

Community Services Department
Planning and Building
SPECIAL USE PERMIT



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: BCRO - Robb Remodel			
Project Description: This project primarily proposes an exterior facelift and refinishing. The exterior decks are being rebuilt and the garage roof deck is being expanded. All windows are being replaced, as well as the insulation, sheathing, and siding. There will be new stone around the front of the garage. On the interior, the existing bathrooms are being remodeled and a new gas fireplace is proposed in the family room. Room count remains the same: (3) bedrooms, (2.5) baths, (1) existing gas fireplace, and (1) new gas fireplace.			
Project Address: 683 Bridger Ct. Incline Village, NV 89451			
Project Area (acres or square feet): 1,235sf			
Project Location (with point of reference to major cross streets AND area locator):			
Nearest intersection is Jennifer St. & Marlette Way, Bridger Ct. is off of Jennifer St. Incline Village 1A Lt 5 Blk E Tnsp 16 Rg 18			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
125-363-02	0.197acres		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Robb Family Trust		Name: Elise Fett & Associates, Ltd.	
Address: 774 Mays Blvd. #10-457		Address: PO Box 5989	
Incline Village, NV Zip: 89451		Incline Village, NV Zip: 89450	
Phone: 949-683-6550 Fax:		Phone: 775-833-3388 Fax:	
Email: bryanarobb@gmail.com		Email: julie@elisefett.com	
Cell: 949-683-6550 Other:		Cell: 775-315-3086 Other:	
Contact Person: Bryan Robb		Contact Person: Julie Soules	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Elise Fett & Associates, Ltd.		Name: Plenium Builders	
Address: PO Box 5989		Address: 825 Steneri Way	
Incline Village, NV Zip: 89450		Sparks, NV Zip: 89431	
Phone: 775-833-3388 Fax:		Phone: 775-398-0123 Fax:	
Email: julie@elisefett.com		Email: tbasta@pleniumbuilders.com	
Cell: 775-315-3086 Other:		Cell: 775-302-6554 Other:	
Contact Person: Julie Soules		Contact Person: Toby Basta	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

This project primarily proposes an exterior facelift and refinishing. The exterior decks are being rebuilt and the garage roof deck is being expanded. All windows are being replaced, as well as the insulation, sheathing, and siding. There will be new stone around the front of the garage.
On the interior, the existing bathrooms are being remodeled.
Room count remains the same: (3) bedrooms, (2.5) baths, and (1) existing gas fireplace.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

site plan is enclosed

3. What is the intended phasing schedule for the construction and completion of the project?

The tentative schedule subject to supply availability and permit timing is as follows: Demo/Construction start 4/1-4/15/2025, framing 4/17-5/7/2025, rough plumbing/elec/gas 5/8-5/16/2025, exterior finishing 9/4-9/15/2025, interior finishing 9/17-9/25/2025, final inspection 10/08/2025

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

There is no change to the intensity of the proposed use from the existing use.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Updating and improving curb appeal increases the value of the homes in the neighborhood.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

There are no anticipated negative impacts.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

The use is an existing single family residence, parking is compliant with code requirements as shown in the site plan.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	IVGID
b. Electrical Service	NV Energy
c. Telephone Service	n/a
d. LPG or Natural Gas Service	SWGAS
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Spectrum
g. Water Service	IVGID

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	NLTFPD - 965 Mt. Rose Highway, Incline Village, NV 89451
b. Health Care Facility	Tahoe Forest - 880 Alder Ave, Incline Village, NV 89451
c. Elementary School	Incline Elementary - 915 Northwood Blvd. Incline Village, NV 89451
d. Middle School	Incline Middle School - 931 Southwood Blvd. Incline Village, NV 89451
e. High School	Incline High School - 499 Village Blvd. Incline Village, NV 89451
f. Parks	Preston Field & Playground - 700 Tahoe Blvd. Incline Village, NV 89451
g. Library	Incline Village Library - 845 Alder Ave. Incline Village, NV 89451
h. Citifare Bus Stop	TART - Ponderosa Ave @ SR28 or Winding Way @ SR28 (both 2.4mi from site)

REVISIONS	BY	DATE



ELISE FETT & ASSOCIATES, LTD.
 AN AEC-CVT
 PHONE: (770) 853-3388
 FAX: (770) 833-2888
 P.O. BOX 9899
 10000 WOODBRIDGE DRIVE
 NEWNAN, GA 30568

PRELIMINARY
 NOT FOR CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGE CT
 INCLINE VILLAGE, MN 55451
 WASHOE COUNTY
 APN 125-363-02

SCALE: As Shown
 JOB NO: BCRO
 PRINT DATE: 2/7/2024
 SHEET: 52 OF 54
SP-2

TRPA COVERAGE PLAN

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARANCES HEREON CONSTITUTE THE ORIGINAL AND UNREPEATED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

LOT INFO AND COVERAGE CALCULATIONS:

TOTAL LOT AREA: 8808 SF
 LOT COVERAGE: 10.5% (10.5%) 8808 SF
 MAX ALLOWABLE COVERAGE: 7.881
 MAXIMUM COVERAGE EXEMPTION CALCULATIONS PER TRPA CODE 10A.6:
 TOTAL NON-SENSITIVE PAVED AREAS: 8808 SF
 OR NOT TO EXCEED 750 SF (10% OF HIGH CAPABILITY): 750 SF
 • MAX. NON-PERMANENT STRUCTURES (2% OR 120 SF): 120 SF
 • MAX. PERVIOUS DECK (5%): 440 SF
 • MAX. PERVIOUS DECK (5%): 750 SF

COVERAGE (Square Feet)

MAR	K	AREA	PREVIOUSLY VERIFIED	PROPOSED	EXEMPT	ACTUAL
		PAVER DRIVEWAY AND PATH	100.00 SF	100.00 SF	20.00 SF	100.00 SF
		DECK, STAIRS	114.50 SF	114.50 SF	12.50 SF	102.00 SF
		KEYSTONE STEPS	30.00 SF	30.00 SF	0.00 SF	30.00 SF
		GENERATOR SHED	37.50 SF	37.50 SF	0.00 SF	37.50 SF
		BEAR BOX	10.00 SF	10.00 SF	0.00 SF	10.00 SF
		NEW KEYSTONE STEPS	10.00 SF	10.00 SF	0.00 SF	10.00 SF
		NEW BEAR BOX	8.00 SF	8.00 SF	0.00 SF	8.00 SF
		TOTAL	277.50 SF	277.50 SF	32.50 SF	245.00 SF
		TOTAL REMAINING ALLOWABLE COVERAGE - 3 SF				242.00 SF

NOTES:
 1. DECKS AND OVERHANGS HAVE BEEN CALCULATED WITH 1.1 REDUCTIONS
 2. PERVIOUS DECKS (TRPA CODE SECTION 10A.6.02) REDUCTION UP TO 70% SF

COVERAGE (Offsite)

Area	Previously Approved	Proposed	Actual
OFFSITE	93.50 SF	93.50 SF	0 SF

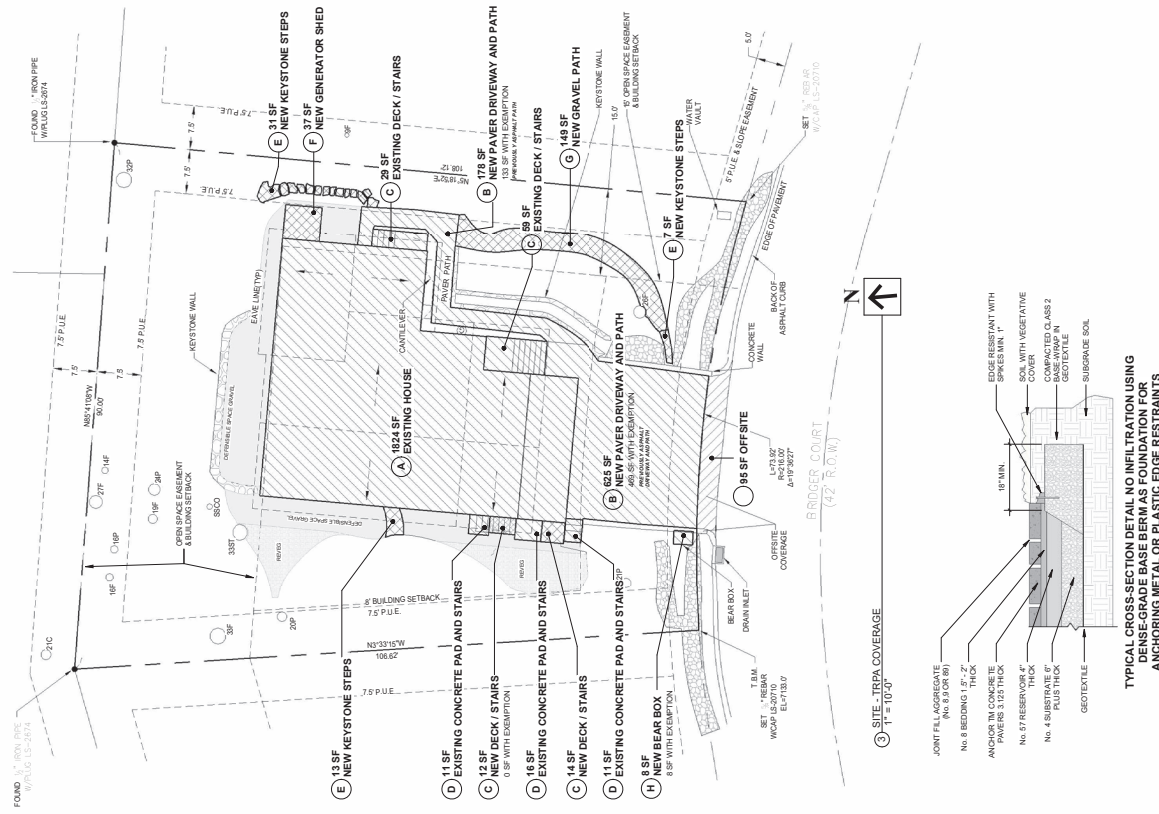
EXCESS COVERAGE MITIGATION

REQUIRED TO USE COVERAGE EXEMPTIONS
 VERIFIED COVERAGE - ALLOWABLE COVERAGE
 NO. NEW VILLAGE EXCESS FEE: \$20
 93.50' x 20' = \$1,870

COVERAGE KEY

- EXISTING
- PROPOSED
- CHANGE
- REVEGETATE

NOTE: AREAS DESIGNATED AS REVEGETATE TO BE REVEGETATED IN ACCORDANCE WITH TRPA PRACTICES. RE-SEEDING AND APPROVED PRACTICES WILL NOT REQUIRE IRRIGATION, SUCH AS WILL NOT REQUIRE IRRIGATION. MAXIMUM BRUSHED SOIL.



3. SITE TRPA COVERAGE
 1" = 10'-0"

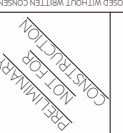
4. PVI PERVIOUS PAVEMENT INSTALLATION
 3/4" = 1'-0"

REVISIONS		BY	DATE
#			



ELISE FETT
& ASSOCIATES, LTD.
AIA - ACE - CAVT

PHONE: (770) 853-3388
P.O. BOX 05899
DUBLIN, GA 30128
FAX: (770) 853-2388
eiff@elisefett.com



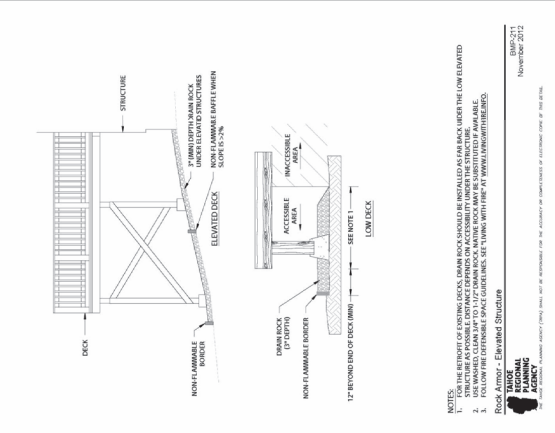
BRYAN & CAREY ROBB REMODEL

683 BRIDGE CT
WASHOE COUNTY
APN 125-353-02

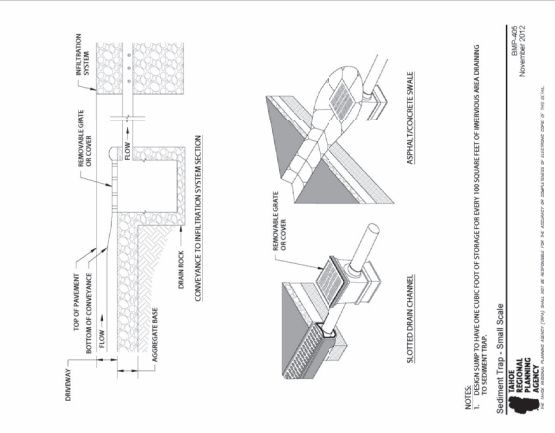
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PRINT DATE: 5/25/2014

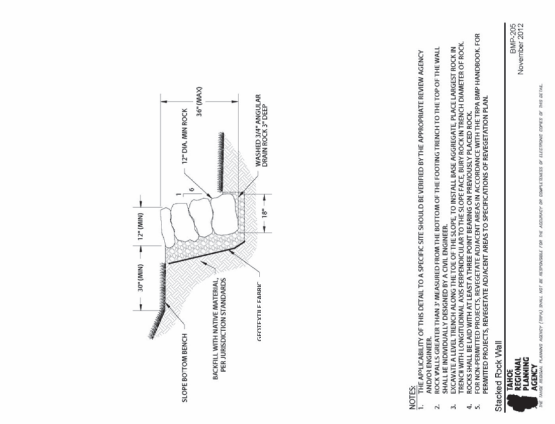
TRPA BMP DETAILS



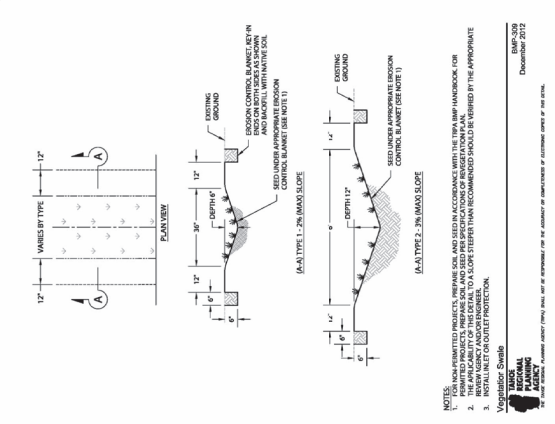
41 - ROCK ARMOR
1/2" = 1'-0"



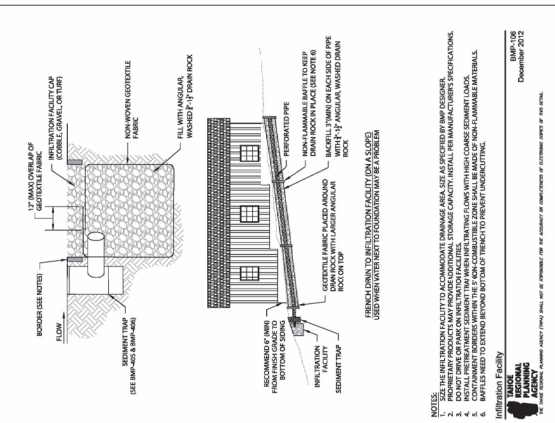
42 - SEDIMENT TRAP SMALL
1/2" = 1'-0"



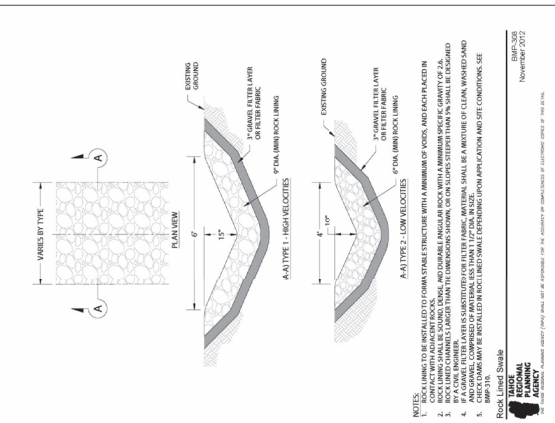
395 - STACKED ROCK WALL
1/2" = 1'-0"



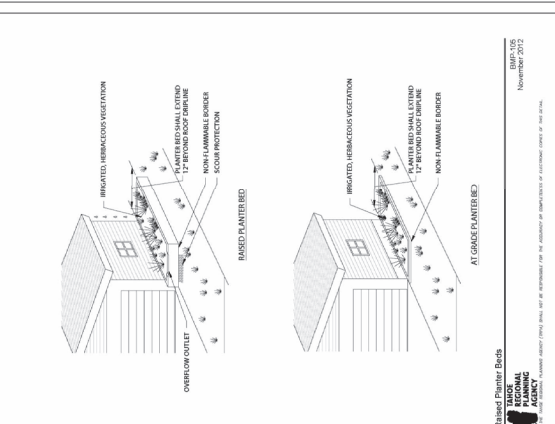
396 - VEGETATION SWALE
1/2" = 1'-0"



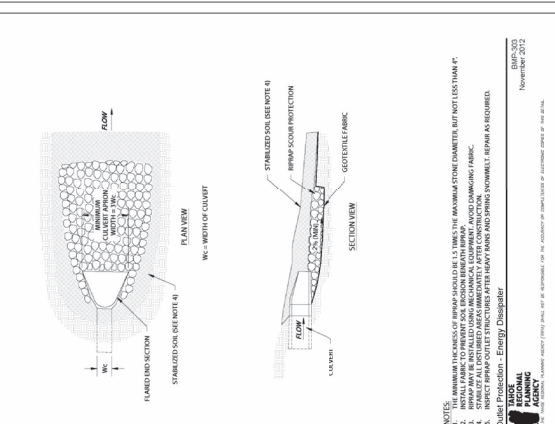
106 - INFILTRATION FACILITY
1/2" = 1'-0"



398 - ROCK LINED SWALE
1/2" = 1'-0"



105 - RAISED PLANTER BEDS
1/2" = 1'-0"



399 - OUTLET PROTECTION
1/2" = 1'-0"

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REVISIONS	BY
#	DATE

EFA
 ARCHITECTURE
 ENGINEERING
 INTERIORS
 TRPA

ELISE FETT & ASSOCIATES, LTD.
 AN INCORPORATED
 PHONE: (770) 853-3388
 FAX: (770) 853-3388
 efa@elisefett.com
 P.O. BOX 0899
 NEWNAN, GA 30568
 NEWNAN, GA 30568

PRELIMINARY
 NOT FOR CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGE CT
 INCLINE VILLAGE, NV 89451
 WASHOE COUNTY
 APN 125-363-02
 SCALE: 1/2" = 1'-0"
 JOB NO: BCRO
 PRINT DATE: 2/7/2012
 SHEET: 52512194

SP-3b
 TRPA BMP
 DETAILS

2/8/2012 BCRO 1-29-2012M

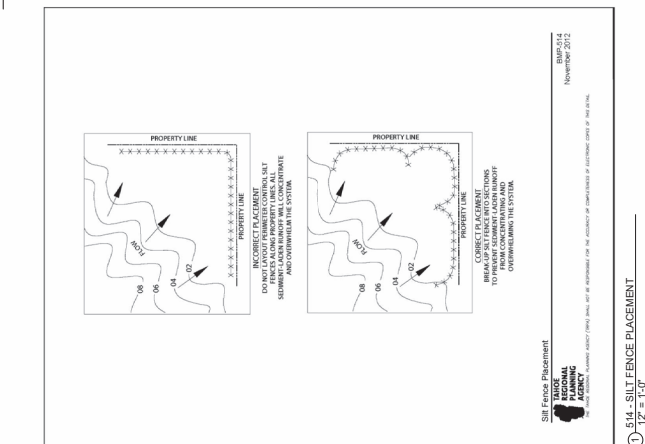
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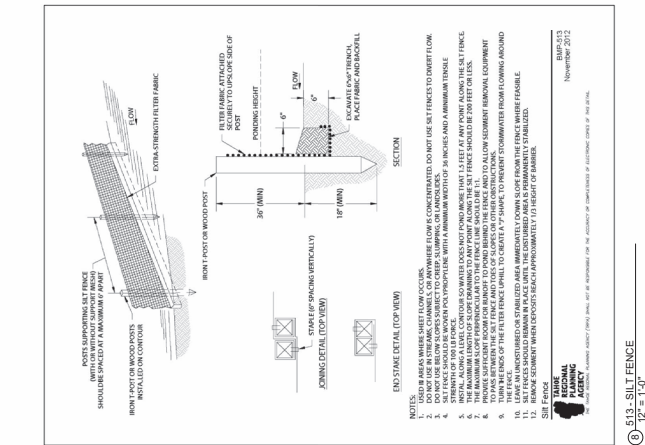
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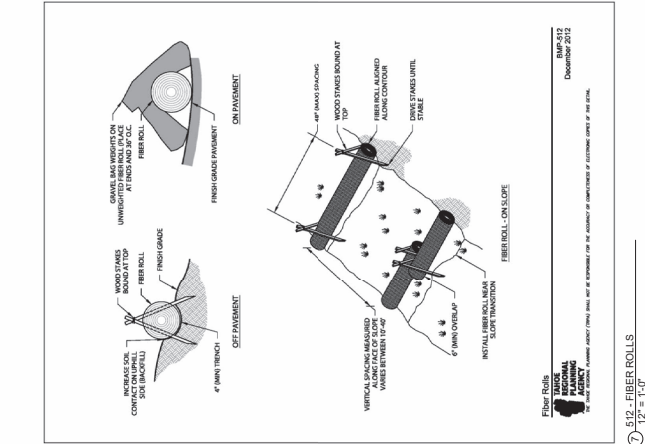
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 TRPA BMP
 DETAILS



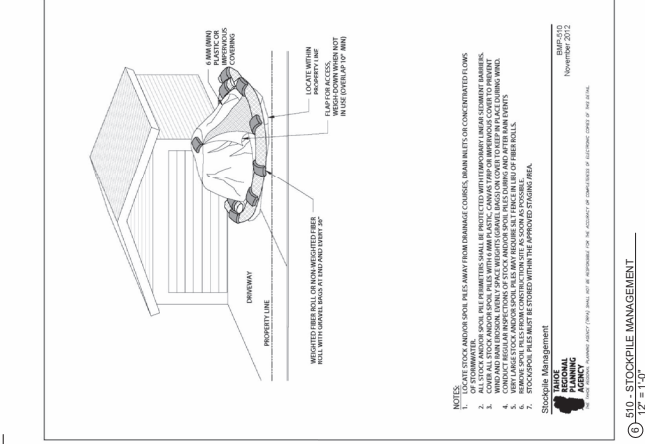
514 - SILT FENCE PLACEMENT
 1/2" = 1'-0"



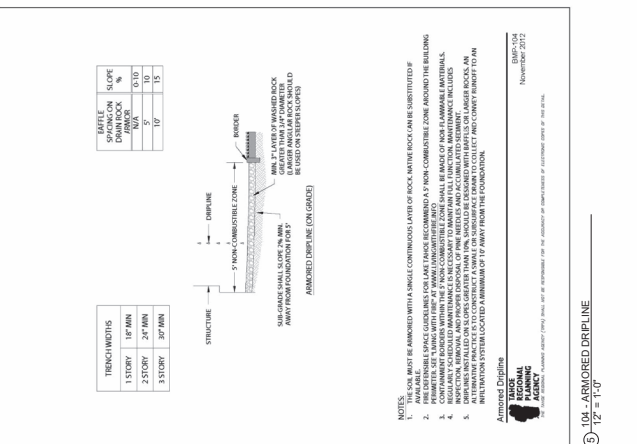
519 - SILT FENCE
 1/2" = 1'-0"



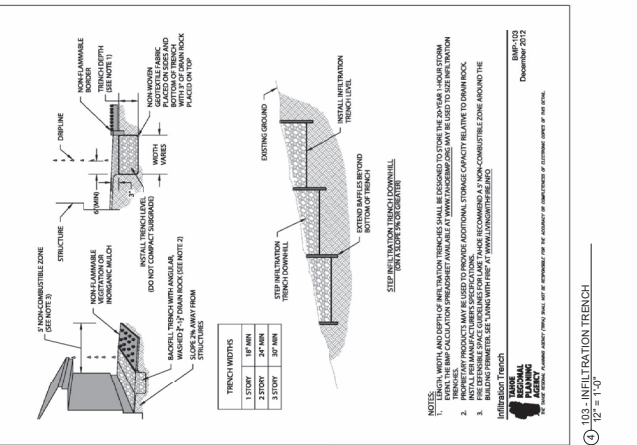
512 - FIBER ROLLS
 1/2" = 1'-0"



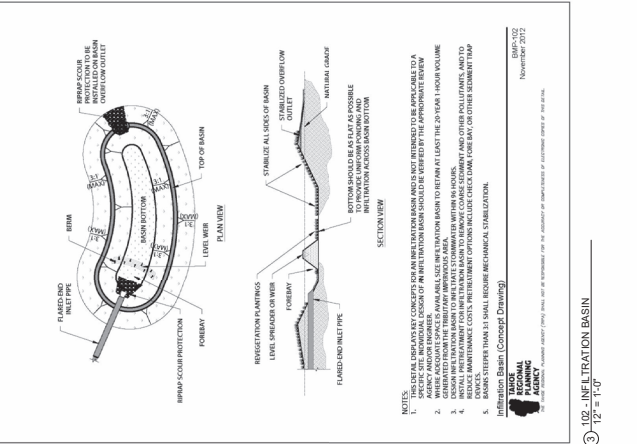
510 - STOCKPILE MANAGEMENT
 1/2" = 1'-0"



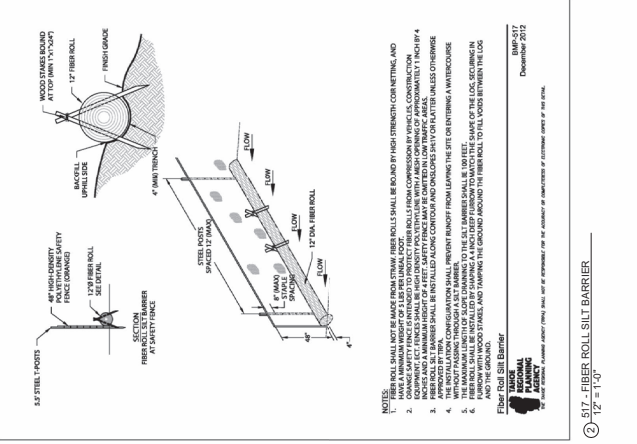
104 - ARMORED DRIFTLINE
 1/2" = 1'-0"



103 - INFILTRATION TRENCH
 1/2" = 1'-0"



102 - INFILTRATION BASIN
 1/2" = 1'-0"



517 - FIBER ROLL SILT BARRIER
 1/2" = 1'-0"

REVISIONS	BY	DATE

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 PHONE: (770) 853-2388
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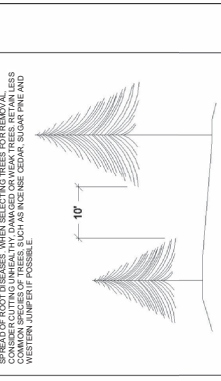
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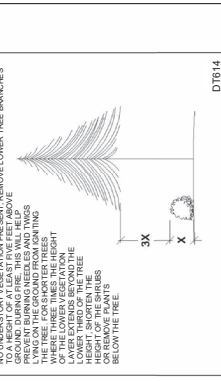
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 PRINT DATE: 2/27/2024
 SHEET: SP-4

DEFENSIBLE SPACE PLAN

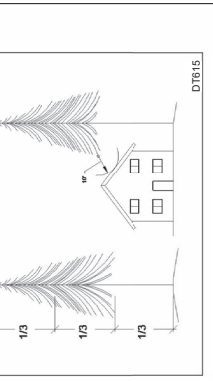
TREE SEPARATION
 IN ORDER TO MAINTAIN THE DEFENSIBLE SPACE ZONE, TREES SHOULD BE PLANTED TO PROVIDE AN AIRSPACE SEPARATION BETWEEN THE CANOPIES OF AT LEAST ONE TREE TO THE NEXT TREE. THE SEPARATION SHOULD BE CUT FLUSH TO THE GROUND OF THE TREE LESS THAN 1/3 DIAMETER AT BREAST HEIGHT AND THE DISTANCE SHOULD BE GREATER. STUMPS SHOULD BE CUT FLUSH TO THE GROUND OF THE TREE LESS THAN 1/3 DIAMETER AT BREAST HEIGHT AND SURFACES SHOULD BE COATED WITH POWDERED BORAX TO RETARD THE COMBUSTION OF THE TREE. THE SURFACE SHOULD BE SMOOTH AND CONSIDER CUTTING UNDESIRABLE DAMAGED OR INJURED TREES RETAIN LESS WESTERN JUNIPER IF POSSIBLE.



TREE & LOWER SHRUB SEPERATION
 SHOULD BE SEPARATED WITH THE LOWER CANOPY SEPERATION AND THE LOWER TREE BRANCHES. VEGETATION THAT CAN CARRY FIRE FUEL FOR LARGE TREES, THE RECOMMENDED SEPERATION FOR LARGER PRUNE BRANCHES FROM THE LOWER THIRD OF THE TREE HIGH LATER, MORE THAN ONE THIRD OF THE TOTAL TREE BRANCHES. WHEN THERE IS NO UNDERSTANDING OF A TREE'S FORM, REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST 10 FEET FROM THE GROUND. REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST 10 FEET FROM THE GROUND. REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST 10 FEET FROM THE GROUND. REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST 10 FEET FROM THE GROUND.



TREE TRIMMING GUIDELINES
 ALL RESIDUAL TREES WILL BE TRIMMED TO A HEIGHT OF 10 FT FROM GROUND. NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT. TRIMMING SHOULD BE DONE IN A MANNER THAT MAINTAINS THE STRUCTURE AND HEALTH OF THE TREE. TRIMMING SHOULD BE DONE IN A MANNER THAT MAINTAINS THE STRUCTURE AND HEALTH OF THE TREE.



SHRUB SEPERATION
 ON FLAT TO GENTLY SLOPING TERRAIN, INDIVIDUAL SHRUBS OR SMALL CLUMPS OF SHRUBS WITHIN THE DEFENSIBLE SPACE ZONE SHOULD BE SEPARATED BY AT LEAST 10 FEET. ON STEEP SLOPES, THE SEPERATION HEIGHT OF THE SHRUBS FOR STEEP SLOPES, THE SEPERATION DISTANCE SHOULD BE GREATER.



DEFENSIBLE SPACE ZONES

- ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION, MUST BE REMOVED FROM THE DEFENSIBLE SPACE ZONE.
- ALL RESIDUAL TREES WILL BE TRIMMED TO A HEIGHT OF TEN FEET (10') ABOVE THE GROUND ON THE DEFENSIBLE SPACE ZONE. TRIMMING SHOULD BE DONE IN A MANNER THAT MAINTAINS THE STRUCTURE AND HEALTH OF THE TREE. TRIMMING SHOULD BE DONE IN A MANNER THAT MAINTAINS THE STRUCTURE AND HEALTH OF THE TREE.
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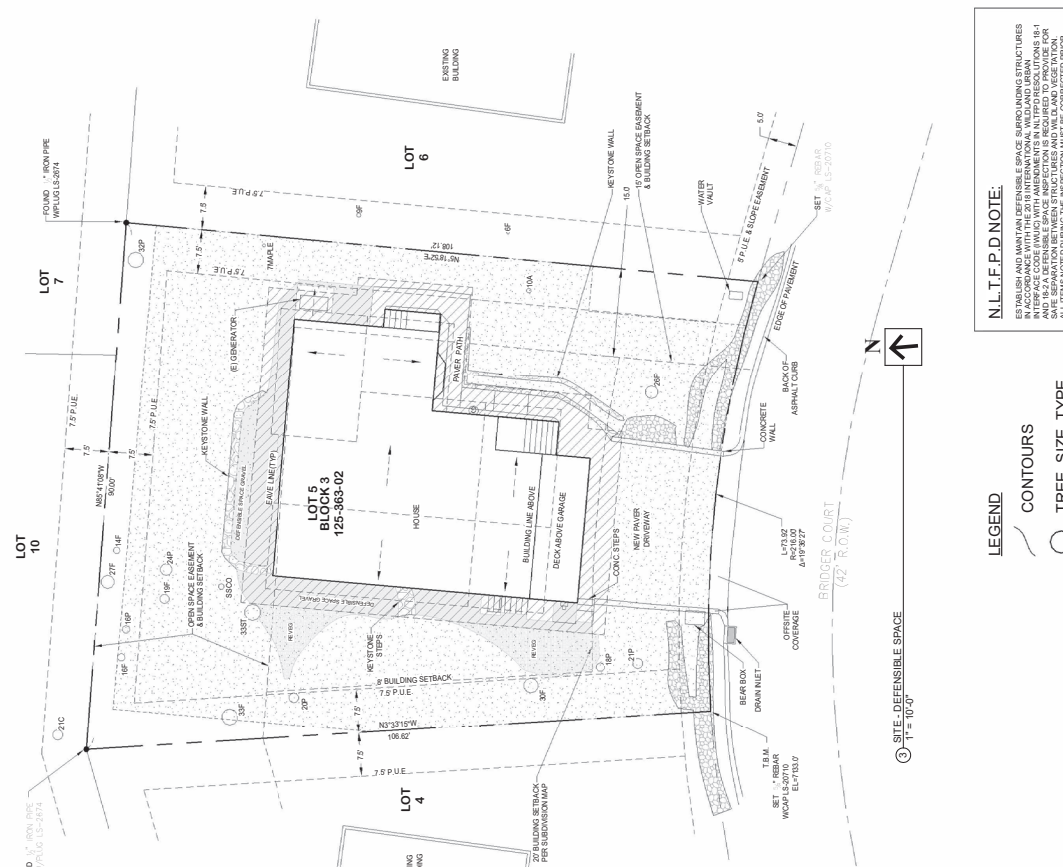
- SPACING**
- 30 FEET BETWEEN EDGES OF CROWNS
 - 20-40% ABOVE 40%
 - 2 TIMES THE HEIGHT OF RESIDUAL BRUSH
 - 2-2.47% ABOVE 40%

ZONE 1 - 0'-5' Noncombustible Area
 CREATE A NONCOMBUSTIBLE AREA AT LEAST 5' WIDE AROUND THE BASE OF THE STRUCTURE FROM FLYING EMBERS. USE IRRIGATED HERBACIOUS PLANTS, SUCH AS LAWN, GROUND COVERS, MATCHES OR HARD SURFACES, SUCH AS BRICK AND PAVEMENT, IN THIS AREA. KEEP IT FREE OF SHRUBS (SUCH AS ANEMONE) AND DEBRIS. DRIED LEAVES AND NEEDLES, FLAMMABLE MATERIALS, COMBUSTIBLE MATERIALS, INCLUDING COMBUSTIBLE PAINT MATERIAL, AT GRAVEL, ROADS, IS NOT ALLOWED WITHIN THIS AREA.

ZONE 2 - 5'-30' LEAN, CLEAN AND GREEN AREA
 THE WILDLAND FUEL REDUCTION AREA BEYOND THE LEAN, CLEAN AND GREEN AREA. REMOVE DEAD, DAMAGED, DISEASED, OR INJURED TREES, BRUSH, AND OTHER VEGETATION FROM THIS AREA. REMOVE DEAD, DAMAGED, DISEASED, OR INJURED TREES, BRUSH, AND OTHER VEGETATION FROM THIS AREA.

ZONE 3 - 30'-100' WILDLAND FUEL REDUCTION AREA
 THE WILDLAND FUEL REDUCTION AREA BEYOND THE LEAN, CLEAN AND GREEN AREA. REMOVE DEAD, DAMAGED, DISEASED, OR INJURED TREES, BRUSH, AND OTHER VEGETATION FROM THIS AREA. REMOVE DEAD, DAMAGED, DISEASED, OR INJURED TREES, BRUSH, AND OTHER VEGETATION FROM THIS AREA.

- REMOVE ALL TREE NEEDLES AND FOREST DUFF WITHIN THIS AREA.
- REMOVE ACCUMULATION OF DEAD VEGETATION FROM TREES (FLAMMABLE DEBRIS, DEAD BRANCHES AND LIMBS) ABOVE ADJACENT GRADE.
- WITHIN 5'-30' OF THE STRUCTURE, "LEAN" MEANS THERE IS LITTLE OR NO DEAD, DAMAGED, DISEASED, OR INJURED VEGETATION WITHIN THIS AREA.
- ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DWP LINE OF RESIDUAL TREES OR THE TREE GROUP.
- REMOVE ALL TREE NEEDLES AND FOREST DUFF WITHIN THIS AREA.



LLT.F.P.D. NOTE:
 ESTABLISH AND MAINTAIN DEFENSIBLE SPACE ZONE AROUND ALL STRUCTURES IN ACCORDANCE WITH THE WASHOE COUNTY FIRE DEPARTMENT DEFENSIBLE SPACE ZONE REGULATIONS. THE DEFENSIBLE SPACE ZONE REGULATIONS ARE AVAILABLE AT WWW.WASHOECOUNTY.NV.GOV/DEFENSIBLESPACE. ADDITIONAL INFORMATION ON IMPROVING YOUR DEFENSIBLE SPACE ZONE CAN BE OBTAINED BY CONTACTING THE WASHOE COUNTY FIRE DEPARTMENT AT (775) 883-8107. SCHEDULE AN APPOINTMENT.

LEGEND

- CONTOURS
- TREE, SIZE, TYPE
- ZONE 1
- ZONE 2

DEFENSIBLE SPACE
 1" = 10'-0"

REVISIONS	
#	DATE



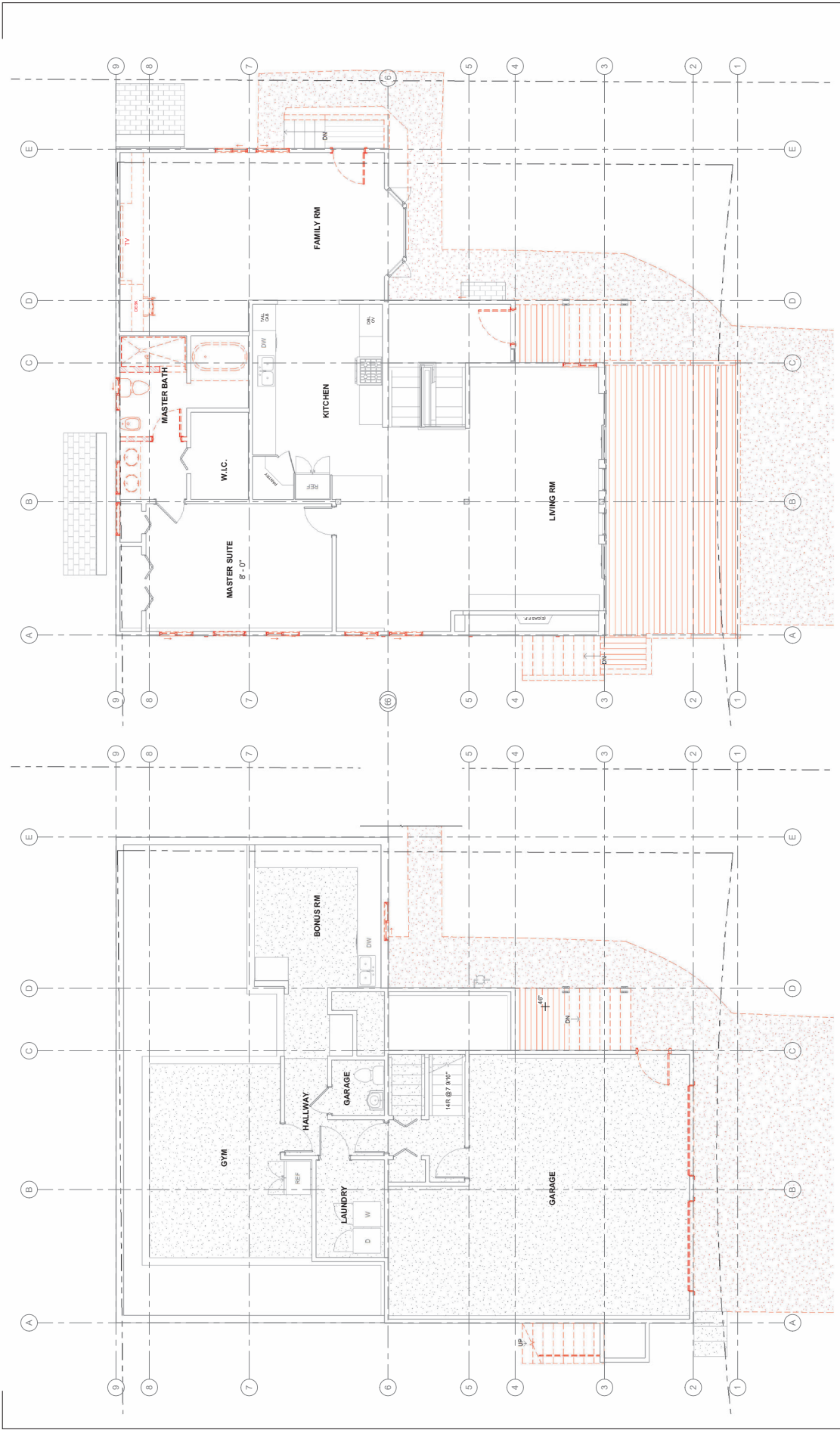
ELISE FETT & ASSOCIATES, LTD.
 AA-PCI-CVT
 PHONE: (775) 853-3388
 FAX: (775) 853-2888
 elise@eliseftt.com
 P.O. BOX 69899
 LAS VEGAS, NV 89146-0989

PRELIMINARY
 NOT FOR
 CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 INCLINE VILLAGE NV 89451
 WASHOE COUNTY
 APN 125-363-02

SCALE: 1/4" = 1'-0"
 JOB NO: BCRO
 PRINT DATE: 2/7/2025
 5:25:37PM
 SHEET: A-1

GARAGE & FIRST FLOOR Demo



WALL LEGEND

- NEW 2x6 WALLS
- NEW 2x4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED STUD (EXISTING CONSTRUCTION), TO CENTERLINE OF DOORS AND WINDOWS.

FIRST FLOOR Existing
 2 1/4" = 1'-0"

BASEMENT Existing
 1 1/4" = 1'-0"

DEMO NOTES

NO.	DESCRIPTION

REVISIONS		
#	DATE	BY

EFA
 • ARCHITECTURE
 • ENGINEERING
 • INTERIORS
 • TRPA

ELISE FETT & ASSOCIATES, LTD.
 AA-PCI-CATV
 PHONE: (775) 853-3388
 FAX: (775) 853-2888
 elise@elisefett.com
 P.O. BOX 69899
 LAS VEGAS, NEVADA 89149

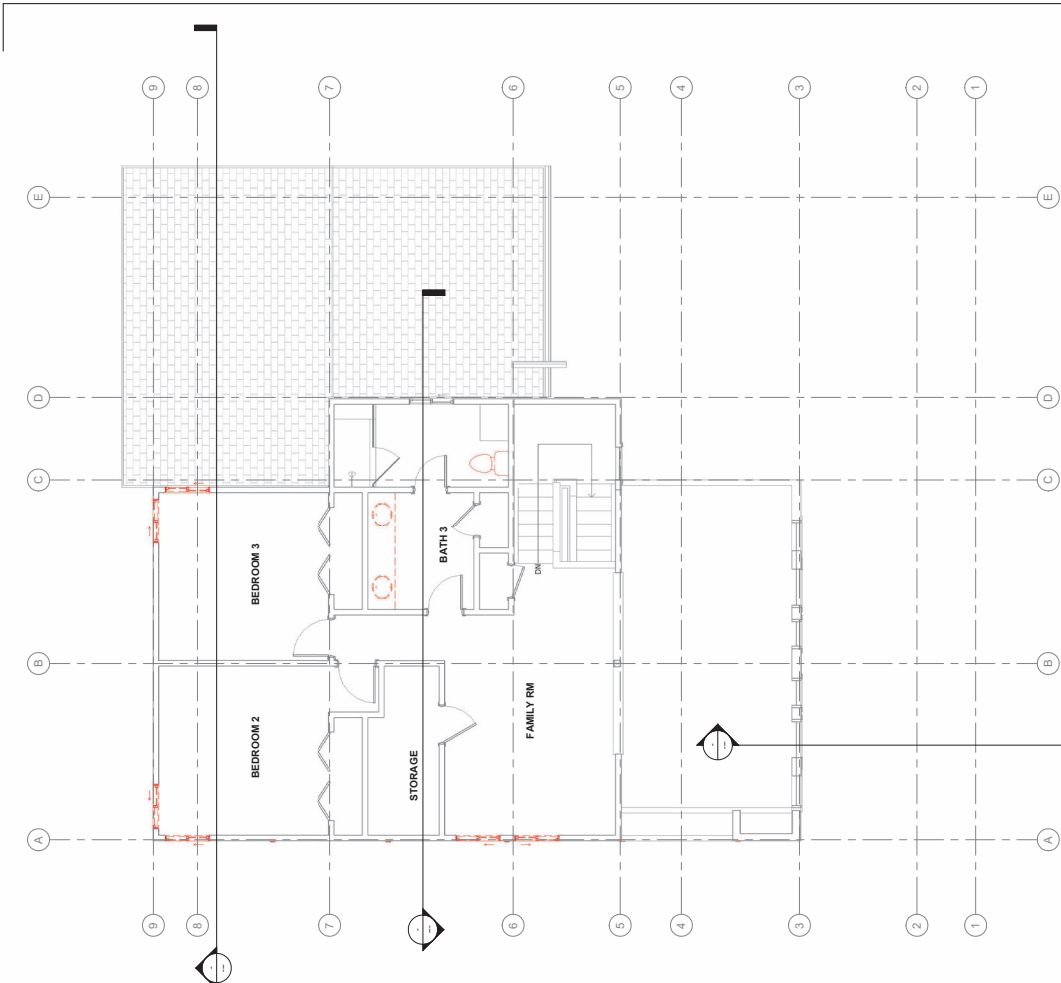
PRELIMINARY
 NOT FOR CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 INCLINE VILLAGE NV 89451
 WASHOE COUNTY
 APN 125-363-02

SCALE: 1/4" = 1'-0"
 JOB NO: BCRO
 PRINT DATE: 2/7/2025
 SHEET: 520/17PM

A-2

SECOND FLOOR
 Demo



WALL LEGEND

- NEW 208 WALLS
- NEW 204 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION) FINISHED CONSTRUCTION AND TO CENTERLINE OF DOORS AND WINDOWS.

SECOND FLOOR Existing
 1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREON REPRESENT THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE REPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

NO.	DATE	BY

EF&A
 ARCHITECTURE
 ENGINEERING
 INTERIORS
 TRPA

ELISE FETT & ASSOCIATES, LTD.
 AN AEC-CVT
 PHONE: (775) 853-2388
 FAX: (775) 853-2388
 P.O. BOX 6989
 LAS VEGAS, NV 89146-6989

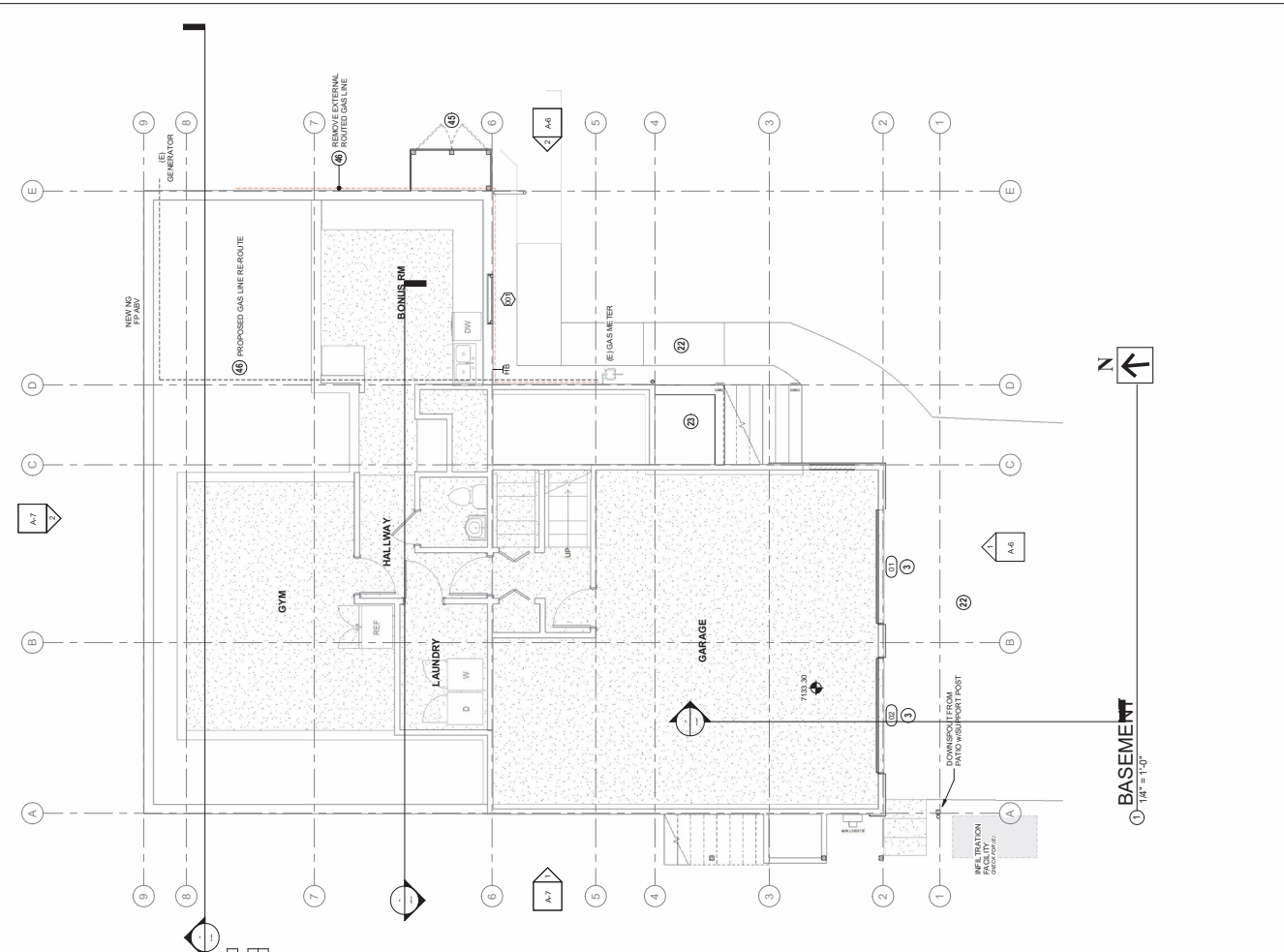
PRELIMINARY
 NOT FOR CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 INCLINE VILLAGE NV 89451
 WASHOE COUNTY
 APN 125-363-02

SCALE: 1/8" = 1'-0"
 JOB NO: BCRO
 PRINT DATE: 2/7/2025
 SHEET: 5/26/21PM

A-3

GARAGE Proposed



REPLACEMENT WINDOW SCHEDULE

Mark	Family	Width	Height	Head HT	Comments	Level
01	WINDOW - SINGLE	62"	18"	0'-0"		BASEMENT
Gym Wall 1						

DOOR SCHEDULE

Mark	Family	Width	Height	Comments	Level
01	OVERHEAD EMBOSSED PANEL	8'-0"	7'-0"		BASEMENT
02	OVERHEAD EMBOSSED PANEL	8'-0"	7'-0"		BASEMENT

WINDOW & DOOR NOTES

- FOR ADDITIONAL WINDOW AND DOOR INFORMATION PLEASE SEE THE ELEVATIONS
- SEE ENERGY REQUIREMENTS SHEET FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING
- SEE ENERGY REQUIREMENTS SHEET FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING
- ALL WINDOWS WITH EMBOSSED SINGLE PANE AREA OF 85 SQ. FT. OR MORE SHALL BE SAFETY GLAZED
- ALL WINDOWS WITH EMBOSSED SINGLE PANE AREA OF 85 SQ. FT. OR MORE SHALL BE SAFETY GLAZED

GENERAL NOTES

NO.	DESCRIPTION
3	NEW GARAGE DOOR
22	AC PAVING
23	NEW HEATED QUARTZITE STONE ENTRY STAIRS AND STOOP
45	UNDER STAIR ACCESS DOORS
46	REROUTE GENERATOR GAS LINE THROUGH BASEMENT CEILING AND CRAWL SPACE TO NEW FIRE PLACE AND GENERATOR

#	DATE	BY	REVISIONS



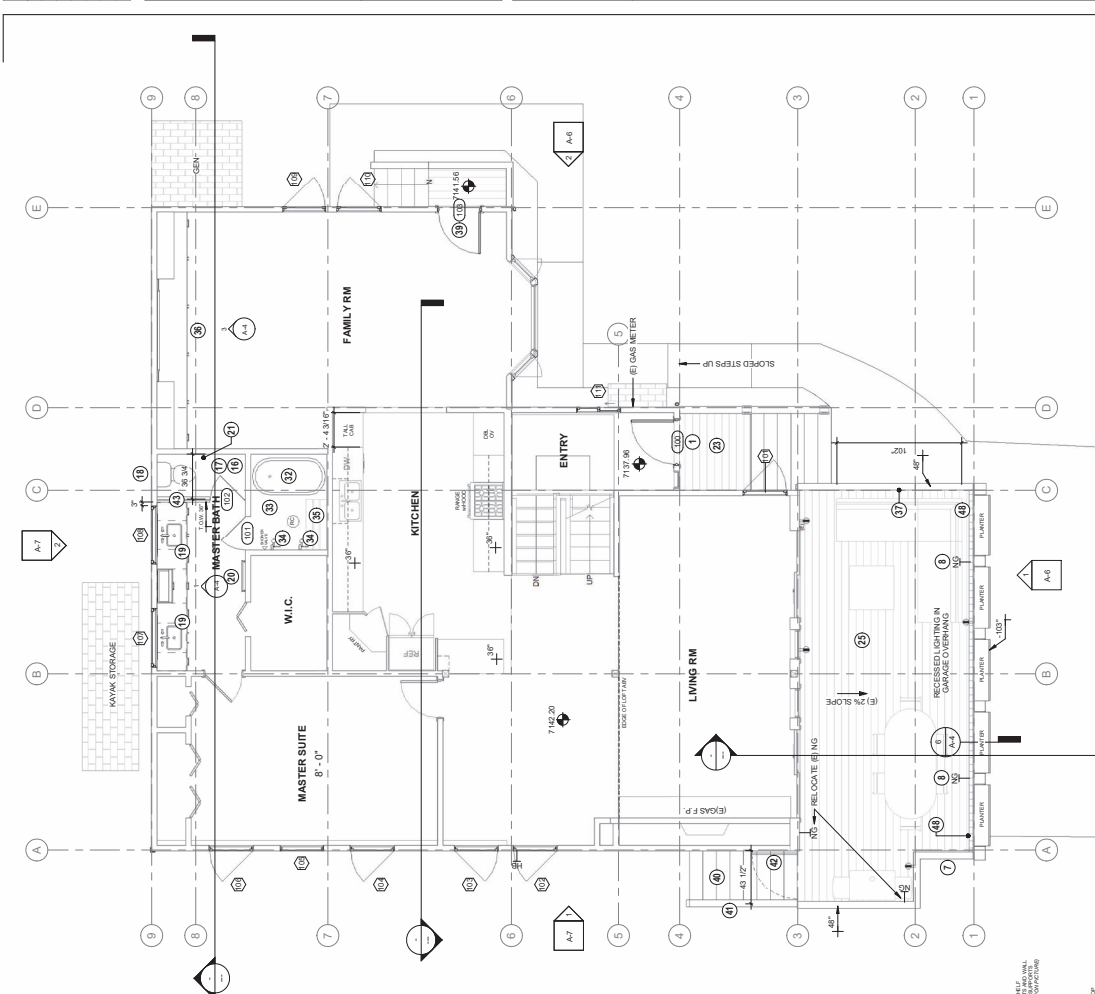
ELISE FETT & ASSOCIATES, LTD.
 AN AEC-CVT
 PHONE: (770) 833-2388
 FAX: (770) 833-2388
 P.O. BOX 9899
 ALPHARETTA, GA 30204
 NEWADA 84502



BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 INCLINE VILLAGE NV 89451
 WASHOE COUNTY
 APN 125-363-02

SCALE: As Shown
 JOB NO: BCRO
 PRINT DATE: 3/7/2024
 SHEET: 52 of 84
A-4

FIRST FLOOR
 Proposed



WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION) FINISHED SURFACE (EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

FIRST FLOOR
 1/4" = 1'-0"

REPLACEMENT WINDOW SCHEDULE

Unit	Family	Width	Height	Head HT	Comments	Level
101	CASEMENT - SINGLE RIGHT	36"	66"	6'-10"		FIRST FLOOR
102	CASEMENT - SINGLE RIGHT	36"	60"	6'-10"		FIRST FLOOR
103	CASEMENT - SINGLE RIGHT	36"	60"	6'-10"		FIRST FLOOR
104	CASEMENT - SINGLE RIGHT	36"	60"	6'-10"		FIRST FLOOR
105	PIEDMONT - SINGLE RIGHT	36"	36"	6'-10"		FIRST FLOOR
106	CASEMENT - SINGLE RIGHT	36"	36"	6'-10"		FIRST FLOOR
107	CASEMENT - SINGLE RIGHT	36"	36"	6'-10"		FIRST FLOOR
108	AWNING - SINGLE	48"	15"	7'-5"		FIRST FLOOR
109	CASEMENT - SINGLE RIGHT	36"	42"	6'-10"		FIRST FLOOR
110	CASEMENT - SINGLE LEFT	36"	42"	6'-10"		FIRST FLOOR
111	SLIDING - DOUBLE	36"	42"	6'-10"		ENTRY

DOOR SCHEDULE

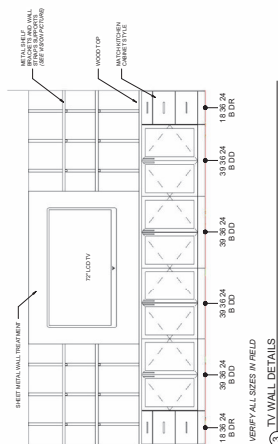
Unit	Family	Width	Height	Comments	Level
100	SINGLE FULL GLASS WOOD	7'-0"	6'-0"	SAFETY GLASS	FIRST FLOOR
101	SINGLE	2'-4"	6'-8"	PRIVACY GLASS	FIRST FLOOR
102	SINGLE	7'-4"	6'-8"	PRIVACY GLASS - WATCH UPPER	FIRST FLOOR
103	SINGLE FULL GLASS WOOD	2'-10"	6'-8"	WALL	FIRST FLOOR

WINDOW & DOOR NOTES

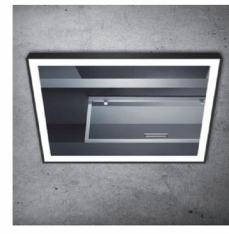
- *FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- *SEE ENERGY REQUIREMENTS SHEET A-4 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.

GENERAL NOTES

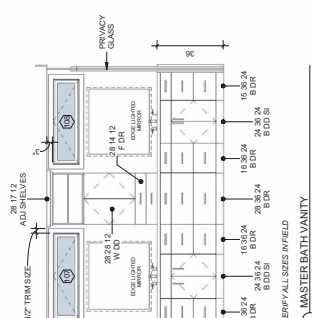
NO.	DESCRIPTION
1	NEW FRONT DOOR
7	EXTEND DECK LANDING FOR BRQ
8	INFRARED HEATER
16	RAISED FLOOR
17	RAISED CEILING
18	NEW PHOTO BIDET TOILET
20	HEATED TOWEL BAR
21	BASEBOARD HEAT RELOCATED FROM TUB AREA
23	NEW HEATED QUARTZITE STONE ENTRY STAIRS AND STOOP
25	WLI APPROVED TIMBERTECH ADVANCED PVC DECKING OVER SLEEFER/PTPO SYSTEM
32	JAPANESE SOAKING TUB
33	STEAM SHOWER
34	HANDHELD ON SLIDE BAR
35	TEAK BENCH
36	MENDOTA F42 NG FP. SHELVES AND CABINETS
37	COMPOSITE LUMBER RAILING CAP@48"
39	NEW DOOR
40	METAL GRATE TREADS
41	BLACK POWDER COAT RAILING
42	SWING GATE TO MATCH STAIR RAILING
43	36" PONY WALL W/ FROSTED GLASS TO CEILING
48	HEATED GUTTER UNDER GRATE



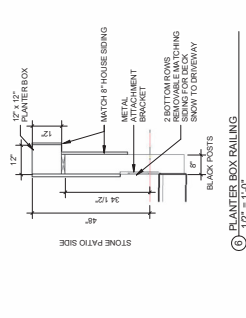
TV WALL DETAILS
 3/8" = 1'-0"



1 PERIMETER LIGHTED MIRROR



1 MASTER BATH VANITY
 3/8" = 1'-0"



6 PLANTER BOX RAILING
 1/2" = 1'-0"



4 VISION PICTURE - TABLE
 1/2" = 1'-0"

REVISIONS		
#	DATE	BY



• ARCHITECTURE
• ENGINEERING
• INTERIORS
• TRPA

**ELISE FETT
& ASSOCIATES, LTD.**

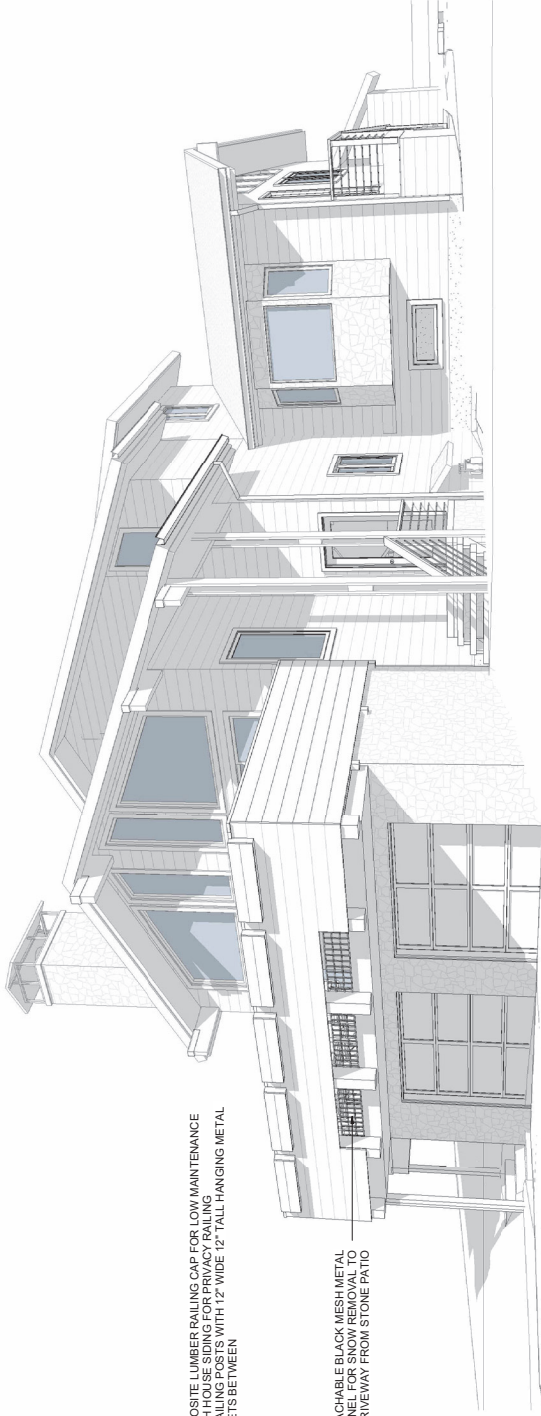
AA - PCL - CMTT
PHONE: (775) 853-3388
FAX: (775) 853-2888
elise@elisefett.com
P.O. BOX 09899
SPRINGFIELD
NEVADA 89402

BEFORE
CONSTRUCTION
NOT FOR

BRYAN & CAREY ROBB REMODEL
683 BRIDGER CT
INCLINE VILLAGE NV 89451
WASHOE COUNTY
APN 125-363-02

SCALE
JOB NO. **BCRO**
2776052
PRINT DATE 5/26/24
SHEET **A-4.1**

**FIRST FLOOR
Proposed 3D DECK
RAILING**



- COMPOSITE LUMBER RAILING CAP FOR LOW MAINTENANCE
- MATCH HOUSE SIDING FOR PRIVACY RAILING
- 8X8 RAILING POSTS WITH 12" WIDE 12" TALL HANGING METAL BASKETS BETWEEN

DETACHABLE BLACK MESH METAL PANEL FOR SNOW REMOVAL TO DRIVEWAY FROM STONE PATIO

① DECK RAILING - OPTION 1

REVISIONS		
#	DATE	BY



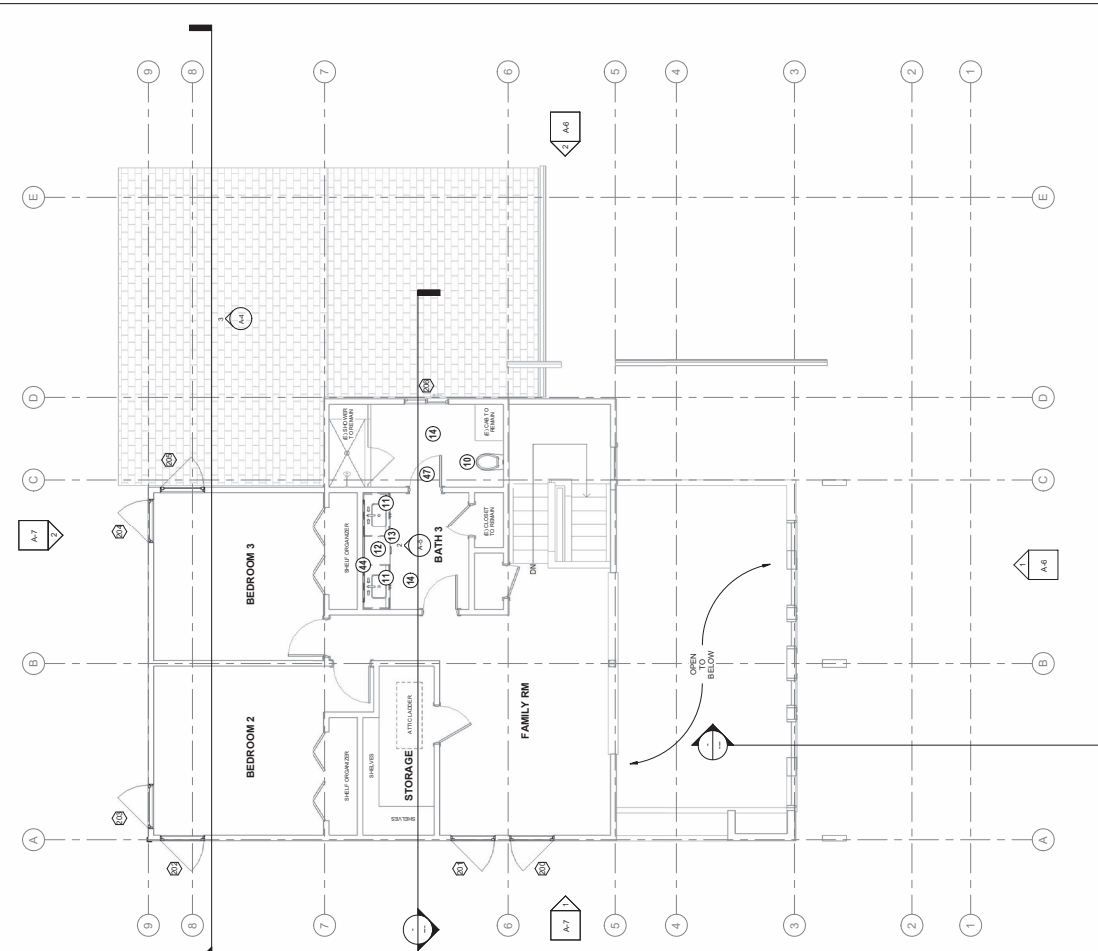
ELISE FETT & ASSOCIATES, LTD.
 AN AEC-CVT
 PHONE: (775) 853-2388
 FAX: (775) 853-2388
 info@elisefett.com
 P.O. BOX 49899
 LAS VEGAS, NEVADA 89149

PRELIMINARY
 NOT FOR
 CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 INCLINE VILLAGE NV 89451
 WASHOE COUNTY
 APN 125-363-02

SCALE: As Shown
 JOB NO: BCRO
 PRINT DATE: 2/7/2025
 SHEET: 50531PM

A-5
 SECOND FLOOR
 Proposed



WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (PER CONSTRUCTION) FINISHED FLOORING TO CENTERLINE OF DOORS AND WINDOWS.

REPLACEMENT WINDOW SCHEDULE

Blank Entry	Width	Height	Head HT	Comments	Level
200	CASEMENT - SINGLE RIGHT	36"	48"	8'-10"	SECOND FLOOR
201	CASEMENT - SINGLE RIGHT	36"	48"	8'-10"	SECOND FLOOR
202	CASEMENT - SINGLE RIGHT	36"	48"	8'-10"	SECOND FLOOR
203	CASEMENT - SINGLE RIGHT	36"	48"	8'-10"	SECOND FLOOR
204	CASEMENT - SINGLE RIGHT	36"	48"	8'-10"	SECOND FLOOR
205	CASEMENT - SINGLE RIGHT	36"	48"	8'-10"	SECOND FLOOR

GLAZING: 6
 7'-0"

DOOR SCHEDULE

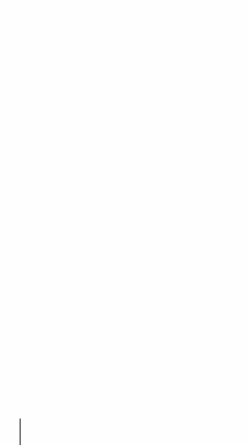
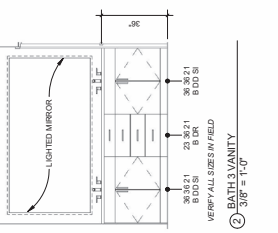
Blank Entry	Width	Height	Comments	Level

WINDOW & DOOR NOTES

- FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
- ANY WINDOW AND DOOR GRIDS ARE PER THE ELEVATIONS.
- VERIFY ALL WINDOW AND DOOR SIZES WITH STRUCTURAL PLANS AND VERIFY ALL OPENINGS IN THE FELD PRIOR TO ORDERING.
- ALL WINDOWS WITH AN EXPOSED SINGLE PANE AREA OF 8 SF OR MORE SHALL BE SAFETY GLAZED.

GENERAL NOTES

NO.	DESCRIPTION
10	TANK-IN-WALL TOILET
11	NEW SINK
12	NEW COUNTERTOP
13	NEW CABINETS
14	NEW TILE FLOOR
44	LIGHTED MIRROR
47	FULL LIGHT DOOR WITH HANDLE LATCH



NO.	REVISIONS	DATE	BY
1		07/11/24	TR



ELISE FETT & ASSOCIATES, LTD.
 AN INCORPORATED
 PHONE: (770) 853-3388
 FAX: (770) 853-2888
 P.O. BOX 9899
 10000 WOODBRIDGE DRIVE
 WASHINGTON, NEVADA 89426

PRELIMINARY
 NOT FOR CONSTRUCTION

BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 WASHOE COUNTY
 APN 125-363-02

SCALE: As Shown
 JOB NO: BCRO
 PRINT DATE: 5/25/24 PM
 SHEET: A-6

ELEVATIONS

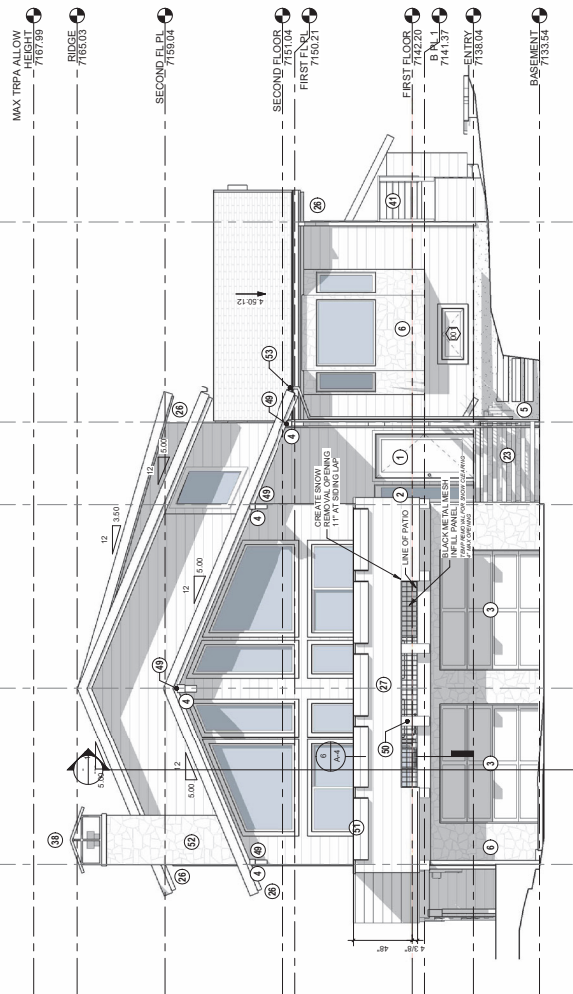
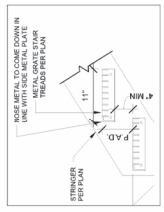
ALL DIMENSIONS AND WRITTEN MATERIAL APPEARANCES NEED BE KEPT AS SHOWN UNLESS OTHERWISE NOTED. ORIGINAL AND UNREPRODUCED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

GENERAL NOTES

- | NO. | DESCRIPTION |
|-----|------------------------------------------------------------|
| 1 | NEW FRONT DOOR |
| 2 | NEW DOOR SIDE WINDOW |
| 3 | NEW GARAGE DOOR |
| 4 | INSPECT AND REPAIR OUTLOCKERS AS NEEDED |
| 5 | INSPECT AND REPAIR BEAM SUPPORT COLUMNS AS NEEDED |
| 6 | ADD ROCK VENEER |
| 23 | NEW HEATED STONE ENTRY STAIRS AND STOOP |
| 26 | OPTION - ADD METAL SOFFITS OVER EXPOSED RAFTER TAILS (TYP) |
| 27 | NEW DECK RAILING |
| 39 | DECORATIVE STEEL CHIMNEY CAP |
| 40 | METAL GRATE TREADS |
| 41 | BLACK POWDER COAT RAILING |
| 49 | BLACK METAL BEAM CAP |
| 50 | BLACK METAL POSTS |
| 51 | METAL PLANTERS WITH SIDING FINISH |
| 52 | HOUSE MATCHING STONE VENEER |
| 53 | NEW HEATED GUTTER AND DOWNSPOUT |

EXTERIOR FINISH NOTES

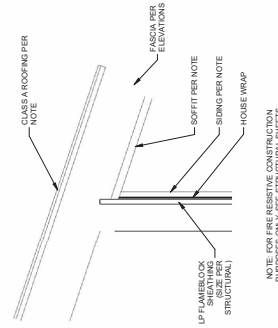
- STEP 1 - REMOVE AND INSPECT**
- REMOVE EXTERIOR VAPOR BARRIER
 - REMOVE EXTERIOR VAPOR BARRIER
 - INSPECT (SEE ELECTRICAL)
- STEP 2 - RESTORE**
- PLUG AND PATCH ALL NAIL HOLES
 - SEAL ANY AREAS WHERE EXTERIOR MEETS INTERIOR
 - CONSULT WITH SERVICE PROVIDER FOR ELECTRICAL AND INSULATE WALL
 - APPLY NEW SIDING AS PER MODERN MILL. COLOR TO BE DETERMINED



1 EAST ELEVATION Proposed
 1/4" = 1'-0"

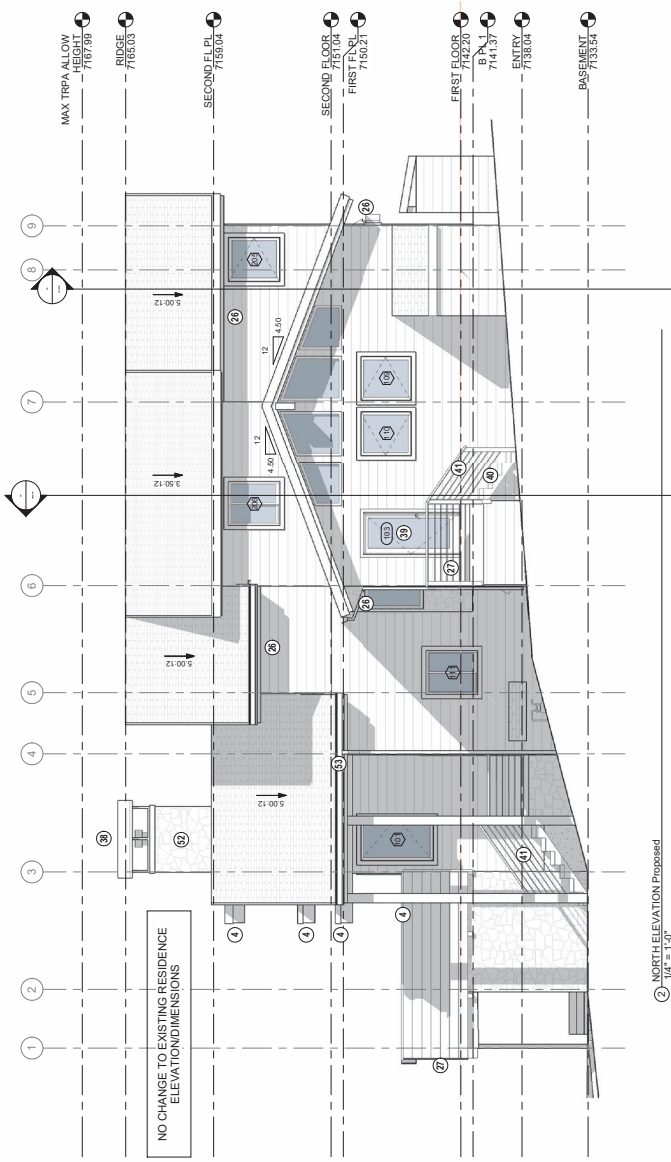
METAL SOFFIT OPTION

REPLACE EXISTING SIDING WITH APPROVED BUILD-UP
 • 2X6 T&G
 • 1/2\"/>



NOTE FOR PRESISTIVE CONSTRUCTION FOR SPECIFIC FRAMING REQUIREMENTS.

SOFFIT NOTE
 1" = 1'-0"



2 NORTH ELEVATION Proposed
 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			



ELISE FETT & ASSOCIATES, LTD.
 AN AEC-CVT
 PHONE: (773) 853-3388
 FAX: (773) 853-2888
 info@elisefett.com
 P.O. BOX 9899
 CHICAGO, IL 60680
 NEVADA BR/20

BRYAN & CAREY ROBB REMODEL
 683 BRIDGER CT
 INCLINE VILLAGE NV 89451
 WASHOE COUNTY
 APN 125-353-02

PRELIMINARY
 NOT FOR CONSTRUCTION

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ELEVATIONS

SCALE: As Shown
 JOB NO: BCRO
 PRINT DATE: 2/7/2024
 SHEET: 500012M
A-7

GENERAL NOTES

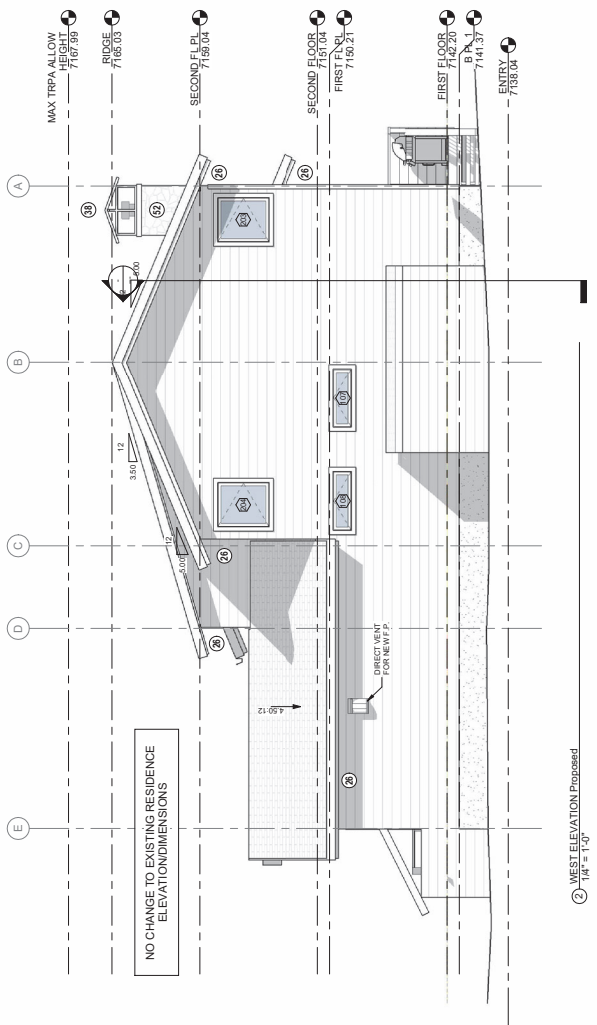
NO.	DESCRIPTION
7	EXTEND DECKLANDING FOR BBQ
26	OPTION - ADD METAL SOFFITS OVER EXPOSED RAFTER TAILS (TYP)
27	NEW DECK RAILING
38	DECORATIVE STEEL CHIMNEY CAP
40	METAL GRATE TREADS
41	BLACK POWDER COAT RAILING
52	HOUSE MATCHING STONE VENEER

EXTERIOR FINISH NOTES

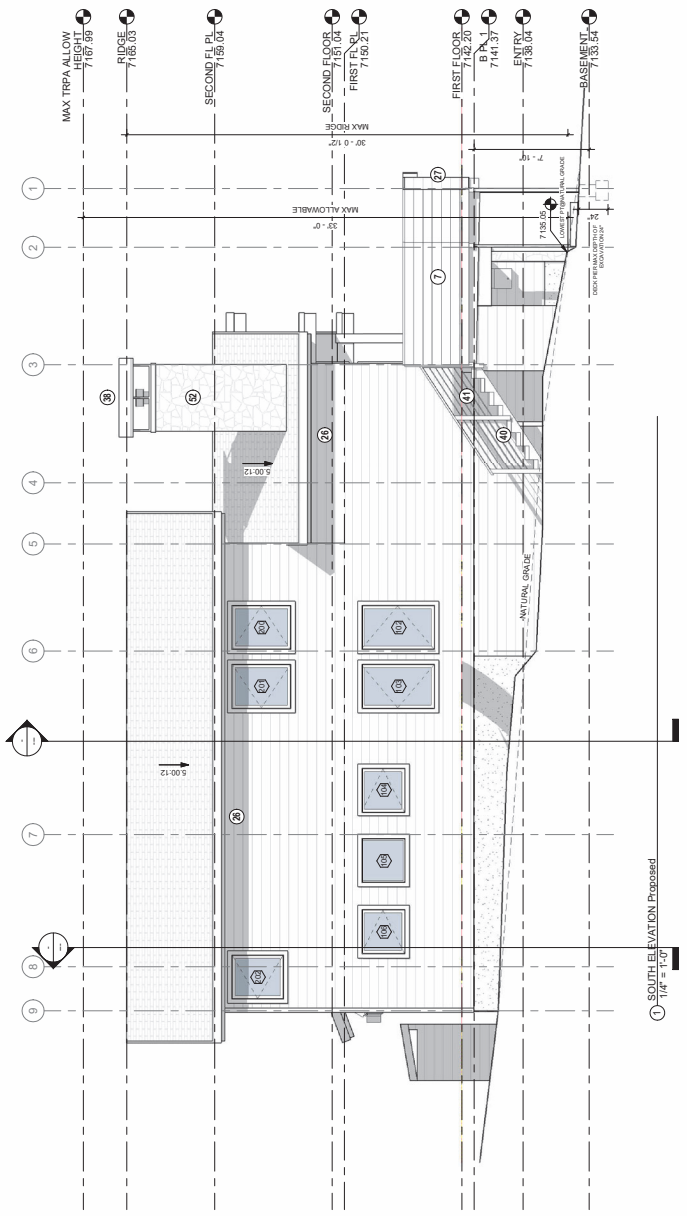
- STEP 1 - REMOVE AND INSPECT**
- REMOVE EXISTING EXTERIOR FINISHES: PLYWOOD SIDING (TYP)
 - REMOVE EXISTING EXTERIOR WINDOW BARBERS
 - INSPECT FOR ELECTRICAL
- STEP 2 - RESTORE**
- PLYWOOD SIDING: 1/2" THICK
 - PLUG AND FILL ALL PLATE PENETRATIONS
 - SEAL ANY AREAS WHERE EXISTING FINISHES MEET ROOF AND INSULATE WALL
 - CONSULT WITH SERVICE PROVIDER FOR WINDOW AND DOOR SCHEDULE
 - APPLY NEW SIDING: AGRE BY MODERN MILL. COLOR TO BE DETERMINED

ALLOWABLE BUILDING HEIGHT CALCULATIONS

- HOUSE SITE SLOPE: 12%
- MAX ALLOWABLE HOUSE HEIGHT: 5.12'
- MAX ALLOWABLE PROPOSED HEIGHT: 35.07'
- MAX PROPOSED HEIGHT: 30.12'
- REFER TO ROOF PLAN FOR ROOF AREA CALCULATIONS



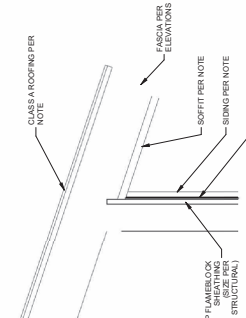
② WEST ELEVATION Proposed
 1/4" = 1'-0"



① SOUTH ELEVATION Proposed
 1/4" = 1'-0"

METAL SOFFIT OPTION

REPLACE EXISTING FINISHES WITH W.U. APPROVED BUILD-UP
 • 2"X8 T&G



NOTE FOR PRE-RESISTIVE CONSTRUCTION FOR SPECIFIC FRAMING REQUIREMENTS

○ SOFFIT NOTE
 1" = 1'-0"