County shall be constructed in accordance with the street sections for urban, suburban and rural areas illustrated in Tables 110.436.25.1 to 110.436.25.4. These standards are to be used in conjunction with the Land Use and Transportation Element of the Master Plan and the standards set forth in this article.



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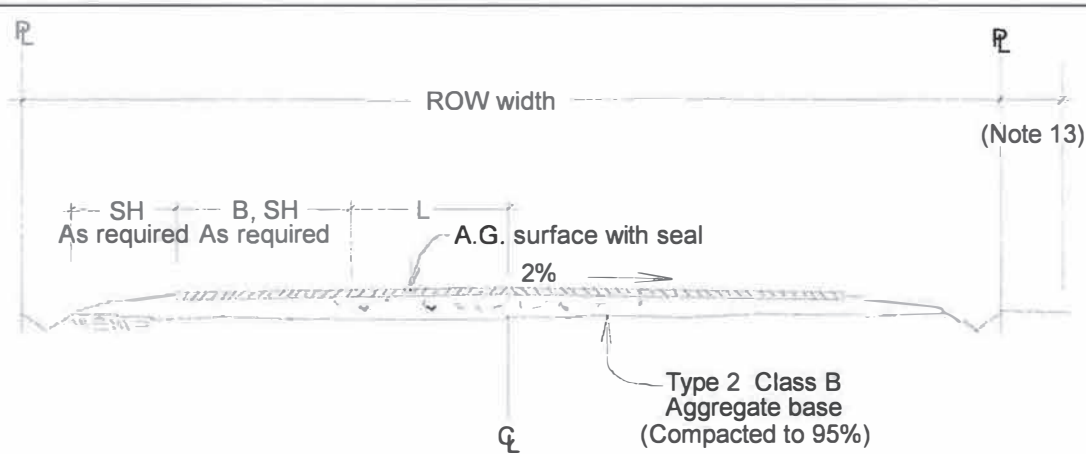
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Table 110.436.25.4

ROADWAY SECTIONS - D
GENERAL APPLICATIONS: STREETS SERVING LOT SIZES GREATER THAN 1.5 ACRES



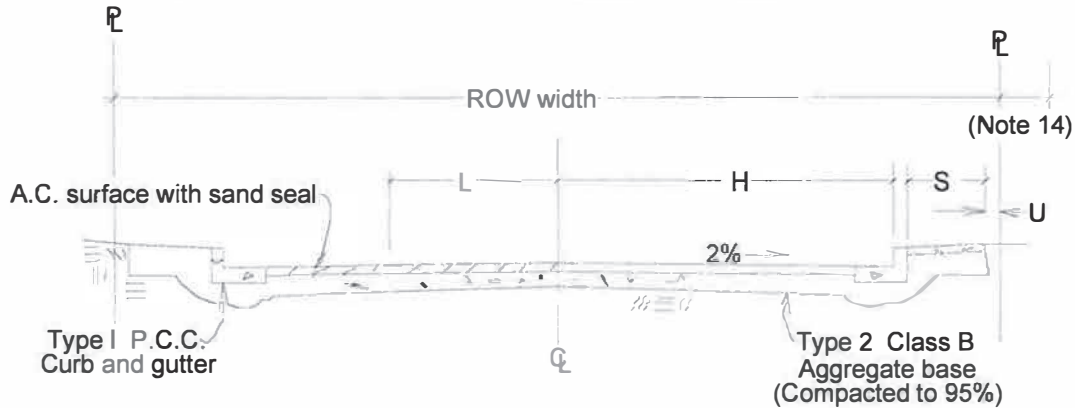
ROW	L	B	SH	ADT Maximum per 2 Travel Lanes	Remarks
60	12	0	0	9,600	Collector
50	11	0	0	1,000	Local

- Notes:
1. All widths are in feet.
 2. L is travel lane; B is bicycle lane; SH is shoulder; ROW is right-of-way; ADT is average daily traffic.
 3. ADT represents the design volume for a two (2) lane facility.
 4. Bicycle lanes shall be provided in accordance with the Bicycle and Pedestrian Element of the Regional Transportation Plan and to the satisfaction of the County Engineer.
 5. Structural sections shall be designed by a registered engineer for a twenty (20) year life based on subgrade characteristics, as determined by a geotechnical investigation and anticipated traffic volume. Refer to Section 110.436.60(d) for minimum pavement section thickness.
 6. All A.C. surfaces shall be sealed in accordance with Washoe County standards.
 7. Residential access not allowed to streets on which ten (10) year design ADT exceeds two thousand (2,000).
 8. The minimum paved shoulder width shall be two (2) feet, otherwise, the shoulder shall be engineered, Type 2 Class B aggregate base course or A.C. structural section as above, as required by the County Engineer.
 9. Erosion protection required for drainage ditches.
 10. Design of improvements to be done in accordance with Article 420, Storm Drainage Standards, and Article 436, Street Design Standards, of the *Washoe County Development Code*.
 11. All construction to be done to current Washoe County standards and specifications.
 12. Slope easements may be required in certain terrain to accommodate roadway section.
 13. A seven and one-half (7.5) foot public utility, traffic control signage and plowed snow easement on both sides of the ROW is required per standard detail.

Source: Washoe County Department of Public Works

Table 110.436.25.2

ROADWAY SECTIONS - B
GENERAL APPLICATIONS: STREETS SERVING LOT SIZES LESS THAN 0.5 ACRES



ROW	H	S	U	L	B	PL	ADT Maximum per 2 Travel Lanes	Remarks
52	20	5	0.5	12	4	0	9,600	Collector
42	16	4	0.5	11	0	2	1,000	Local

- Notes:
1. All widths are in feet.
 2. H is measured to the front face of the curb.
 3. L is travel lane; S is sidewalk; B is bicycle lane; PL is maximum number of parking lanes allowed; ROW is right-of-way, ADT is average daily traffic.
 4. ADT represents the design volume for a two (2) lane facility.
 5. Bicycle lanes shall be provided in accordance with the Bicycle and Pedestrian Element of the Regional Transportation Plan and to the satisfaction of the County Engineer.
 6. Structural sections shall be designed by a registered engineer for a twenty (20) year life based on subgrade characteristics, as determined by a geotechnical investigation and anticipated traffic volume. Refer to Section 110.436.60(d) for minimum pavement section thickness.
 7. All curb and gutter is monolithic concrete and L shaped per standard detail.
 8. Sidewalks are to be provided in accordance with Table 110.436.25.5.
 9. All A.C. surfaces shall be sealed in accordance with Washoe County standards.
 10. Residential driveway access not allowed to streets on which ten (10) year ADT design exceeds two thousand (2,000).
 11. Design of improvements to be done in accordance with Article 420, Storm Drainage Standards, and Article 436, Street Design Standards, of the *Washoe County Development Code*.
 12. All construction is to be done to current Washoe County standards and specifications.
 13. Slope easements may be required in certain terrain to accommodate roadway section.
 14. A seven and one-half (7.5) foot wide public utility, traffic control signage and plowed snow easement on both sides of the ROW is required per standard detail.

Source: Washoe County Department of Public Works.



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

MEMORANDUM

Date: November 3, 2022

To: Colin Patterson, PedCor Investments, LLC

From: Mitchell Fink, P.E., Licensed Engineer
Phone: (775) 328-2050, Email: mfink@washoecounty.gov

Re: Response to Requested Changes for Chocolate Drive
APN: 502-250-09

This memorandum is to provide clarification to your requested roadway design changes (email request attached) for Chocolate Drive from the Washoe County requirements outlined in the Memorandum titled, *Primary, Secondary, and Chocolate Drive Access Improvements*, from Washoe County Engineering dated September 15, 2022 (attached). The following comments and requirements are based on our review of the documents you provided and do not represent a comprehensive analysis of the project but is strictly focused on access, alignment and drainage requirements.

1. Road Section

Washoe County will require that Chocolate Drive from W. 2nd Avenue to W. 5th Avenue be constructed to Washoe County standards in accordance with "Roadway Sections – B". The local 42-foot right-of-way section shall apply to Chocolate Drive with 4" thick AC paving, curb, gutter, sidewalk and crowned roadway section. However, we would allow a reduction in the width of asphalt pavement by removing on-street parking to reduce the asphalt width to 22 feet from 27 feet wide. No parking signs would be required on both sides of the road in this instance and the 42-foot right-of-way section would remain the same. Concrete driveway aprons for driveway access and curb returns will be required at the major roadway intersections to Chocolate Drive and constructed in accordance with Washoe County standard details and code requirements.

2. Drainage Concerns

A hydrological report shall be required for the drainage affected by the project and roadway development. Drainage ditches will not be allowed in the Chocolate Drive right-of-way as depicted in preliminary site plan. The curb and gutter section of roadway will require inlets, manholes and catch basins designed and constructed in accordance with Washoe County standard details and code requirements. Please be aware that with this project development that an offsite storm drain conveyance system may be needed and directed to existing County drainage facilities having the same pre-and-post developed flow condition.



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Subject: Chocolate Drive
Date: September 15, 2022
Page: 2

3. Road Alignment

Based on review of the preliminary site plan (attached) showing the proposed Chocolate Drive alignment from W. 2nd Avenue and W. 5th Avenue, the proposed primary and secondary accesses to the development, and the proposed curvature of Chocolate Drive near W. 5th Avenue will be acceptable provided they meet County code requirements and conditions. Where the roadway curvature enters the private parcel, you will have to obtain an Irrevocable Offer of Dedication to Washoe County from the parcel owner. The 10-foot snow storage, sign and utility easements are required as part of the roadway section. On the west side there cannot be a 2:1 slope behind the sidewalk the maximum grade allowed will be 5% over a 10-foot width behind sidewalk for snow storage.

There will be a condition requirement with the Administrative Permit allowing Washoe County to have ample time to contact the affected private residents to provide them an opportunity to submit an Irrevocable Offer of Dedication to Washoe County for the current access easement in the existing Chocolate Drive alignment. If the Irrevocable Offer of Dedication is accepted by all of the property owners along Chocolate Washoe County will require that Chocolate Drive to be constructed along the existing easement section.

W. 2nd Avenue Access & W. 5th Avenue Access

The items outlined in the Memorandum titled, *Primary, Secondary, and Chocolate Drive Access Improvements*, from Washoe County Engineering will still apply for the W. 2nd Avenue and W. 5th Avenue accesses.

We trust that this information provides clarification to your request for design changes for Chocolate Drive. Please feel free to contact me if you have any further questions.

Cc: Dwayne Smith, Walter West, Jen Heeran, Sarah Tone, Chris Waechter, Ariaahna Wolf, Timber Weiss, Chris Bronczyk



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April 17, 2023

Dear Representatives for Chocolate Drive Affordable Housing Project,

Washoe County is committed to providing efficient and responsible review and approval processes for local development within our jurisdiction. With the intent to clarify options and next steps, on April 6, Washoe County and representatives from the Chocolate Drive project located at XXX discussed unique aspects of the specific site as it pertains to infrastructure costs. The discussion included:

- Chocolate Drive, 2nd Avenue, and 5th Avenue Street Improvements
- Offsite Storm Drainage Infrastructure
- Trailhead for Washoe County Parks and Open Space
- SVGID Cost Estimate (provided by SVGID)
- RTC Regional Road Impact Fees (RRIF) (provided by Washoe County)

Washoe County, County Engineer completed a value engineering review of the provided-on April 6, 2023. Significant cost savings are limited on the site; however, opportunities for modifying drainage on open space portion of the project to potentially include a low water crossing in lieu of a box culvert is estimated savings of \$130,000. The concept is supported by the Washoe County Engineer and Washoe County Operations Director.

The proposed drainage on Washoe County Regional Parks and Open Space site is in addition to previously approved modifications with significant cost savings. Washoe County, County Engineer approved reduced width of Chocolate Drive and a sidewalk on one side of Chocolate Drive verses sidewalk on both sides of the newly constructed roadway. In addition, Washoe County dedicated resources to support public education on the road construction and easement process.

Per on April 6, Washoe County has no authority to review fees and taxes outside of our areas of responsibility including Sun Valley General Improvement District and Regional Transportation Commission.

Thank you for the opportunity to work closely with your partners and team on the local review and approval process. Please continue to include stone@washoecounty.gov in correspondence with our team to ensure communication is clear across all stakeholders.

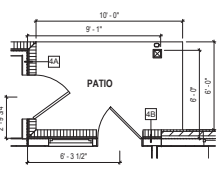
Sincerely,

Sarah Tone
Business Facilitator
Washoe County Community Services Department

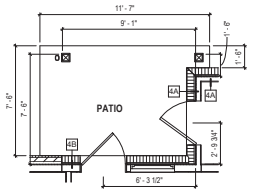
APPENDIX G
BUILDINGS AND ELEVATIONS

GENERAL NOTES:

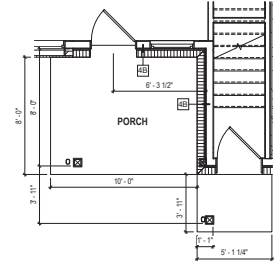
- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD (8 1/2" OR 5 1/2"). EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. WINDOWS AND DOORS ARE DIMENSIONED TO THEIR CENTERLINE.
- B. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS, POWDER ROOMS, KITCHENS, AND WITHIN FOUR FEET OF ANY WATER SOURCES.
- C. VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER. INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS AND APPROVED SHOP DRAWINGS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- D. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETS OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL LUMBER.
- E. IFC - FIRE EXTINGUISHER CABINET RECESSED. LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF.
- F. PROVIDE 2X BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- G. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR WINDOW TYPES & SIZES.
- H. PROVIDE A SHELF AND ROD IN ALL CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS AND PANTRIES. REFER TO DETAIL FOR TYPICAL INSTALL.
- I. PREFABRICATED SHOWER / TUB UNIT TO INCLUDE REQUIRED BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS.
- J. TOILET FLUSH CONTROLS IN ACCESSIBLE UNITS TO BE OPEN SIDE OF TOILET.
- K. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH & KITCHEN CABINETS, ALL TOILET ACCESSORIES, STAIR HANDRAILS AND OTHER MISCELLANEOUS ITEMS SUPPORTED ON AND ATTACHED TO WALLS.



4 BUILDING TYPE 12A - ENLARGED PATIO PLAN 2
1/4" = 1'-0"



3 BUILDING TYPE 12A - ENLARGED PATIO PLAN 1
1/4" = 1'-0"



2 BUILDING TYPE 12A - ENLARGED PORCH PLAN
1/4" = 1'-0"

WALL TYPE LEGEND:

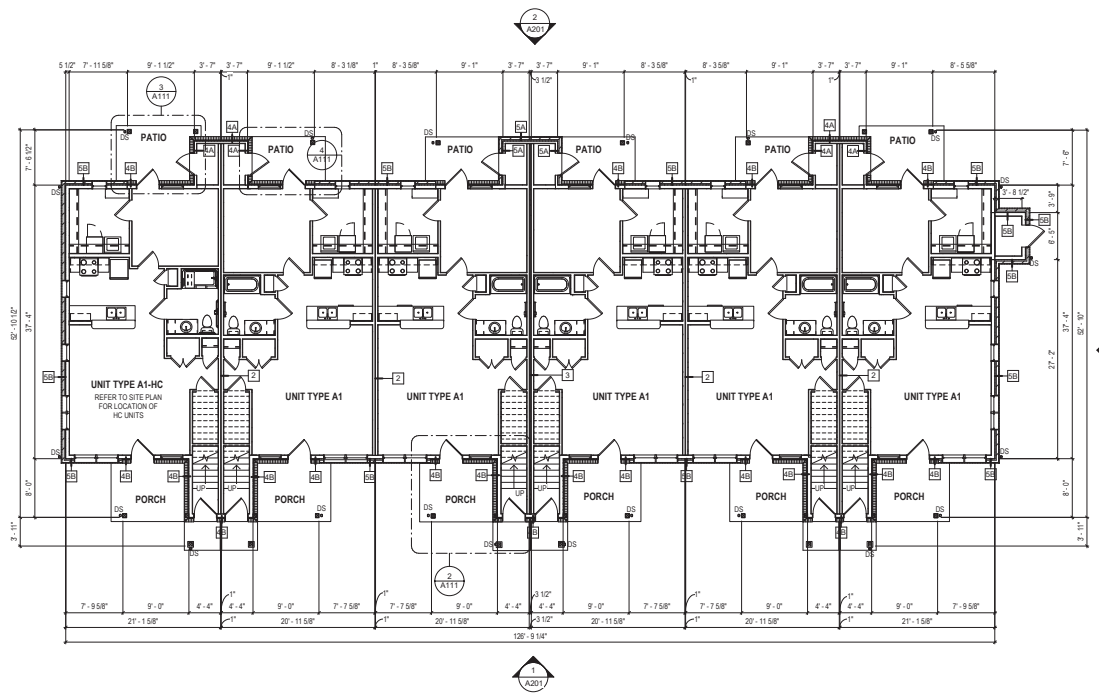
- SEE SHEET A402 FOR DETAILS
- 1A 2X4 INTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2X4 WOOD STUD FRAMING @ 16" O.C.
- 2X6 INTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2X6 WOOD STUD FRAMING @ 12" O.C.
- 2M 2X4 INTERIOR WALL - STORAGE ROOM
5/8" GYPSUM BOARD ON EACH SIDE OF 2X4 WOOD STUD FRAMING @ 12" O.C. WITH 3/4" BATT INSULATION. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT THE STORAGE ROOM SIDE.
- 2 1 HR RATED DEMISING WALL
(1X 2X4 @ 12" O.C.)
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2X4 STAGGERED STUDS W/ 1" AIRSPACE AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 3 2 HR RATED DEMISING WALL
(1X 2X4 @ 12" O.C.)
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2X4 STAGGERED STUDS W/ 3/4" AIRSPACE ON EITHER SIDE OF DOUBLE 1" GYP. BOARD LINES PANELS SUPPORTED WITH STEEL TRACK AND H-STUDS AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 4A 2X6 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/8" OSB SHEATHING ON 2X6 WOOD STUDS AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE ELEVATIONS FOR EXTERIOR FINISH.
- 4B 2X6 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/8" OSB SHEATHING ON 2X6 WOOD STUDS WITH R-10 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE ELEVATIONS FOR EXTERIOR FINISH.
- 5A BRICK VENEER 2X4 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/8" OSB SHEATHING ON 2X4 WOOD STUD FRAMING WITH 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE EXT. ELEV. FOR COLORS.
- 5B BRICK VENEER 2X6 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/8" OSB SHEATHING ON 2X6 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE EXT. ELEV. FOR COLORS.



VILLAGE CAPITAL CORP.
170 3RD AVE. SW
CAMEL RIDGE
PHONE: (217) 817-0366

**CHOCOLATE
DRIVE**
SUN VALLEY, NV

THESE PLANS AND SPECIFICATIONS ARE PRELIMINARY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND MATERIALS IN THE FIELD BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



1 BUILDING TYPE 12A FIRST FLOOR PLAN
1/8" = 1'-0"

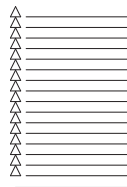
OVERALL BUILDING AREAS

BUILDING	AREA
BUILDING TYPE 12A	
FIRST FLOOR	5120 SF
SECOND FLOOR	5093 SF
	10214 SF

BUILDING TYPE 12B	
FIRST FLOOR	6996 SF
SECOND FLOOR	6972 SF
	13967 SF

BUILDING TYPE 12C	
FIRST FLOOR	8665 SF
SECOND FLOOR	8643 SF
	17308 SF

ISSUE



**BUILDING TYPE
12A FIRST FLOOR
PLAN**
As indicated

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A111

GENERAL NOTES:

- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD (8 1/2" OR 5 1/2"). EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. WINDOWS AND DOORS ARE DIMENSIONED TO THEIR CENTERLINE.
- B. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS, POWDER ROOMS, KITCHENS, AND WITHIN FOUR FEET OF ANY WATER SOURCES.
- C. VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER. INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS AND APPROVED SHOP DRAWINGS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- D. VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS. ORDERING CABINETS OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL LUMBER.
- E. FEC - FIRE EXTINGUISHER CABINET RECESSED. LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF.
- F. PROVIDE 2x BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- G. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR WINDOW TYPES & SIZES.
- H. PROVIDE A SHELF AND ROD IN WALL CLOSETS. PROVIDE FIVE (5) SHELVES IN MEN CLOSETS AND PAINTERS. REFER TO DETAIL FOR TYPICAL INSTALL.
- I. PREFABRICATED SHOWER / TUB UNIT TO INCLUDE REQUIRED BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS.
- J. TOILET FLUSH CONTROLS IN ACCESSIBLE UNITS TO BE OPEN SIDE OF TOILET.
- K. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH & KITCHEN CABINETS. ALL TOILET ACCESSORIES, STAIR HANDRAILS AND OTHER MISCELLANEOUS ITEMS SUPPORTED ON AND ATTACHED TO WALLS.

WALL TYPE LEGEND:

- SEE SHEET A602 FOR DETAILS
- 1A 2x4 EXTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2x4 WOOD STUD FRAMING @ 16" O.C.
- 1B 2x6 EXTERIOR WALL
5/8" GYPSUM BOARD ON EACH SIDE OF 2x6 WOOD STUD FRAMING @ 12" O.C.
- 1C 2x4 INTERIOR WALL - STORAGE ROOM
5/8" GYPSUM BOARD ON EACH SIDE OF 2x4 WOOD STUD FRAMING @ 12" O.C. WITH 3/4" BATT INSULATION. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT THE STORAGE ROOM SIDE.
- 2 1 HR RATED DEMISING WALL
(EX. ELEV. 01C100)
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2x4 STAGGERED STUDS W/ 1" AIRSPACE AND 3/2" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 3 2 HR RATED DEMISING WALL
(EX. ELEV. 01C200)
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2x4 STAGGERED STUDS W/ 3/4" AIRSPACE ON EITHER SIDE OF DOUBLE 1" GYPSUM BOARD LINES. PANELS SUPPORTED WITH STEEL TRACK AND H-STUDS AND 3/2" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 4A 2x6 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2x6 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE ELEVATIONS FOR EXTERIOR FINISH.
- 4B 2x6 EXTERIOR WALL
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2x6 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE ELEVATIONS FOR EXTERIOR FINISH.
- 5A BRICK VENEER 2x4 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2x4 WOOD STUD FRAMING WITH 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE EXT. ELEV. FOR COLORS
- 5B BRICK VENEER 2x6 EXTERIOR WALL
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. AND VERT. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2x6 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
SEE EXT. ELEV. FOR COLORS



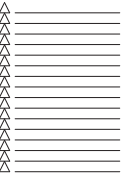
VILLAGE CAPITAL CORP.
170 3RD AVE. SW
CAMEL ROCK #668
PHONE: (217) 817-0366

CHOCOLATE
DRIVE

SUN VALLEY, NV

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE MEASURED TO THE FACE OF MATERIAL UNLESS INDICATED OTHERWISE. DIMENSIONS TO FACE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO CENTERLINE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO INSIDE FACE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO OUTSIDE FACE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO FINISHED SURFACE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO UNFINISHED SURFACE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO CENTERLINE SHALL BE SHOWN UNLESS INDICATED OTHERWISE. DIMENSIONS TO FACE SHALL BE SHOWN UNLESS INDICATED OTHERWISE.

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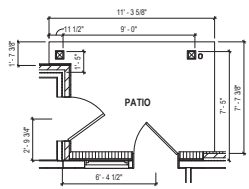


BUILDING TYPE 12B FIRST FLOOR PLAN
As indicated

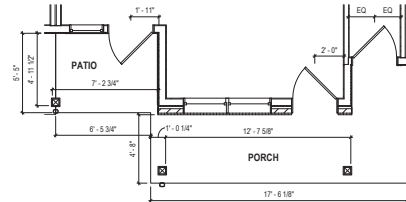
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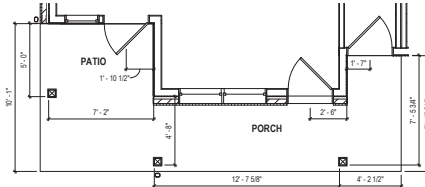
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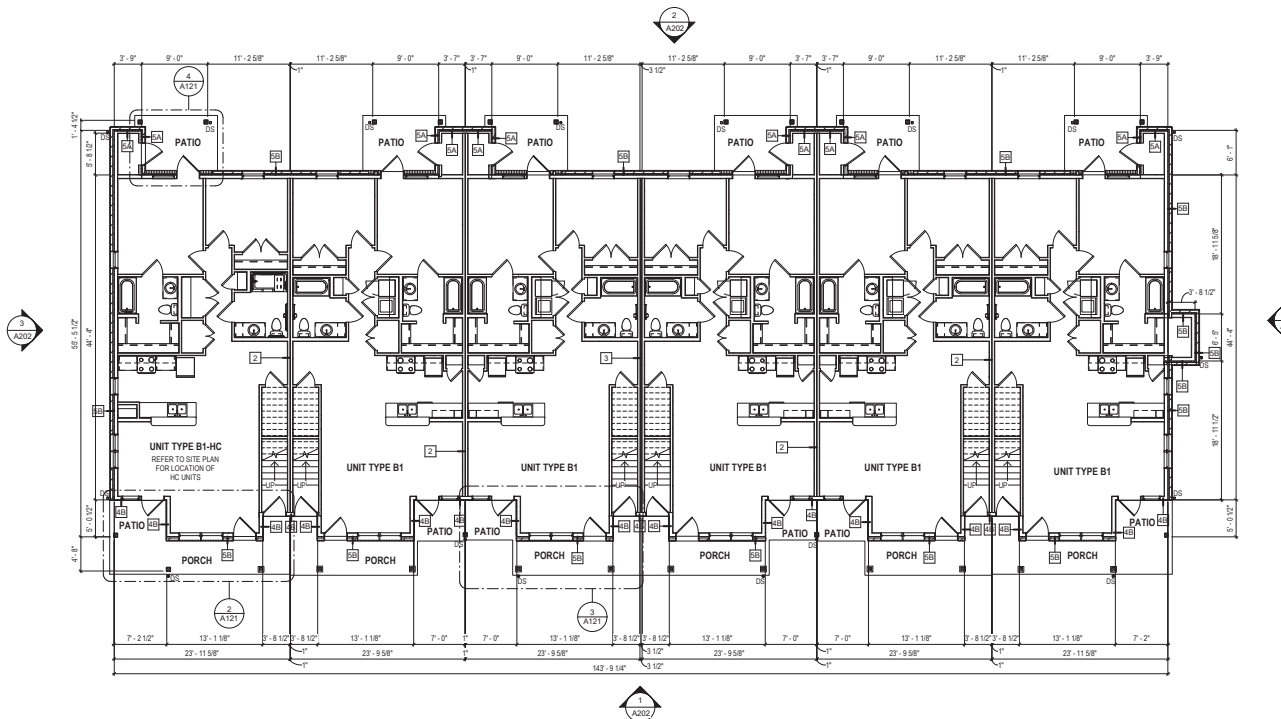
4 BUILDING TYPE 12B - ENLARGED PATIO PLAN
1/4\"/>



3 BUILDING TYPE 12B FIRST FLOOR PLAN - Callout 1
1/4\"/>



2 BUILDING TYPE 12B - ENLARGED PORCH/PATIO PLAN
1/4\"/>



1 BUILDING TYPE 12B FIRST FLOOR PLAN
1/8\"/>

OVERALL BUILDING AREAS

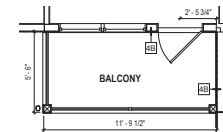
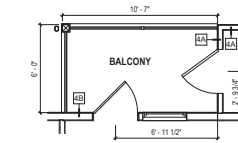
BUILDING	AREA
BUILDING TYPE 12A	
FIRST FLOOR	5120 SF
SECOND FLOOR	5093 SF
	10214 SF

BUILDING TYPE 12B	
FIRST FLOOR	6996 SF
SECOND FLOOR	6972 SF
	13967 SF

BUILDING TYPE 12C	
FIRST FLOOR	8665 SF
SECOND FLOOR	8643 SF
	17308 SF

GENERAL NOTES:

- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD (8 1/2" OR 5 1/2"). EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING. WINDOWS AND DOORS ARE DIMENSIONED TO THEIR CENTERLINE.
- B. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS, POWDER ROOMS, KITCHENS, AND WITHIN FOUR FEET OF ANY WATER SOURCES.
- C. VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER. INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS AND APPROVED SHOP DRAWINGS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- D. VERIFY ROUGH IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS. ORDERING CABINETS OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL LUMBER.
- E. **FEC - FIRE EXTINGUISHER CABINET** RECESSED. LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF.
- F. PROVIDE **2x BLOCKING** @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- G. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR WINDOW TYPES & SIZES.
- H. PROVIDE A SHELF AND ROD IN ALL CLOSETS. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS AND PANTRIES. REFER TO DETAIL FOR TYPICAL INSTALL.
- I. PREFABRICATED SHOWER / TUB UNIT TO INCLUDE REQUIRED BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS.
- J. TOILET FLUSH CONTROLS IN ACCESSIBLE UNITS TO BE OPEN SIDE OF TOILET.
- K. PROVIDE SOLID BLOCKING FOR SUPPORT OF ALL BATH & KITCHEN CABINETS. ALL TOILET ACCESSORIES, STAIR HANDRAILS AND OTHER MISCELLANEOUS ITEMS SUPPORTED ON AND ATTACHED TO WALLS.



BUILDING TYPE 12C - ENLARGED REAR BALCONY PLAN
③ 1/4" = 1'-0"

BUILDING TYPE 12C - ENLARGED FRONT BALCONY PLAN
② 1/4" = 1'-0"

WALL TYPE LEGEND:

SEE SHEET A602 FOR DETAILS

- 1A **2X4 INTERIOR WALL**
5/8" GYPSUM BOARD ON EACH SIDE OF 2X4 WOOD STUD FRAMING @ 16" O.C.
- 2B **2X6 INTERIOR WALL**
5/8" GYPSUM BOARD ON EACH SIDE OF 2X6 WOOD STUD FRAMING @ 12" O.C.
- 1C **2X4 INTERIOR WALL - STORAGE ROOM**
5/8" GYPSUM BOARD ON EACH SIDE OF 2X4 WOOD STUD FRAMING @ 12" O.C. WITH 3/4" BATT INSULATION. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT THE STORAGE ROOM SIDE.
- 2 **1 HR RATED DEMISING WALL (L&L #315)**
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2X4 STAGGERED STUDS W/ 1" AIRSPACE AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 3 **2 HR RATED DEMISING WALL (L&L #315-C30)**
5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF DOUBLE 2X4 STAGGERED STUDS W/ 3/4" AIRSPACE ON EITHER SIDE OF DOUBLE 1" GYPSUM BOARD LINER PANELS SUPPORTED WITH STEEL TRACK AND H-STUDS AND 3/4" SOUND BATT INSULATION IN EACH STUD CAVITY.
- 4A **2X6 EXTERIOR WALL**
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2X6 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE ELEVATIONS FOR EXTERIOR FINISH.
- 4B **2X6 EXTERIOR WALL**
EXTERIOR FINISH OVER WEATHER BARRIER ON 7/16" OSB SHEATHING ON 2X6 WOOD STUDS WITH R-9 BATT INSULATION AND 5/8" TYPE 'X' GYPSUM WALL BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE ELEVATIONS FOR EXTERIOR FINISH.
- 5A **BRICK VENEER 2X4 EXTERIOR WALL**
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2X4 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE EXT. ELEV. FOR COLORS.
- 5B **BRICK VENEER 2X6 EXTERIOR WALL**
MODULAR BRICK VENEER WITH 1" OR 2" AIR SPACE AND HORIZ. REINFORCEMENT ON WEATHER RESISTANT BARRIER ON 7/16" OSB SHEATHING ON 2X6 WOOD STUD FRAMING @ 12" O.C. WITH R-20 BATT INSULATION AND 5/8" GYPSUM BOARD. SEE STRUCTURAL DWGS FOR STUD SPACING.
* SEE EXT. ELEV. FOR COLORS.



UNLESS OTHERWISE INDICATED, THE FINISHES AND MATERIALS SHOWN ON THESE DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE AVAILABILITY AND LEAD TIMES FOR ALL MATERIALS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

ISSUE

NO.	DESCRIPTION	DATE

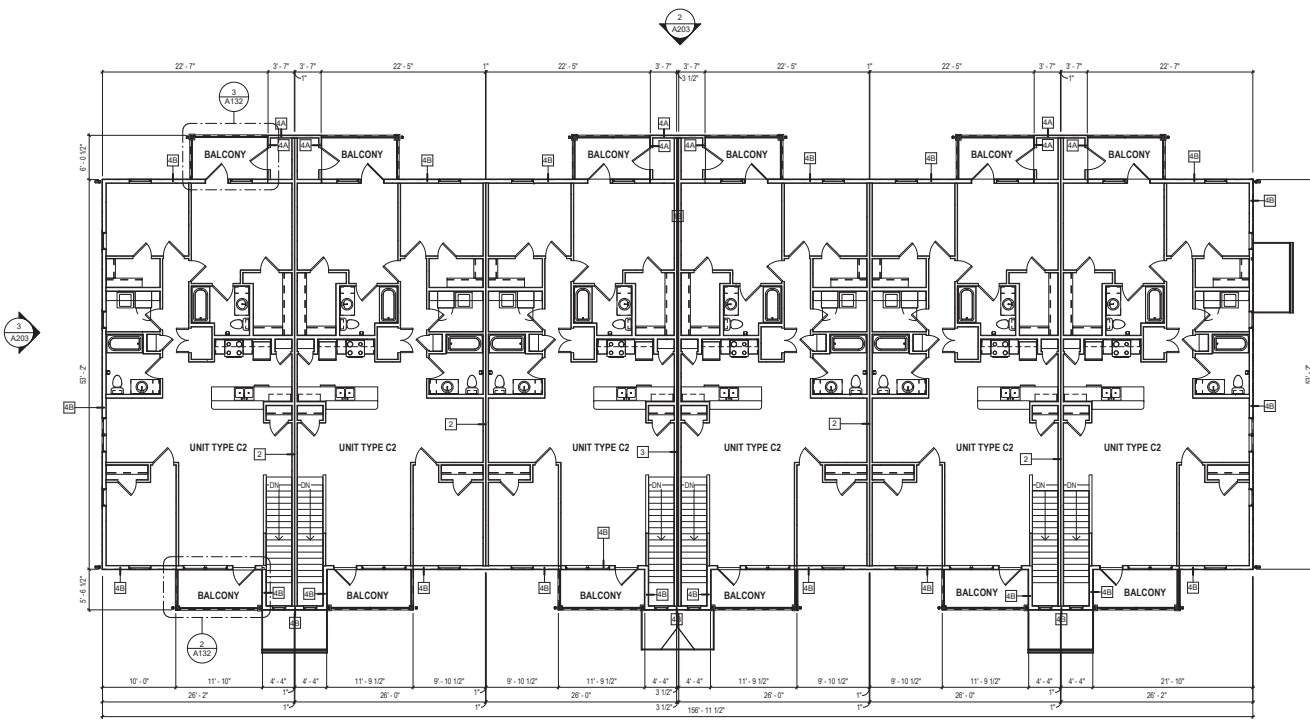
BUILDING TYPE 12C SECOND FLOOR PLAN AS INDICATED

PROJECT # 22189R
DRAWN BY Author
CHECKED BY Checker
FILE NAME
PLOT DATE XXX
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BUILDING TYPE 12A	AREA
FIRST FLOOR	5120 SF
SECOND FLOOR	5093 SF
	10214 SF

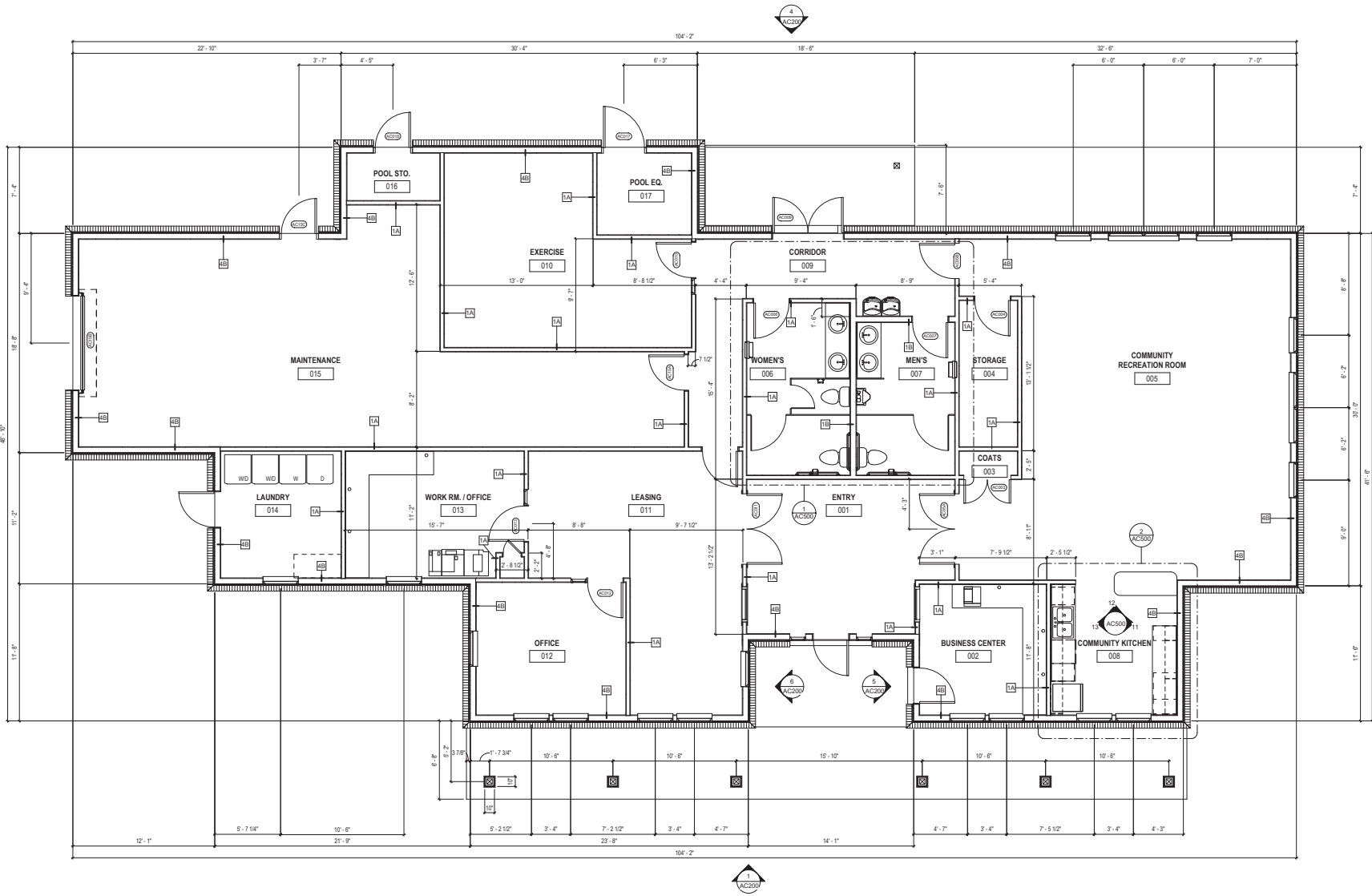
BUILDING TYPE 12B	AREA
FIRST FLOOR	6996 SF
SECOND FLOOR	6972 SF
	13967 SF

BUILDING TYPE 12C	AREA
FIRST FLOOR	8665 SF
SECOND FLOOR	8643 SF
	17308 SF

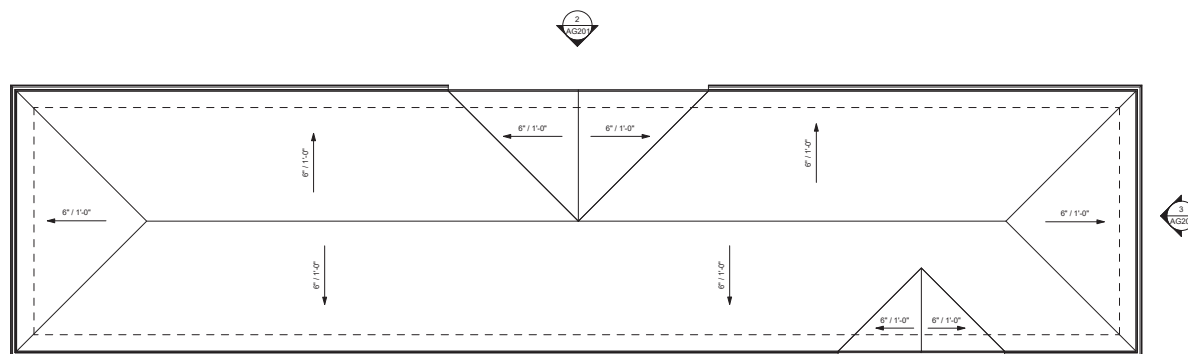


BUILDING TYPE 12C SECOND FLOOR PLAN
① 1/8" = 1'-0"

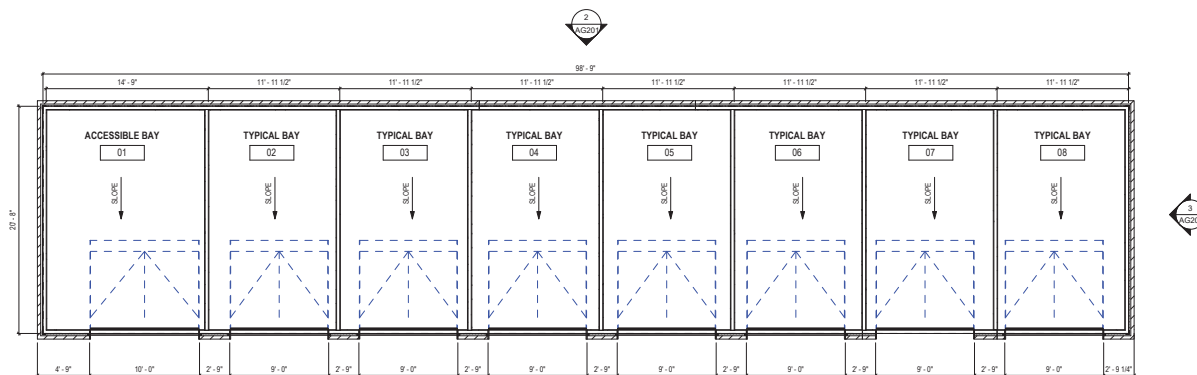
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1 CLUBHOUSE FIRST FLOOR PLAN
1/4" = 1'-0"



2 DETACHED GARAGE ROOF PLAN - 8 BAY
3/16" = 1'-0"



1 DETACHED GARAGE FLOOR PLAN - 8 BAY
3/16" = 1'-0"

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ISSUE

GARAGE PLANS (8 BAY) & ROOF PLAN
3/16" = 1'-0"

PROJECT #	22188R
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CHECKED BY	Checker
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PLOT DATE	XXX

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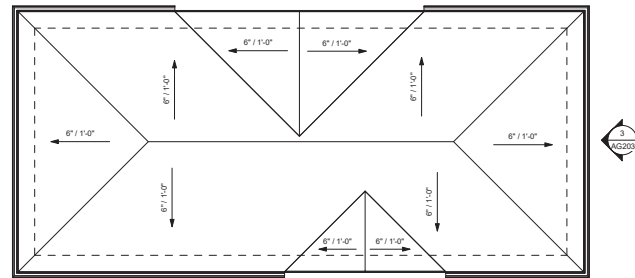
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GARAGE PLANS (4 BAY STANDARD) & ROOF PLAN
3/16" = 1'-0"

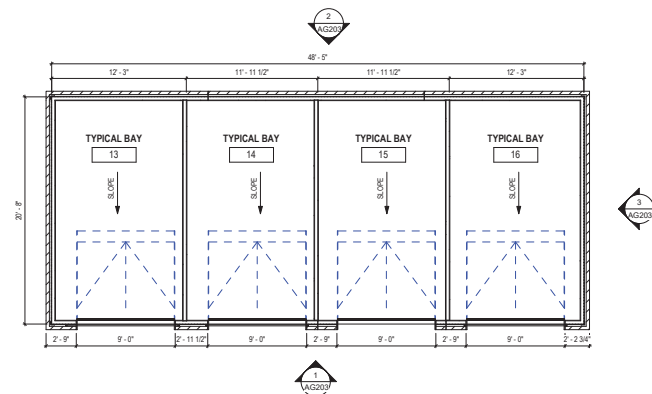
PROJECT # 22189R
DRAWN BY Author
CHECKED BY Checker
FILE NAME
PLOT DATE XXX

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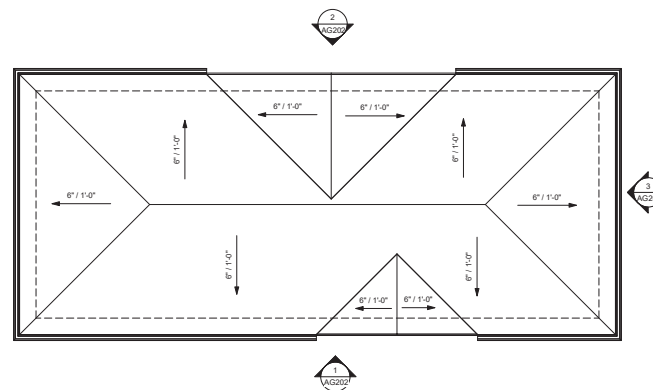
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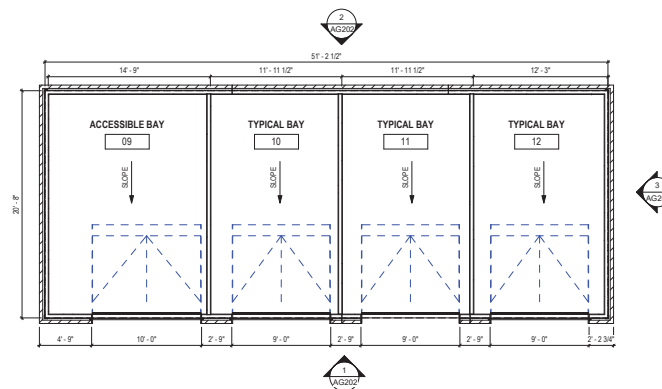
2 GARAGE ROOF PLAN - 4 BAY STANDARD
3/16" = 1'-0"



1 GARAGE FLOOR PLAN - 4 BAY STANDARD
3/16" = 1'-0"



2 GARAGE ROOF PLAN - 4 BAY HC
3/16" = 1'-0"



1 GARAGE FLOOR PLAN - 4 BAY HC
3/16" = 1'-0"

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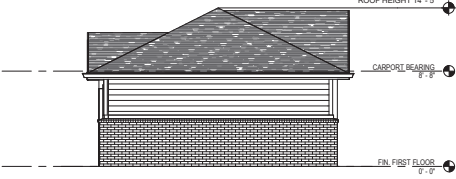
GARAGE PLANS (4 BAY HC) & ROOF PLAN
3/16" = 1'-0"

PROJECT #	22188R
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PLOT DATE	XXX

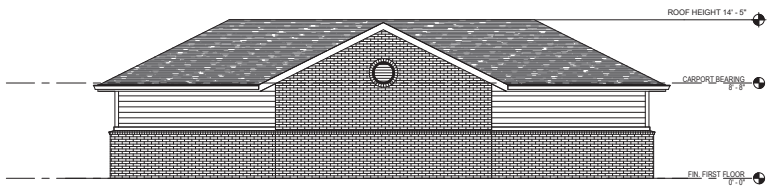
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3 GARAGE SIDE ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"



2 GARAGE REAR ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"



1 GARAGE FRONT ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"

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GARAGE (4 BAY STANDARD) ELEVATIONS
3/16" = 1'-4"

PROJECT #	22189R
DRAWN BY	Author
CHECKED BY	Checker
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PLOT DATE	XXX

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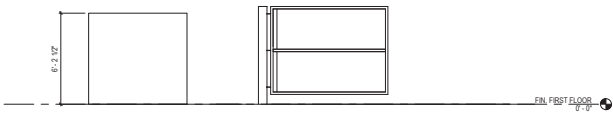
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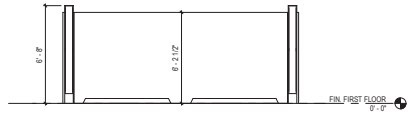
TRASH ENCLOSURE DRAWINGS
1/4" = 1'-0"

PROJECT #	22189R
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PLOT DATE	XXX

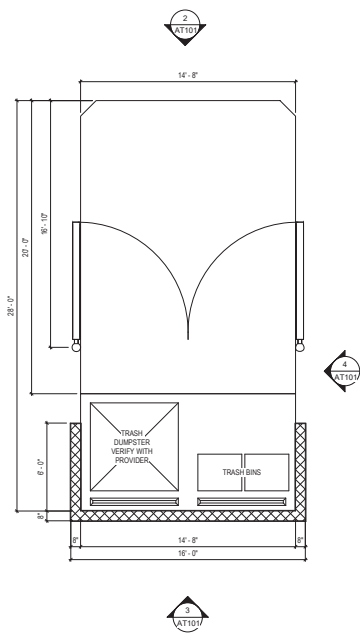
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4 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"



2 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



3 TRASH ENCLOSURE - REAR ELEVATION
1/4" = 1'-0"

APPENDIX H
SUPPLEMENTAL ADMINISTRATIVE/AMENDMENT DOCUMENTS



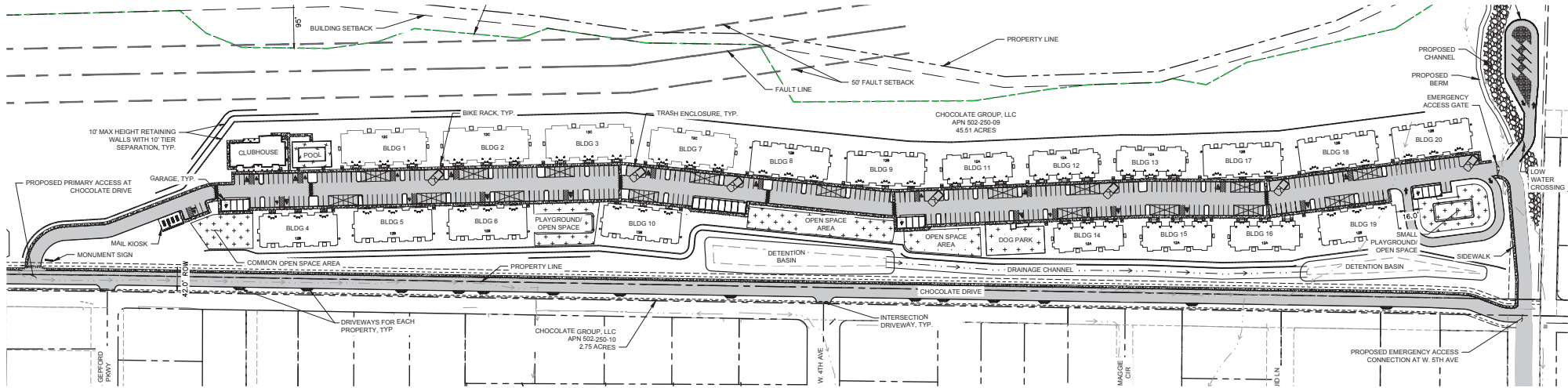
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Vicinity Map

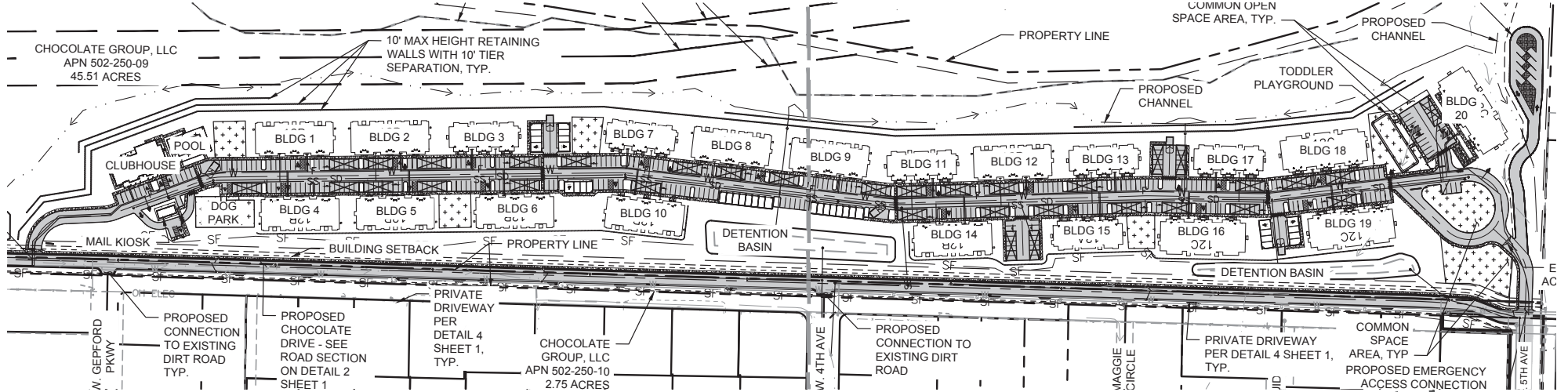




PROPOSED CHOCOLATE DRIVE SITE PLAN (NOV 2024)



PREVIOUS CHOCOLATE DRIVE SITE PLAN (FEB 2023)



Chocolate Drive Site Plan Comparison Exhibit

Washoe County, Nevada
November 2024 NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.

DWG NAME: K:\REN_CIVIL\192233000 - PEDCOR CHOCOLATE DRIVE\07 CAD\EXHIBITS\2022.10.06 - NEW SITE PLAN\SITE PLAN EXHIBIT DWG
LAST SAVED: 11/14/2024 10:54 AM

	Previous Administrative Permit	Proposed
Total Parking Provided (Stalls)	470	360
Garages/Carports Provided	240	120
Proposed Landscaping (SF)	302,616	148,486
Common Open Space Area Provided (SF)	50,258	49,911
Trash Enclosures Provided	5	7

Kimley»Horn

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