

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Holden - Garage Addition			
Project Description: This project will create a 2-car garage addition at the entry level, including a 10' tall garage door and bay. An approx. 8'x8' entry addition will be included where existing entry porch is located, to allow direct access to the garage. Existing garage to become a media/workout room.			
Project Address: 597 Knotty Pine, Incline Village Nevada			
Project Area (acres or square feet): 0.331 acre			
Project Location (with point of reference to major cross streets AND area locator): Knotty Pine at 2nd Creek Drive, Incline Village NV			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
122-142-11	0.331		
Section(s)/Township/Range: Township 16; Range 18			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s). WBLD 03-3526 - 08-11-2003; WBLD 12-1734 - 08-22-2012			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant: Dale E. Smith, AIA	
Name: Richard Holden, Trustee; Scout Legacy Trust		Name: Smith Design Group	
Address: 597 Knotty Pine Dr.		Address: 120 Country Club Drive, No.17	
Incline Village, NV	Zip: 89451	Incline Village, NV	Zip: 89451
Phone:	Fax:	Phone: 775.831.7158	Fax:
Email: r6000h@icloud.com		Email: studio@smithdesigngroup.com	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: R. Kelly Poor	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application Supplemental Information

1. *Describe the type of development that is proposed (e.g. accessory dwelling unit, accessory structure, etc.)*
 - A. THE PROPOSAL IS FOR A TWO-CAR GARAGE AND ENTRY ADDITION. THE EXISTING ONE-CAR GARAGE IS BELOW STREET LEVEL, AND THE DOWN-SLOPING, NORTH-EAST FACING DRIVEWAY IS CHALLENGING IN THE WINTER. THE NEW GARAGE IS PROPOSED AT STREET ELEVATION.

2. *If this proposed administrative review permit application is for an accessory dwelling or structure, what is the square footage of the proposed building? If the building is a manufactured or modular home, also list the age and size of the unit.*
 - A. THE PROPOSED SITE-BUILT ADDITION TO THE EXISTING RESIDENCE IS 752 SF.

3. *How are you planning to integrate the proposed building to provide architectural compatibility with the subject property and neighborhood?*
 - A. THE PROPOSED ADDITION WILL MATCH EXISTING MATERIALS AND COLORS. THE COMPLETED PROJECT WILL NOT LOOK LIKE IT HAD AN ADDITION. IT WILL LOOK LIKE IT WAS ORIGINALLY CONSTRUCTED THAT WAY.

4. *How many off-street parking spaces are available? Parking spaces must be shown on site plan. Will any new roadway, driveway, or access improvements be required?*
 - A. FOUR OFF-STREET PARKING SPACES WILL BE AVAILABLE ON THE NEW DRIVEWAY, WHICH WILL BE RAISED TO STREET ELEVATION.

5. *What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?*
 - A. ALL NEW LIGHTING WILL BE DARK SKY COMPLIANT.
 - B. THE ADDITION WILL BE CONSTRUCTED PRIMARILY WHERE THE EXISTING DRIVEWAY IS LOCATED, MINIMIZING REMOVAL OF EXISTING LANDSCAPING.
 - C. THERE ARE NO NEIGHBORS ACROSS THE STREET TO THE NORTH THAT WOULD BE LOOKING DIRECTLY AT THE ADDITION. THOSE LOTS ARE THROUGH-LOTS, WITH THE IMPROVEMENTS ON THE STREET ABOVE.

6. *If your project falls under WCC 110.220.60 Sitting on Corner and Sloped Lots, address how the project meets the requirements of WCC 110.220.60(a)(1-6).*

1. APPLICANT IS PREPARED TO PROVIDE THE COUNTY WITH A HOLD HARMLESS AGREEMENT
2. THE PIE-SHAPED PARCEL DOES NOT CREATE TYPICAL CORNER LOT TRAFFIC VISIBILITY ISSUES. THE GARAGE ADDITION WILL NOT CREATE VEHICLE VISIBILITY ISSUES. THERE IS A STOP SIGN ON 2ND CREEK DRIVE APPROACHING THE INTERSECTION WITH KNOTTY PINE DRIVE FROM THE SOUTH.
3. GARAGE ADDITION WILL NOT IMPEDE FUTURE STREET PROJECTS.
4. THE ADDITION IS 16.5' FROM THE TRAVELED WAY.
5. THE PORTION OF THE STRUCTURE ENCROACHING INTO THE FRONT SETBACK IS 142 SF (8.4%). THE REMAINDER OF THE STRUCTURE IS 1,697 SF (91.6%).
6. THE GARAGE ADDITION IS NOT ON OR NEAR STATE ROUTES.

7. *Is the proposed building intended to be used for a business or as a short term rental (STR)? If so, have you obtained a business license or STR permit?*

A. NOT APPLICABLE.

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

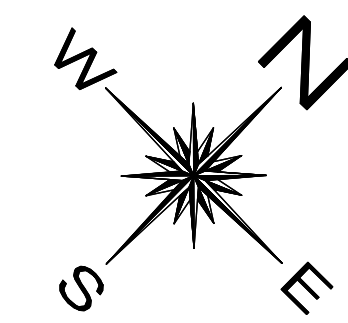
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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12. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		



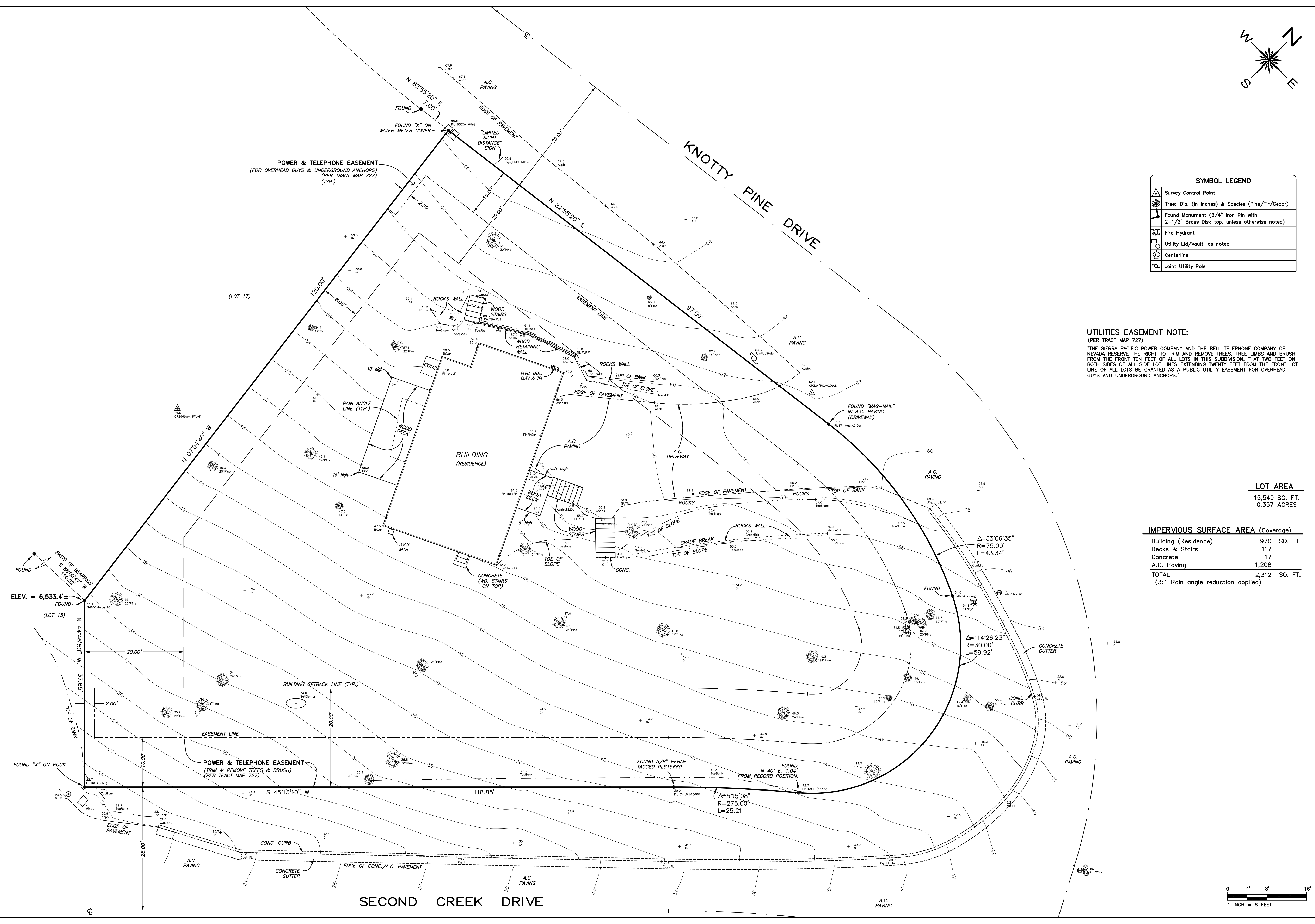
SYMBOL LEGEND	
	Survey Control Point
	Tree: Dia. (in inches) & Species (Pine/Fir/Cedar)
	Found Monument (3/4" Iron Pin with 2-1/2" Brass Disk top, unless otherwise noted)
	Fire Hydrant
	Utility Lid/Vault, as noted
	Centerline
	Joint Utility Pole

UTILITIES EASEMENT NOTE:
 (PER TRACT MAP 727)

"THE SIERRA PACIFIC POWER COMPANY AND THE BELL TELEPHONE COMPANY OF NEVADA RESERVE THE RIGHT TO TRIM AND REMOVE TREES, TREE LIMBS AND BRUSH FROM THE FRONT TEN FEET OF ALL LOTS IN THIS SUBDIVISION, THAT TWO FEET ON BOTH SIDES OF ALL SIDE LOT LINES EXTENDING TWENTY FEET FROM THE FRONT LOT LINE OF ALL LOTS BE GRANTED AS A PUBLIC UTILITY EASEMENT FOR OVERHEAD GUYS AND UNDERGROUND ANCHORS."

LOT AREA	
	15,549 SQ. FT.
	0.357 ACRES

IMPERVIOUS SURFACE AREA (Coverage)	
Building (Residence)	970 SQ. FT.
Decks & Stairs	117
Concrete	17
A.C. PAVING	1,208
TOTAL	2,312 SQ. FT.
(3:1 Rain angle reduction applied)	



DISCLAIMER
 THIS DRAWING WAS PREPARED EXCLUSIVELY FOR RICK HOLDEN AND ACCURATELY REPRESENTS THE INFORMATION PROVIDED TO THE SURVEYOR. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO DISCREPANCIES BETWEEN THE RECORD AND THE ACTUAL CONDITIONS. THE SURVEYOR HAS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING AND ELECTRONIC MEDIA.
 ROGER B. LANCASTER, LAND SURVEYOR

NOTES:
 1) RICHARD W. HOLDEN
 2) BUILDING SETBACKS SHALL BE CONFIRMED BY COUNTY OR APPROPRIATE PLANNING AUTHORITY.
 3) BUILDING SETBACKS MAY NOT BE SHOWN; CONTOURS ARE AVERAGED IN THESE AREAS.
 4) IMPERVIOUS SURFACE AREA SHALL BE CONFIRMED BY REPA SITE ASSESSMENT.
 5) TREES GREATER THAN 6" IN DIA. SHOWN ON MAP, MEASURED AT APPROX. 4' ABOVE GROUND.

ABBREVIATIONS

& AND	IN INCH
L ANGLE	INCL INCLUDED
@ AT	INSUL INSULATION
C CENTERLINE	INT INTERIOR
Ø DIAMETER OR ROUND	JAN JANITOR
PERPENDICULAR	JT JOINT
# POUND OR NUMBER	KIT KITCHEN
A/C AIR CONDITIONING	LAM LAMINATE
AB ANCHOR BOLT	LAV LAVATORY
AC ASPHALTIC CONCRETE	LF LINEAR FOOT OR FEET
ACOUS ACOUSTICAL	LKR LOCKER
AD AREA DRAIN	LT LIGHT
ADJ ADJUSTABLE	MATL MATERIAL
AFF ABOVE FINISH FLOOR	MAX MAXIMUM
AGGR AGGREGATE	MB MACHINE BOLT
AL ALUMINUM	MC MEDICINE CABINET
ALT ALTERNATE	MECH MECHANICAL
APPROX APPROXIMATE	MED MEDIUM
ARCH ARCHITECTURAL	MEMB MEMBRANE
BD BOARD	MT METAL
BITUM BITUMINOUS	MFR MANUFACTURER
BLD'G BUILDING	MH MANHOLE
BLK BLOCK	MIN MINIMUM
BLK'G BLOCKING	MIN MIRROR
BM BEAM	MISC MISCELLANEOUS
BOT BOTTOM	MO MASONRY OPENING
CAB CABINET	MPH MILES PER HOUR
CB CATCH BASIN	MTD MOUNTED
CEM CEMENT	MUL MULLION
CER CERAMIC	N/A NOT APPLICABLE
CF CUBIC FOOT OR FEET	NIC NOT IN CONTRACT
CI CAST IRON	NO, OR # NUMBER
CL'G CEILING	NOM NOMINAL
CLK'G CAULKING	NTS NOT TO SCALE
CLO CLOSET	OA OVERALL
CLR CLEAR	OBS OBSCURE
CMU CONCRETE MASONRY UNIT	OC ON CENTER
CNTR COUNTER	OD OUTSIDE DIAMETER
COL COLUMN	OFF OFFICE
CONC CONCRETE	OH OVERHEAD
CONN CONNECTION	OPNG OPENING
CONSTR CONSTRUCTION	OPP OPPOSITE
CONT CONTINUOUS	PLAM PLASTIC LAMINATE
CORR CORRIDOR CSMT	PCC PORTLAND CEMENT
CASEMENT	CONCRETE
CTR CENTER	PL PLATE
D DRYER	PLY PLASTER
DBL DOUBLE	PLYWD PLYWOOD
DEPT DEPARTMENT	FR FUR
DET DETAIL	PRCST PRE-CAST
DF DOUGLAS FIR	PSF POUND(S)/SQUARE
DF-L DOUGLAS FIR - LARCH	FOOT
DIA DIAMETER	PSI POUND(S)/SQUARE
DIM DIMENSION	INCH
DISP DISPENSER	PT PRESSURE TREATED
DN DOWN	PTN PARTITION
DO DOOR OPENING	PVC POLYVINYL CHLORIDE
DP DEEP	QT QUARRY TILE
DR DOOR	R RISER
DS DOWNSPOUT	RAD RADIUS
DSP DRY STANDPIPE	RD ROOF DRAIN
DW DISHWASHER	REF REFERENCE
DWG DRAWING	REFR REFRIGERATOR
DWR DRAWER (E) EXISTING	REINF REINFORCED
E EAST	REV REVISION
EA EACH	REQ REQUIRED
EJ EXPANSION JOINT	RESIL RESILIENT
EL ELEVATION	RGTR REGISTER
ELEC ELECTRICAL	RM ROOM
ELEV ELEVATOR	RO ROUGH OPENING
EMER EMERGENCY	RWD REDWOOD
ENCL ENCLOSURE	RWL RAIN WATER LEADER
EP ELECTRICAL	S SOUTH
PANELBOARD	SC SOILD CORE
EQ EQUAL	SCHED SCHEDULE
EQPT EQUIPMENT	SECT SECTION
EXH EXHAUST	SF SQUARE FOOT OR FEET
EXP EXPANSION	SH SHELF
EXPO EXPOSED	SHR SHOWER
EXT EXTERIOR	SHT SHEET
FA FIRE ALARM	SIM SIMILAR
FAU FORCED AIR UNIT	SL SLIDING
FB FLAT BAR	SPEC SPECIFICATION
FD FLOOR DRAIN	SQ SQUARE
FDN FOUNDATION	SS SANITARY SEWER
FE FIRE EXTINGUISHER	SST STAINLESS STEEL
FIN FINISH	SSK SERVICE SINK
FL FLOOR	STA STATION
FLASH FLASHING	STD STANDARD
FLUOR FLUORESCENT	STL STEEL
FMC FLOOR MATERIAL	STOR STORAGE
CHANGE	STRL STRUCTURAL
FOC FACE OF CONCRETE	SUSP SUSPEND
FOF FACE OF FINISH	SYM SYMMETRICAL
FOS FACE OF STUD	T TREAD
FPHB FROST-PROOF HOSE BIBB	T&G TONGUE AND GROOVE
FRPF FIREPROOF	TEL TELEPHONE
FRMG FRAMING	TER TERRAZZO
FS FULL SIZE	THK THICK
FT FOOT OR FEET	TOB TOP OF BEAM
FTG FOOTING	TOC TOP OF CURB
FURR FURRING	TOP TOP OF PAVEMENT
G GAS	TOW TOP OF WALL
GA GAUGE	TV TELEVISION
GALV GALVANIZED	TYP TYPICAL
GB GRAB BAR	UIO UNLESS INDICATED
GD GARBAGE DISPOSAL	OTHERWISE
GL GLASS	UNF UNFINISHED
GLB GLUE LAMINATED BEAM	UR URINAL
GND GROUND	VERT VERTICAL
GR GRADE	VEST VESTIBULE
GWB GYPSUM WALLBOARD	W WEST, WATER OR
HB HOSE BIBB	WASHER
HC HOLLOW CORE	W/ WITH
HDWD HARDWOOD	W/O WITHOUT
HDWR HARDWARE	WC WATER CLOSET
HGT HEIGHT	WD WOOD
HM HOLLOW METAL	WH WATER HEATER
HORZ HORIZONTAL	WIC WALK-IN CLOSET
HR HOUR	WIP WATERPROOF
HVAC HEATING, VENTILATING	WR WATER RESISTANT
AND AIR CONDITIONING	WSCT WAINSCOT
HW HOT WATER	WT WEIGHT
ID INSIDE DIAMETER	

PROJECT CONTACTS

OWNER
 RICK HOLDEN
 597 KNOTTY PINE DRIVE
 INCLINE VILLAGE, NEVADA 89451
 TEL 775.298.1144
 CONTACT RICK HOLDEN

ARCHITECT/PRINCIPAL DESIGN PROFESSIONAL
 SMITH DESIGN GROUP
 120 COUNTRY CLUB DRIVE, No. 17
 INCLINE VILLAGE, NEVADA 89451
 TEL 775.831.7158
 CONTACT DALE E. SMITH, AIA

CIVIL/STRUCTURAL ENGINEER
 BUSINESS NAME
 MAILING ADDRESS
 CITY, STATE ZIP
 TEL XXX.XXX.XXXX
 CONTACT XXX

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A GARAGE/ENTRY ADDITION. THE EXISTING GARAGE WILL BE CONVERTED TO A LIVING SPACE. THIS PROJECT WILL BE SUBMITTED TO TRPA CONCURRENTLY.

DISTRIBUTION JOURNAL

00/00/00	ISSUED FOR	DESCRIPTION
12/09/24	WCPCD	ADMINISTRATIVE PERMIT
xx/xx/xx	OWNER	REVIEW
xx/xx/xx	TRPA	REVIEW
xx/xx/xx	WCBD	PLAN CHECK

BUILDING AREA CALCULATIONS*

NEW CONSTRUCTION BUILDING AREA

LIVING AREA	
LOWER LEVEL	0 SF
UPPER LEVEL	82 SF
TOTAL LIVING AREA	82 SF
GARAGE	678 SF
STORAGE	0 SF
COVERED DECK/STAIRS	125 SF
UNCOVERED DECK/STAIRS	25 SF

REMODELED BUILDING AREA

LIVING AREA	
LOWER LEVEL	283 SF
UPPER LEVEL	0 SF
TOTAL LIVING AREA	283 SF
GARAGE	0 SF
STORAGE	0 SF
COVERED DECK/STAIRS	0 SF
UNCOVERED DECK/STAIRS	0 SF

*BUILDING AREA CALCULATED AS PER IBC CHAPTER 5

GRAPHIC SYMBOLS

000000.X	PROJECT KEYNOTE KEYNOTE MARK PER SPECIFICATIONS SECTION
	REFERENCE NOTE SYMBOL REFERENCE NOTE
	DOOR SYMBOL DOOR MARK (SEE DOOR SCHEDULE)
	WINDOW SYMBOL WINDOW MARK (SEE WINDOW SCHEDULE)
	WALL TYPE WALL MARK (SEE WALL TYPES)
	COLUMN LINE OR GRID LINE MARK
	MATCH LINE
	WORK POINT, CONTROL POINT OR DATUM POINT
	DETAIL SYMBOL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS LOCATED
	REVISION SYMBOL REVISION MARK REVISION CLOUD
	BUILDING/ WALL SECTION SYMBOL SECTION IDENTIFICATION SHEET WHERE SECTION IS LOCATED
	INTERIOR ELEVATION SYMBOL ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS LOCATED
	NORTH ARROW REFERENCE NORTH
	TRUE NORTH

SHEET INDEX

1 OF 10	COVER SHEET - ABBREVIATIONS, PROJECT CONTACTS, PROJECT DESCRIPTION, DISTRIBUTION JOURNAL, BUILDING AREA CALCULATIONS, GRAPHIC SYMBOLS, SHEET INDEX, DESIGN CRITERIA, VICINITY MAP AND GENERAL REQUIREMENTS
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3 OF 10	SITE PLAN
4 OF 10	CROSS SECTION AT EXISTING STREET
5 OF 10	LOWER/UPPER LEVEL - EXISTING/DEMOLITION PLAN
6 OF 10	(E) EXTERIOR ELEVATIONS
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8 OF 10	UPPER LEVEL - DIMENSION/INFORMATION PLAN
9 OF 10	EXTERIOR ELEVATIONS
10 OF 10	EXTERIOR ELEVATIONS

DESIGN CRITERIA

OCCUPANCY GROUPS	R-3/U
TYPE OF CONSTRUCTION	V-B
LOCATION ON PROPERTY	
NORTH	11'
SOUTH	45'
EAST	71'
WEST	27'
SEISMIC DESIGN CATEGORY	D
BUILDING AREA	
R-3 OCCUPANCY GROUP	
LOWER LEVEL	869 SF
UPPER LEVEL	939 SF
TOTAL	1,808 SF
U OCCUPANCY	
PRIVATE GARAGE	631 SF
FIRE SPRINKLERS	NO
FIRE ALARM SYSTEM	NO
NUMBER OF STORIES AND HEIGHT	2 STORIES AND X'-X"
OCCUPANT LOAD	12
LAND USE ZONE	TA_IV4
WIND LOAD	XX MPH W/EXPOSURE C XXX
SNOW LOAD, GROUND	PSF
SPECIAL INSPECTION PROGRAM	SEE STRUCTURAL

BUILDING CODES - WASHOE COUNTY
 CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AS ADOPTED BY WASHOE COUNTY TOGETHER WITH THE SUPPLEMENTS, LISTED CHANGES, ADDITIONS AND DELETIONS AS NOTED IN WASHOE COUNTY BUILDING CODE, CHAPTER 100:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL EXISTING BUILDING CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
 2018 INTERNATIONAL FIRE PROTECTION ASSOCIATION 54 AND 58
 2017 NATIONAL ELECTRICAL CODE
 2018 NORTHERN NEVADA AMENDMENTS BY THE NORTHERN NEVADA CHAPTER OF THE INTERNATIONAL CODE COUNCIL AND CODE OF ORDINANCES, TAHOE REGIONAL PLANNING AGENCY
 WASHOE COUNTY DEVELOPMENT CODE
 2018 INTERNATIONAL FIRE CODE AND 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE, ADOPTED BY RESOLUTION, NORTH LAKE TAHOE FIRE PROTECTION DISTRICT

DEFERRED SUBMITTALS
 SUBMISSION AND REVIEW BY WASHOE COUNTY BUILDING DEPARTMENT HAS BEEN DEFERRED ON THE FOLLOWING REQUIRED PORTIONS OF THE WORK
 1. SHOP FABRICATED WOOD TRUSSES
 THE CONTRACTOR WILL NOT INITIATE THESE PORTIONS OF THE WORK UNTIL THE AUTHORITY HAVING JURISDICTION HAS APPROVED THE DESIGN AND SUBMITTAL DOCUMENTS FOR THE WORK.

GENERAL REQUIREMENTS

A. BY MAKING A BID, BIDDER REPRESENTS THAT BIDDER HAS READ AND UNDERSTANDS THE BIDDING DOCUMENTS; HAS VISITED THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND HAS CORRELATED PERSONAL OBSERVATIONS WITH THE REQUIREMENTS OF THE PROPOSED CONTRACT DOCUMENTS; AND THAT THE BID IS MADE IN ACCORDANCE WITH THE BIDDING DOCUMENTS AND BASED UPON THE MATERIALS, EQUIPMENT AND SYSTEMS REQUIRED BY THE BIDDING DOCUMENTS WITHOUT EXCEPTION.

B. SHOULD A BIDDER FIND DISCREPANCIES, AMBIGUITIES, INCONSISTENCIES, ERRORS OR OMISSIONS IN THE DRAWINGS OR OTHER BIDDING DOCUMENTS, OR BE IN DOUBT AS TO THEIR MEANING, BIDDER SHOULD AT ONCE NOTIFY THE ARCHITECT. FAILURE OF THE BIDDER TO REPORT OBVIOUS DISCREPANCIES, AMBIGUITIES, OR OMISSIONS NECESSARY TO CARRY OUT THE INTENT OF THE CONTRACT DOCUMENTS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE BIDDER FROM PERFORMING THE NECESSARY WORK.

C. COORDINATE CONSTRUCTION OPERATIONS TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.

D. PERMITS, LICENSES, AND CERTIFICATES: FOR OWNER'S RECORDS, SUBMIT COPIES OF PERMITS, LICENSES, CERTIFICATIONS, INSPECTION REPORTS, RELEASES, JURISDICTIONAL SETTLEMENTS, NOTICES, RECEIPTS FOR FEE PAYMENTS, JUDGMENTS, CORRESPONDENCE, RECORDS, AND SIMILAR DOCUMENTS, ESTABLISHED FOR COMPLIANCE WITH STANDARDS AND REGULATIONS BEARING ON PERFORMANCE OF THE WORK.

E. INSTALLER/FABRICATOR QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN INSTALLING, ERECTING, APPLICATION, ASSEMBLING, OR PRODUCING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INSURED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE AND HAVING COMPLIED WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

F. APPLICABILITY OF STANDARDS: UNLESS THE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE CONSTRUCTION INDUSTRY STANDARDS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED DIRECTLY INTO THE CONTRACT DOCUMENTS TO THE EXTENT REFERENCED. SUCH STANDARDS ARE MADE A PART OF THE CONTRACT DOCUMENTS BY REFERENCE.

G. CONFLICTING REQUIREMENTS: IF COMPLIANCE WITH TWO OR MORE STANDARDS IS SPECIFIED AND THE STANDARDS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, COMPLY WITH THE MOST STRINGENT REQUIREMENT. REFER UNCERTAINTIES AND REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR A DECISION BEFORE PROCEEDING.

H. DELIVER, STORE, AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

I. PROVIDE PRODUCTS THAT COMPLY WITH THE CONTRACT DOCUMENTS, THAT ARE UNDAMAGED, AND UNLESS OTHERWISE INDICATED, THAT ARE NEW AT TIME OF INSTALLATION. PROVIDE PRODUCTS COMPLETE WITH ACCESSORIES, TRIM, FINISH, FASTENERS, AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INDICATED USE AND EFFECT.

J. ACCEPTANCE OF CONDITIONS: EXAMINE SUBSTRATES, AREAS, AND CONDITIONS, WITH INSTALLER OR APPLICATOR PRESENT FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE. VERIFY COMPATIBILITY WITH AND SUITABILITY OF SUBSTRATES, INCLUDING COMPATIBILITY WITH EXISTING FINISHES OR PRIMERS. EXAMINE ROUGHING-IN FOR MECHANICAL AND ELECTRICAL

SYSTEMS TO VERIFY ACTUAL LOCATIONS OF CONNECTIONS BEFORE EQUIPMENT AND FIXTURE INSTALLATION. EXAMINE WALLS, FLOORS, AND ROOFS FOR SUITABLE CONDITIONS WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. PROCEEDING WITH THE WORK INDICATES ACCEPTANCE OF SURFACES AND CONDITIONS.

K. TAKE FIELD MEASUREMENTS AS REQUIRED TO FIT THE WORK PROPERLY. RECHECK MEASUREMENTS BEFORE INSTALLING EACH PRODUCT. WHERE PORTIONS OF THE WORK ARE INDICATED TO FIT TO OTHER CONSTRUCTION, VERIFY DIMENSIONS OF OTHER CONSTRUCTION BY FIELD MEASUREMENTS BEFORE FABRICATION.

L. REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS: IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT. INCLUDE A DETAILED DESCRIPTION OF PROBLEM ENCOUNTERED, TOGETHER WITH RECOMMENDATIONS FOR CHANGING THE CONTRACT DOCUMENTS.

M. LOCATE THE WORK AND COMPONENTS OF THE WORK ACCURATELY, IN CORRECT ALIGNMENT AND ELEVATION, AS INDICATED. MAKE VERTICAL WORK PLUMB AND MAKE HORIZONTAL WORK LEVEL. WHERE SPACE IS LIMITED, INSTALL COMPONENTS TO MAXIMIZE SPACE AVAILABLE FOR MAINTENANCE AND EASE OF REMOVAL FOR REPLACEMENT. CONCEAL PIPES, DUCTS, AND WIRING IN FINISHED AREAS, UNLESS OTHERWISE INDICATED.

N. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLING PRODUCTS IN APPLICATION INDICATED.

O. INSTALL PRODUCTS AT THE TIME AND UNDER CONDITIONS THAT WILL ENSURE THE BEST POSSIBLE RESULTS. MAINTAIN CONDITIONS REQUIRED FOR PRODUCT PERFORMANCE UNTIL SUBSTANTIAL COMPLETION.

P. CONDUCT CONSTRUCTION OPERATIONS SO NO PART OF THE WORK IS SUBJECT TO DAMAGING OPERATIONS OR LOADING IN EXCESS OF THAT EXPECTED DURING NORMAL CONDITIONS OF OCCUPANCY.

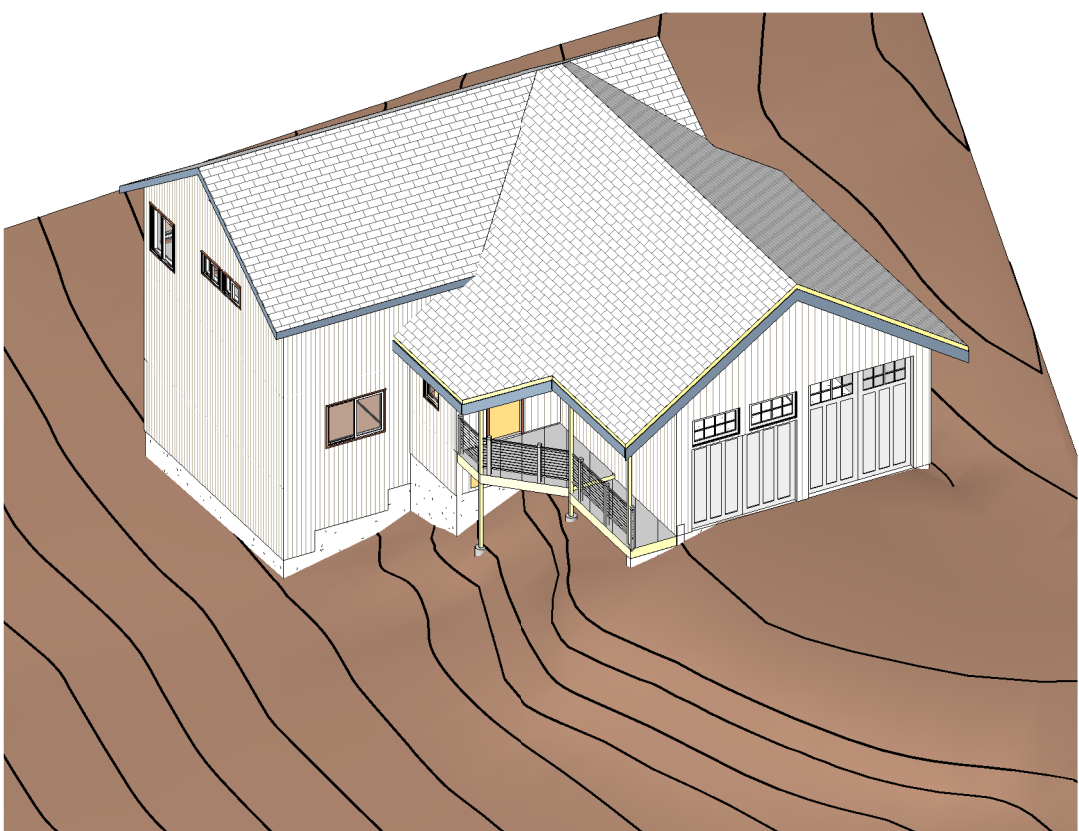
Q. PROVIDE ANCHORS AND FASTENERS AS REQUIRED TO ANCHOR EACH COMPONENT SECURELY IN PLACE, ACCURATELY LOCATED AND ALIGNED WITH OTHER PORTIONS OF THE WORK. WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT COMPONENTS AT HEIGHTS DIRECTED BY OWNER. ALLOW FOR BUILDING MOVEMENT, INCLUDING THERMAL EXPANSION AND CONTRACTION.

R. MAKE JOINTS OF UNIFORM WIDTH. WHERE JOINT LOCATIONS IN EXPOSED WORK ARE NOT INDICATED, ARRANGE JOINTS FOR THE BEST VISUAL EFFECT. FIT EXPOSED CONNECTIONS TOGETHER TO FORM HAIRLINE JOINTS.

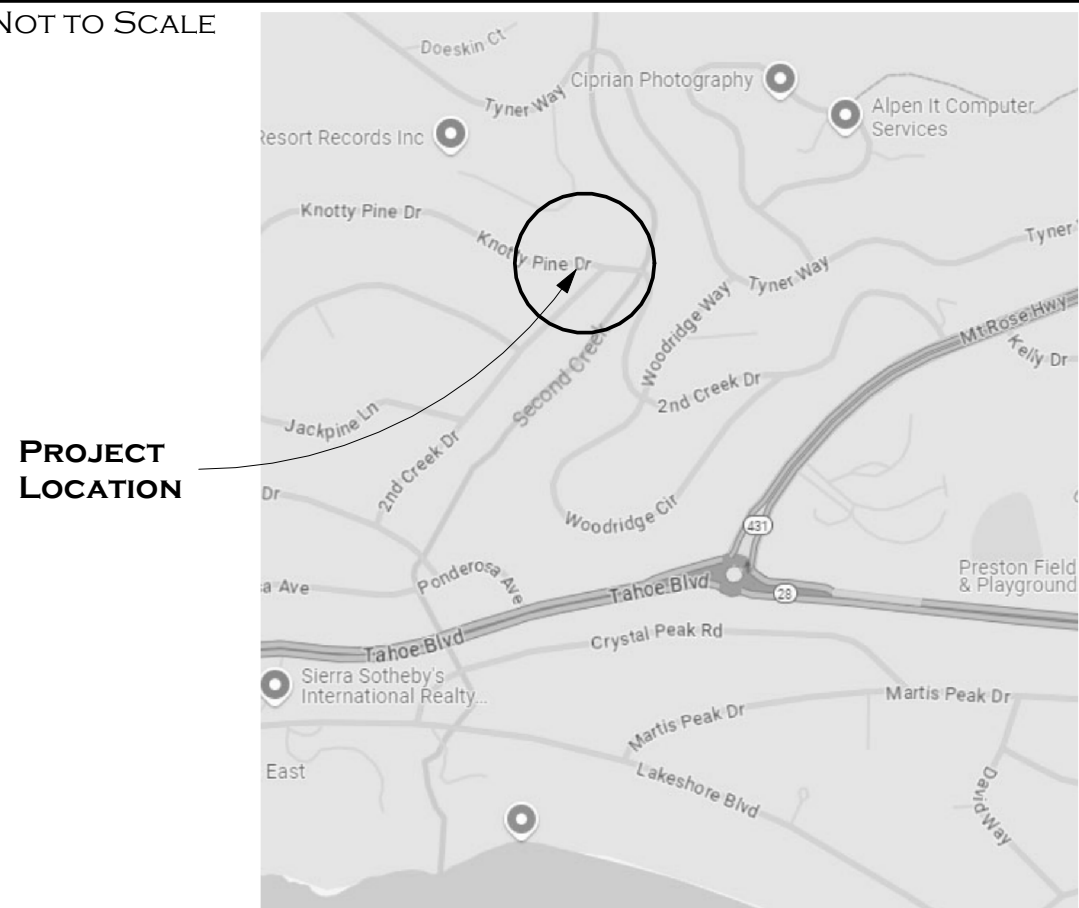
S. CLEAN PROJECT SITE AND WORK AREAS DAILY, INCLUDING COMMON AREAS. COORDINATE PROGRESS CLEANING FOR JOINT-USE AREAS WHERE MORE THAN ONE INSTALLER HAS WORKED. ENFORCE REQUIREMENTS STRICTLY. DISPOSE OF MATERIALS LAWFULLY. MAINTAIN PROJECT SITE FREE OF WASTE MATERIALS AND DEBRIS.

T. KEEP INSTALLED WORK CLEAN. CLEAN INSTALLED SURFACES ACCORDING TO WRITTEN INSTRUCTIONS OF MANUFACTURER OR FABRICATOR OF PRODUCT INSTALLED, USING ONLY CLEANING MATERIALS SPECIFICALLY RECOMMENDED. IF SPECIFIC CLEANING MATERIALS ARE NOT RECOMMENDED, USE CLEANING MATERIALS THAT ARE NOT HAZARDOUS TO HEALTH OR PROPERTY AND THAT WILL NOT DAMAGE EXPOSED SURFACES.

U. LIMITING EXPOSURES: SUPERVISE CONSTRUCTION OPERATIONS TO ASSURE THAT NO PART OF THE CONSTRUCTION, COMPLETED OR IN PROGRESS, IS SUBJECT TO HARMFUL, DANGEROUS, DAMAGING, OR OTHERWISE DELETERIOUS EXPOSURE DURING THE CONSTRUCTION PERIOD.



VICINITY MAP



PROPOSED RESIDENTIAL REMODEL/ADDITION FOR HOLDEN

HOLDEN

597 KNOTTY PINE DRIVE
 INCLINE VILLAGE, NEVADA 89451

LOT 16, BLOCK E, PONDEROSA
 SUBDIVISION No.4
 WASHOE COUNTY, APN 122-142-11



120 COUNTRY CLUB DRIVE NO. 17
 INCLINE VILLAGE, NEVADA 89451

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HOLDEN

597 KNOTTY PINE DRIVE
 INCLINE VILLAGE, NEVADA 89451
 WASHOE COUNTY, APN 122-142-11

REVISIONS:

DATE OF ISSUE: 09 DEC, 2024

ISSUED FOR: ADMIN PERMIT

DRAWN BY: SDG

CHECKED BY:

SCALE: 12" = 1'-0"

PROJECT NO.: 2408.00

SHEET CONTENTS

COVER SHEET - ABBREVIATIONS, PROJECT CONTACTS, PROJECT DESCRIPTION, DISTRIBUTION JOURNAL, BUILDING AREA CALCULATIONS, GRAPHIC SYMBOLS, SHEET INDEX, DESIGN CRITERIA, VICINITY MAP AND GENERAL REQUIREMENTS

SHEET NUMBER

1 OF 10

KNOTTY PINE DRIVE

AS-BUILT BMP SIZES

AS-BUILT PERMANENT BMPS, AS PER BMP CERTIFICATE NO. 2349, DATED 25 SEPTEMBER 2003

PROJECT KEYNOTES

- 024119.A REMOVE (E) A/C PAVING, SHOWN HATCHED
- 024119.AA REMOVE (E) PLATFORM AND FRAMING, SHOWN HATCHED
- 024119.C REMOVE (E) TREE, SHOWN WITH AN (X), TYPICAL
- 024119.P REMOVE (E) STAIRS AND ASSOCIATED FRAMING, SHOWN HATCHED.

S M I T H

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DESIGN

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WASHOE COUNTY, APN 122-142-11

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SCALE: AS INDICATED

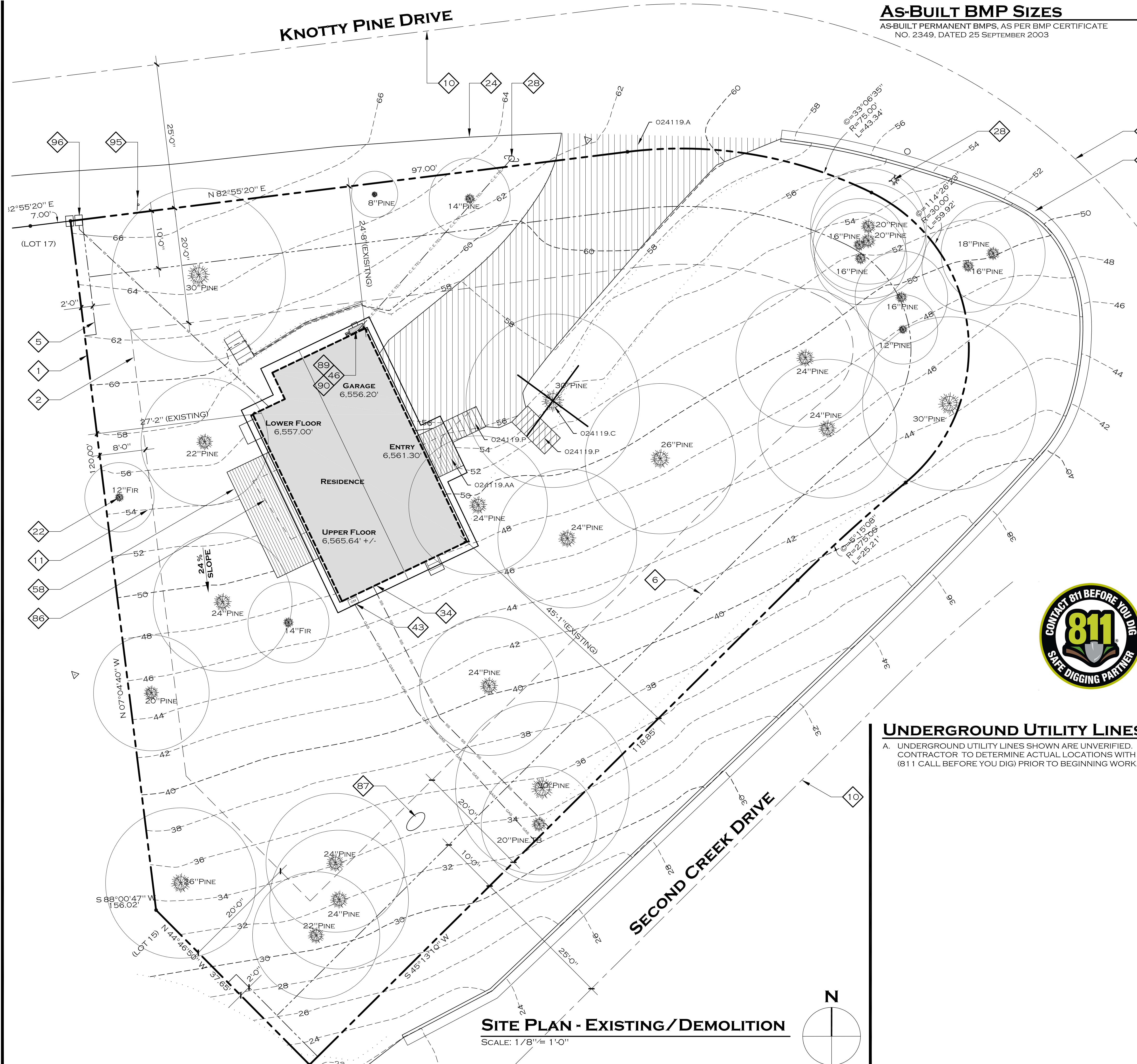
PROJECT No.: 2408.00

SHEET CONTENTS

SITE PLAN -
EXISTING/DEMOLITION

SHEET NUMBER

2 OF 10



UNDERGROUND UTILITY LINES

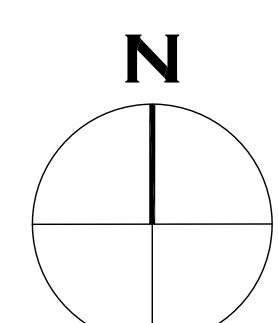
A. UNDERGROUND UTILITY LINES SHOWN ARE UNVERIFIED. CONTRACTOR TO DETERMINE ACTUAL LOCATIONS WITH (811 CALL BEFORE YOU DIG) PRIOR TO BEGINNING WORK.

REFERENCE NOTES

1. PROPERTY LINE
2. BUILDING SETBACK LINE
5. ANCHOR EASEMENT LINE
6. PUBLIC UTILITY EASEMENT LINE
10. CENTERLINE OF RIGHT-OF-WAY
11. CONTOUR LINE, EXISTING, INDICATED DASHED
13. TOP OF SLOPE
22. TREE, EXISTING TO REMAIN
24. EDGE OF TRAVELED WAY
26. DRIVEWAY, AC PAVING
28. JOINT POLE
29. CURB AND GUTTER
34. RESIDENCE
36. FENCE, EXISTING TO REMAIN
43. NATURAL GAS METER
46. MAIN PANEL FOR ELECTRICAL SERVICE
56. ROOF, BELOW
58. DECK, BELOW
86. TRPA 3:1 COVERAGE REDUCTION LINE
87. SATELLITE DISH
88. CABLE SERVICE BOX
90. TELEPHONE SERVICE BOX
95. LIMITED SIGHT DISTANCE SIGN
96. WATER METER

SITE PLAN - EXISTING/DEMOLITION

SCALE: 1/8" = 1'-0"



KNOTTY PINE DRIVE

UNDERGROUND UTILITY LINES

A. UNDERGROUND UTILITY LINES SHOWN ARE UNVERIFIED. CONTRACTOR TO DETERMINE ACTUAL LOCATIONS WITH (811 CALL BEFORE YOU DIG) PRIOR TO BEGINNING WORK.

PROJECT KEYNOTES

- 312000.A ROCKERY WALL, 3'-0" TALL MAX
- 321216.B HOT-MIX ASPHALT PAVING SWALE, SLOPED TO DRYWELL
- 334100.F AREA DRAIN/CATCH BASIN WITH REMOVABLE WIRE BASKET. PROVIDE PVC DRAINAGE PIPE, 2% SLOPE MIN. TO DRYWELL
- 334100.J DRY WELLS, SEE BMP CALCULATIONS SPREADSHEET FOR WIDTH AND DEPTH. TOP OF REQUIRED DEPTH MEASURED FROM BOTTOM OF INLET DRAINAGE PIPE
- 334100.P SLOTTED DRAIN, DRAIN TO CATCH BASIN/SEDIMENT TRAP AND DRYWELL
- 334100.Q DRIP LINE TRENCH. SEE BMP CALCULATIONS SPREADSHEET FOR WIDTH AND DEPTH

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CUT/FILL

- A. THE NEW ADDITION AND DECK POST FOUNDATION WILL REQUIRE EXCAVATING 2.10 CUBIC YARDS OF SOIL AND INFILLING 183.4 CUBIC YARDS. MAXIMUM CUT IS 5'-0".
- B. EXCAVATED DIRT/SOIL THAT IS NOT USED TO PROVIDE 5% SLOPE AWAY FROM THE RESIDENCE, 10' AWAY, WILL BE HAULED OFF SITE TO THE FW CARSON CO. INCLINE VILLAGE FACILITY FOR MATERIAL DISPOSAL.

SITE REVEGETATE LEGEND

INDICATES AREAS TO BE REVEGETATED PER BMP HANDBOOK CHAPTER 5, SOIL AND VEGETATION MANAGEMENT

SITE AREA DISTURBED

- 1. AREA OF SITE DISTURBED BY CONSTRUCTION IS 2,994 SF.
- 2. TRPA INFILTRATION TRENCHES, DRYWELLS ARE 246 SF OF SITE AREA DISTURBED.
- 3. AREA OF PARCEL DESIGNATED TO BE REVEGETATED BY TRPA WHERE NO OTHER CONSTRUCTION PROPOSED, 1,047 SF.

GENERAL NOTES

- A. THIS PROJECT WAS DESIGNED TO INCORPORATE ALL APPLICABLE PREVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.
- B. ALL CLEARED, GRADED OR AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE "TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES".

TRPA PARCEL DATA

PARCEL DESCRIPTION
 597 KNOTTY PINE DRIVE
 LOT 16, BLOCK E, PONDEROSA SUBDIVISION No.4
 WASHOE COUNTY, APN 122-142-11

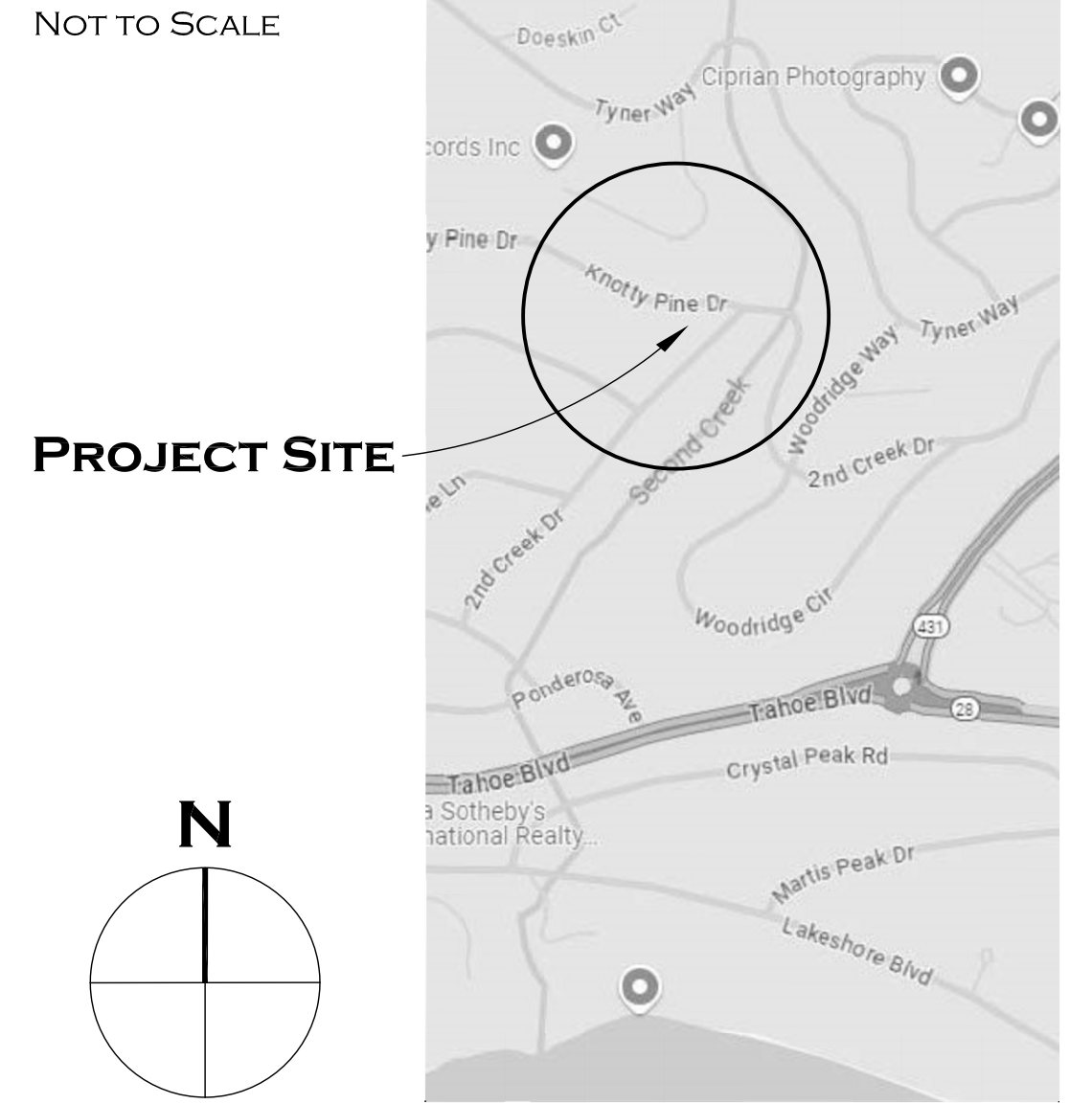
TOTAL LOT AREA 15,549 SF

PROPOSED BMP SIZES

ASBUILT PERMANENT BMPS, AS PER BMP CERTIFICATE NO. 2349, DATED 25 SEPTEMBER 2003

Label	Dimensions	Notes
A	32'-2" x 2'-0" x 0'-9"	TREATMENT LABEL
B	9'-10" x 1'-6" x 0'-5"	TRENCH SIZE (L/W/D)
C	6'-0" x 6'-0" x 4'-7"	
D	43'-3" x 3'-0" x 0'-7"	

LOCATION MAP



REVISIONS:

NO.	DESCRIPTION	DATE

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 PROJECT NO.: 2408.00

SHEET CONTENTS

NO.	DESCRIPTION
1	SITE PLAN

SHEET NUMBER

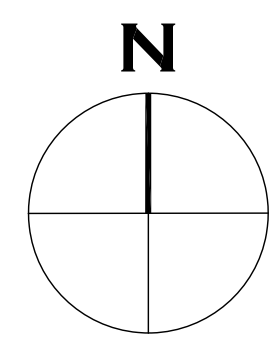
3 OF 10



REFERENCE NOTES

- 1. PROPERTY LINE
- 2. BUILDING SETBACK LINE
- 5. ANCHOR EASEMENT LINE
- 6. PUBLIC UTILITY EASEMENT LINE
- 10. CENTERLINE OF RIGHT-OF-WAY
- 11. CONTOUR LINE, EXISTING, INDICATED DASHED
- 13. TOP OF SLOPE
- 22. TREE, EXISTING TO REMAIN
- 24. EDGE OF TRAVELED WAY
- 26. DRIVEWAY, AC PAVING
- 28. JOINT POLE
- 29. CURB AND GUTTER
- 34. RESIDENCE
- 36. FENCE, EXISTING TO REMAIN
- 43. NATURAL GAS METER
- 46. MAIN PANEL FOR ELECTRICAL SERVICE
- 56. ROOF, BELOW
- 58. DECK, BELOW
- 86. TRPA 3:1 COVERAGE REDUCTION LINE
- 88. CABLE SERVICE BOX
- 90. TELEPHONE SERVICE BOX
- 95. LIMITED SIGHT DISTANCE SIGN
- 96. WATER METER
- 97. LIMITS OF DISTURBED SITE AREA

SITE PLAN
 SCALE: 1/8" = 1'-0"



REFERENCE NOTES
SEE REFERENCE NOTE SCHEDULE ON SHEET 5 OF 10

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WASHOE COUNTY, APN 122-142-11

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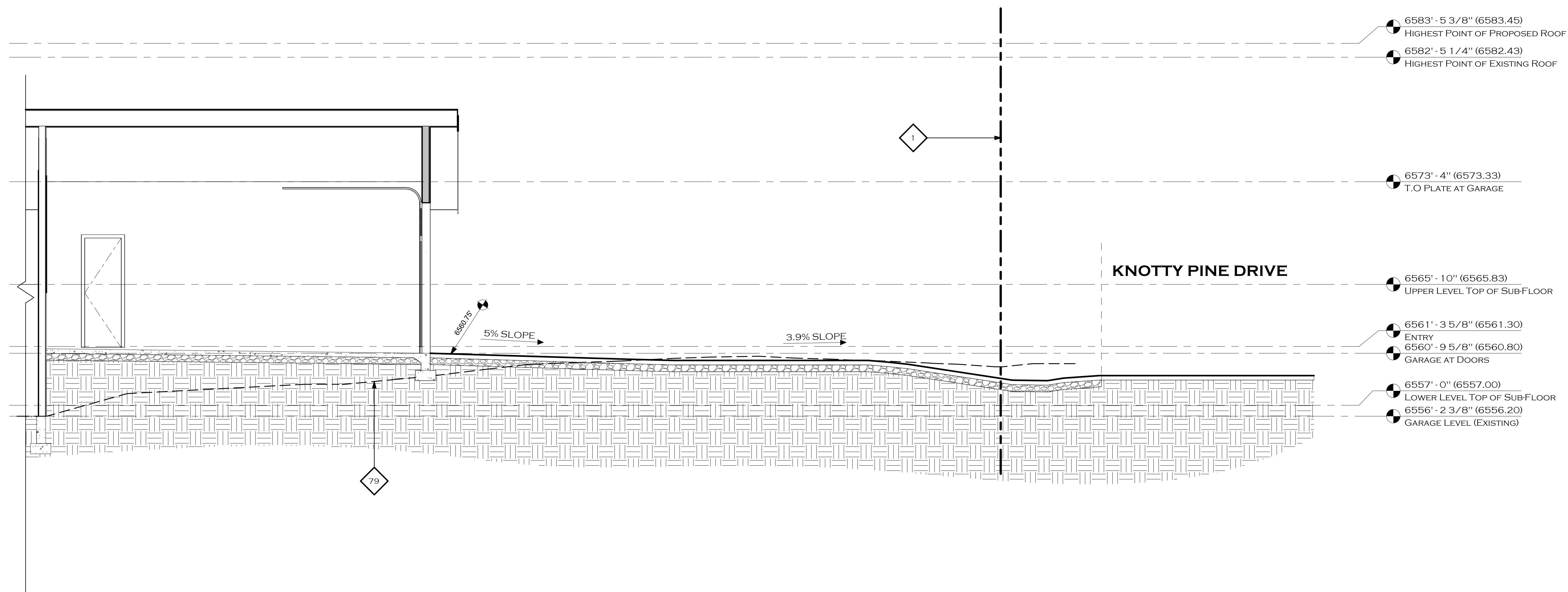
PROJECT NO.: 2408.00

SHEET CONTENTS

CROSS SECTION AT EXISTING STREET

SHEET NUMBER

4 OF 10



A-A CROSS SECTION AT EXISTING STREET
SCALE: 1/4" = 1'-0"

SELECTIVE DEMOLITION NOTES

- A. OWNER WILL OCCUPY PORTIONS OF BUILDING IMMEDIATELY ADJACENT TO SELECTIVE DEMOLITION AREA. CONDUCT SELECTIVE DEMOLITION SO OWNER'S OPERATIONS WILL NOT BE DISRUPTED. NOTIFY THE OWNER NOT LESS THAN 72 HOURS IN ADVANCE OF ACTIVITIES THAT WILL AFFECT OWNER'S OPERATIONS.
- B. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
- C. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
- D. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- E. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS OF THE COMPLETE SET OF CONSTRUCTION DOCUMENTS TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- F. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO ARCHITECT.
- G. EXISTING SERVICES/SYSTEMS TO REMAIN: MAINTAIN SERVICES/SYSTEMS NOT INDICATED TO BE REMOVED AND PROTECT THEM AGAINST DAMAGE.

- H. EXISTING SERVICES/SYSTEMS TO BE REMOVED, RELOCATED, OR ABANDONED: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED. ARRANGE TO SHUT OFF UTILITIES WITH UTILITY COMPANIES. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
- I. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT SELECTIVE DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, PARKING, WALKS, WALKWAYS, EXITS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- J. TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS, LANDSCAPING, SITE IMPROVEMENTS AND OTHER FACILITIES TO REMAIN. PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN SELECTIVE DEMOLITION OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND NEW CONSTRUCTION, TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS. COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.

- K. TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- L. SELECTIVE DEMOLITION: DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. SEE COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR OTHER REQUIRED SELECTIVE DEMOLITION.
- M. EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION, AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.
- N. DISPOSAL OF DEMOLISHED MATERIALS: EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, PROMPTLY REMOVE, DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM.
- O. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

PROJECT KEYNOTES

- 0241 19.AA REMOVE (E) PLATFORM AND FRAMING, SHOWN HATCHED
- 0241 19.F REMOVE (E) WINDOWS, SHOWN HATCHED
- 0241 19.H REMOVE (E) DOORS, SHOWN HATCHED
- 0241 19.P REMOVE (E) STAIRS AND ASSOCIATED FRAMING, SHOWN HATCHED.

REFERENCE NOTES

- 1 PROPERTY LINE
- 56 ROOF, ABOVE
- 58 DECK, ABOVE
- 62 BEAM, ABOVE
- 64 WALL, ABOVE
- 79 EXISTING/ NATURAL GRADE, APPROXIMATE LIMITS
- 92 GRADE AT BUILDING



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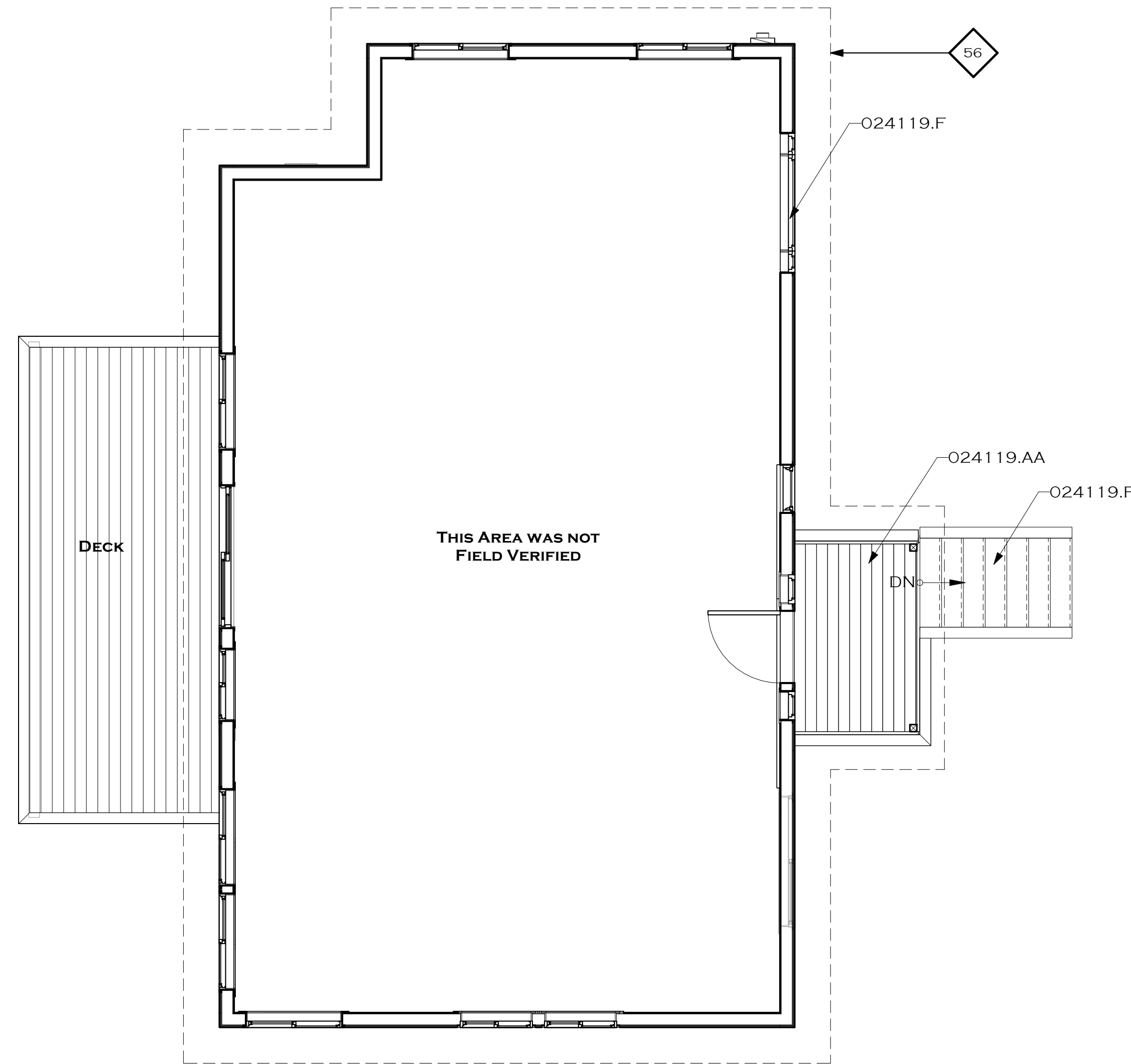
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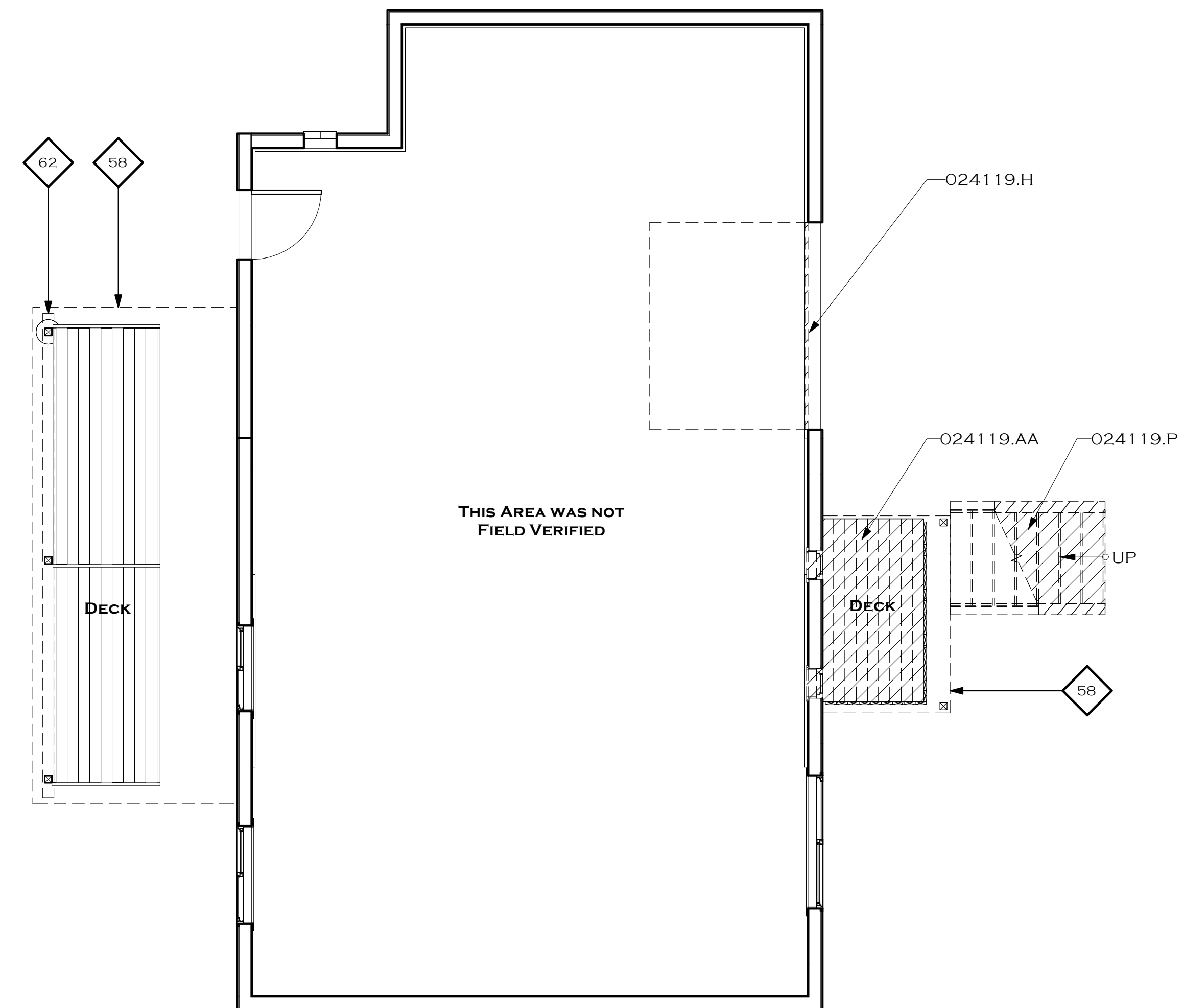
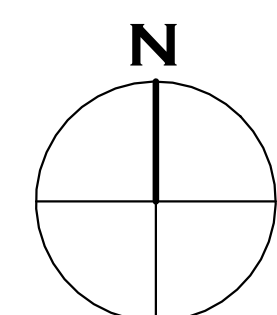
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SHEET CONTENTS

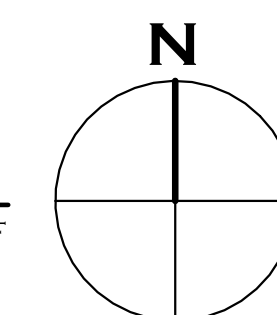
LOWER/UPPER LEVEL -
EXISTING/DEMOLITION PLAN



UPPER LEVEL - EXISTING/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



LOWER LEVEL - EXISTING/DEMOLITION PLAN
SCALE: 1/4" = 1'-0" LOWER LEVEL AND GARAGE 932 SF





NORTH ELEVATION - EXISTING

No SCALE



SOUTH ELEVATION - EXISTING

No SCALE



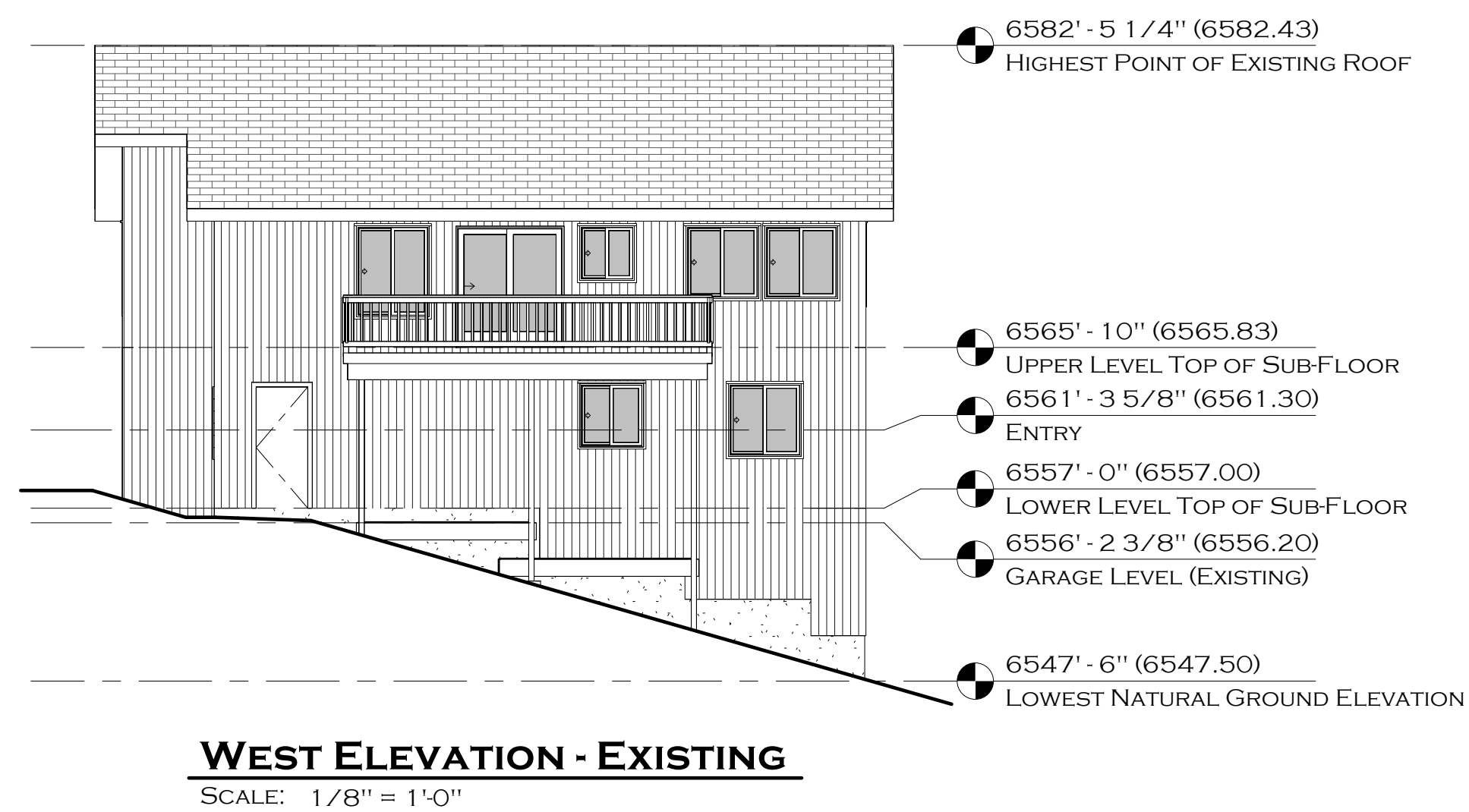
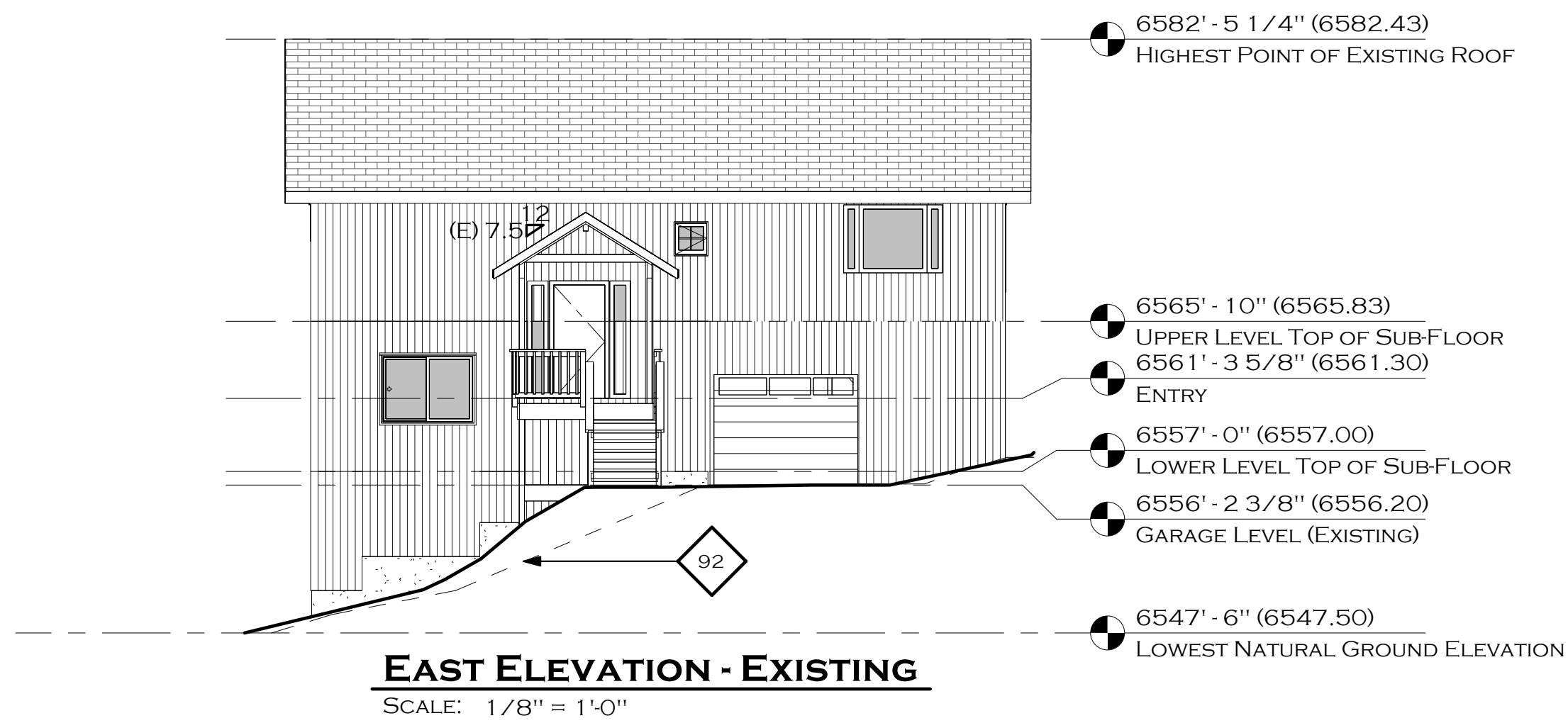
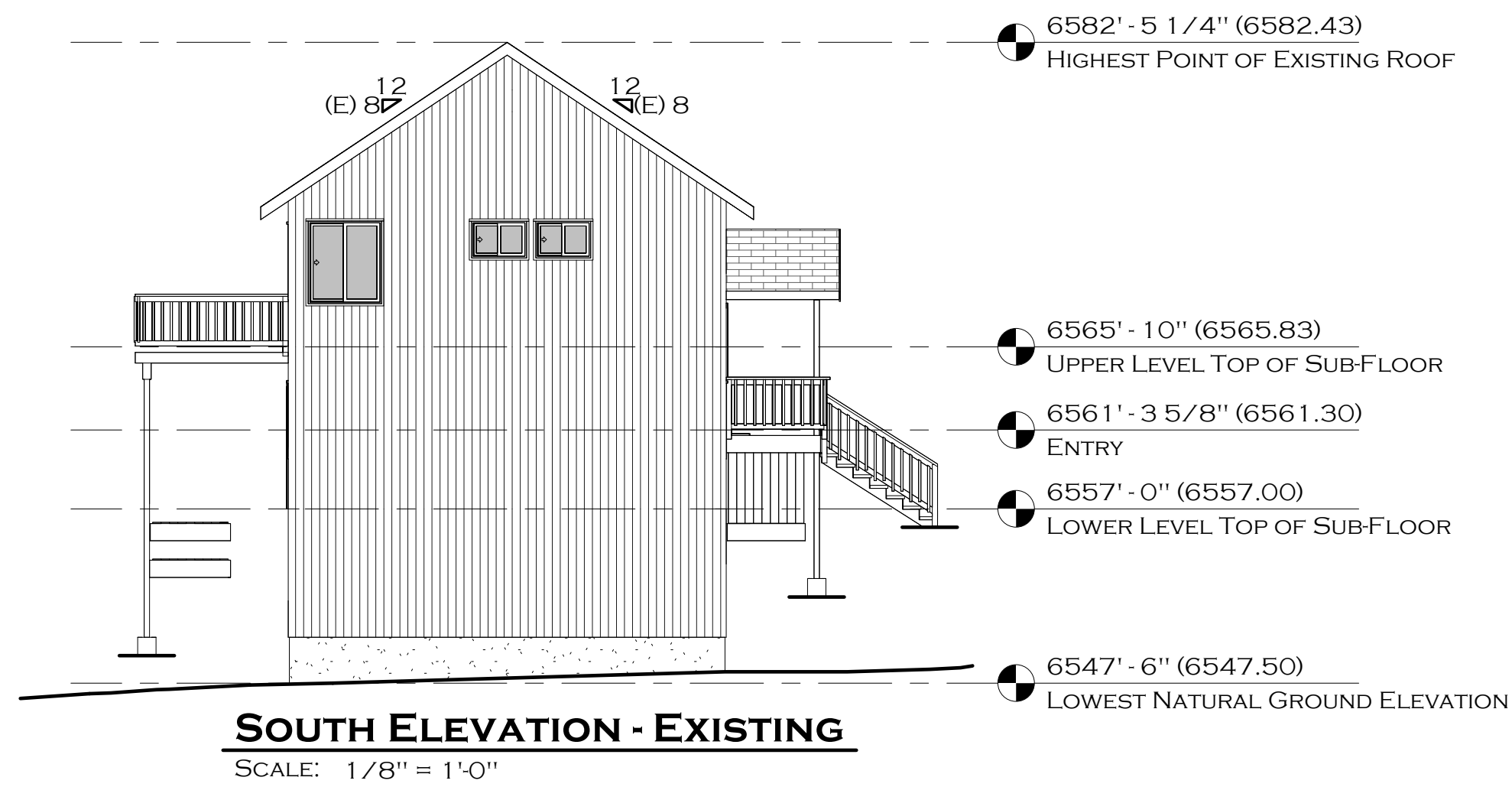
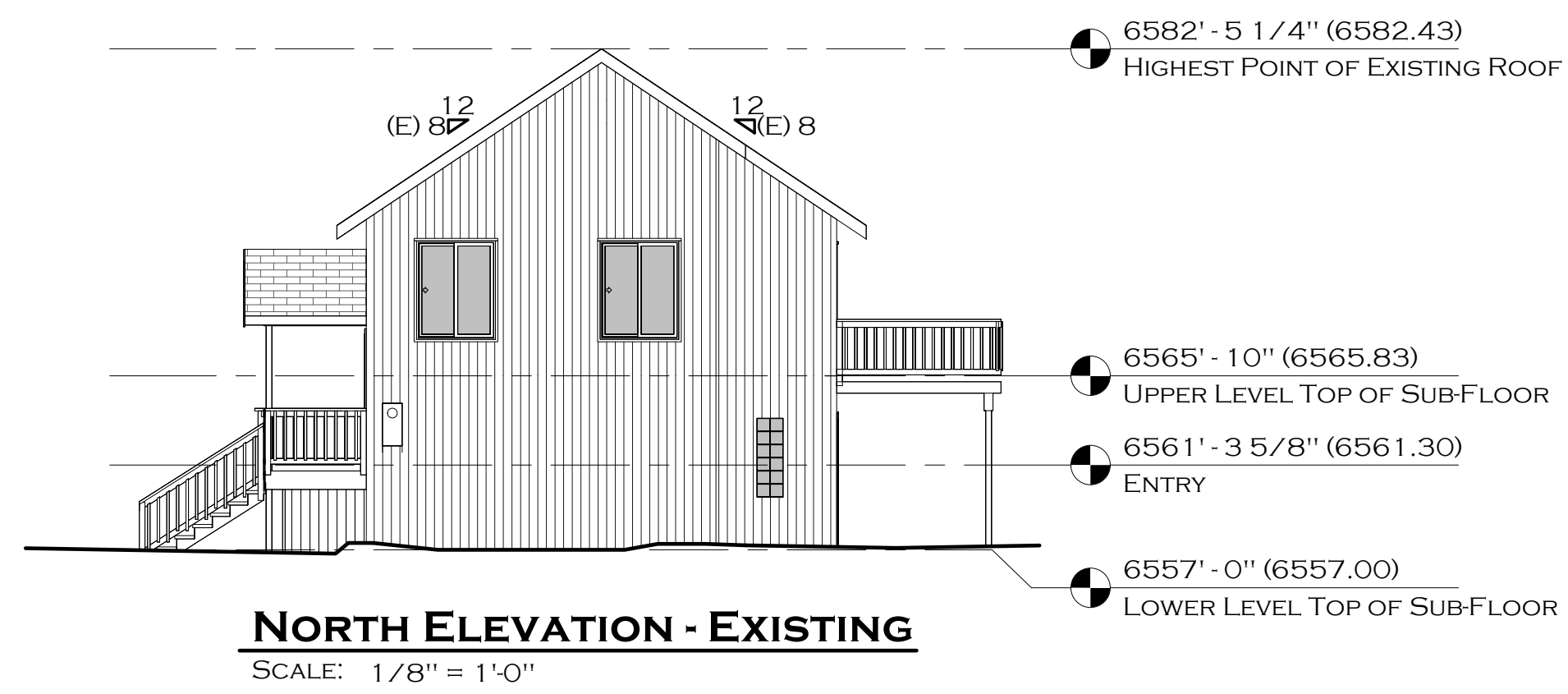
EAST ELEVATION - EXISTING

No SCALE



WEST ELEVATION - EXISTING

No SCALE



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SHEET CONTENTS

(E) EXTERIOR ELEVATIONS

SHEET NUMBER

6 OF 10

REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET 5 OF 10

IVGID REQUIREMENTS

- A. WATER SERVICE: NOT APPLICABLE
- B. SANITARY SEWER: CLEANOUTS ARE REQUIRED AT FOUNDATION LINE AND PROPERTY LINE. IF NO CLEANOUTS EXIST, INSTALL IN ACCORDANCE WITH IVGID SPECIFICATIONS. PRESSURE TESTING IS REQUIRED.
- C. HEATING SYSTEM: NO CHANGES TO (E) SYSTEMS.
- D. LANDSCAPE IRRIGATION: NONE PROPOSED.
- E. AUTOMATIC (FIRE) SPRINKLER SYSTEM: NOT REQUIRED.

DIMENSION NOTES

- A. VERIFICATION: BEFORE PROCEEDING TO LAY OUT THE WORK, VERIFY LAYOUT INFORMATION SHOWN ON DRAWINGS, IN RELATION TO THE PROPERTY SURVEY AND EXISTING BENCHMARKS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT
- B. SUBMIT CERTIFICATION TO BUILDING OFFICIAL SIGNED BY A NEVADA LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER THAT LOCATION AND ELEVATION OF IMPROVEMENTS COMPLY WITH REQUIREMENTS.
- C. EXAMINE ROUGHING-IN REQUIREMENTS FOR APPLIANCES, MECHANICAL, AND ELECTRICAL SYSTEMS TO VERIFY ACTUAL LOCATIONS OF CONNECTIONS BEFORE EQUIPMENT AND FIXTURE INSTALLATION.
- D. DO NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHOULD BE DIRECTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- E. DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF FOUNDATION WALL/CONCRETE MASONRY UNIT.

PROJECT KEYNOTES

- 033000.P CAST-IN-PLACE CONCRETE FOOTING, SEE STRUCTURAL
- 033000.Q CAST-IN-PLACE CONCRETE FOUNDATION WALL (STEM WALL)
- 061323.H HEAVY TIMBER COLUMN, SEE STRUCTURAL
- 081416.Q EXTERIOR FLUSH WOOD ACCESS DOOR, PAINT TO MATCH ADJACENT SURFACES



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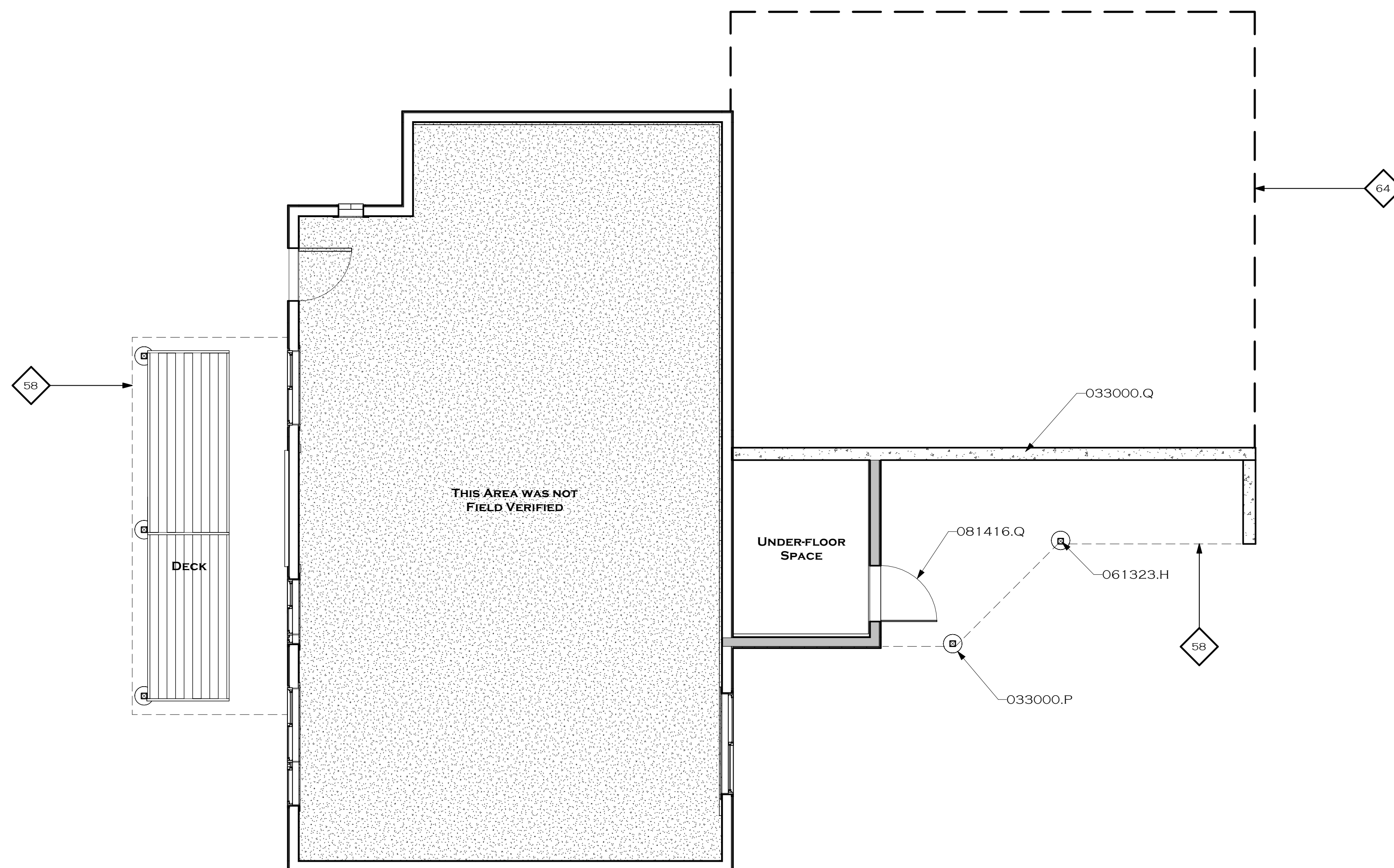
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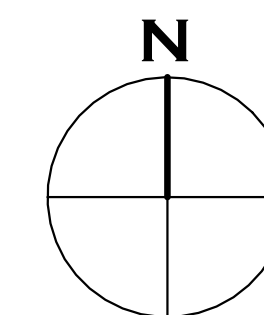
LOWER LEVEL - DIMENSION/INFORMATION PLAN



LOWER LEVEL - DIMENSION/INFORMATION PLAN

SCALE: 1/4" = 1'-0"

LOWER LEVEL	932 SF
UPPER LEVEL	1,010 SF
TOTAL	1,942 SF
GARAGE	678 SF



REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET 5 OF 10

SHEET NUMBER

7 OF 10

FIRE DEPARTMENT NOTES

A. PROVIDE ADDRESS IDENTIFICATION IN ACCORDANCE WITH 2018 IFC, NNV AMENDMENTS, SECTION 505.1. ADDRESS NUMBERS SHALL BE 6" MIN. LETTERS/ NUMBERS AND BE A CONTRASTING COLOR TO THE BACKGROUND.

B. WHERE APPLICABLE, PROVIDE A PROTECTIVE COVER OVER THE EXISTING GAS METER ASSEMBLY IN ACCORDANCE WITH 2018 NNV AMENDMENTS, SECTION 320 AND SOUTHWEST GAS DESIGN REQUIREMENTS.

C. ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IWUIC) WITH AMENDMENTS IN NLTFPD RESOLUTIONS 18-1. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT. CONTACT AN NLTFPD INSPECTOR AT (775) 831-8107 TO SCHEDULE AN APPOINTMENT.

NLTFPD DEFENSIBLE SPACE REQUIREMENTS CAN BE FOUND ON THE NLTFPD WEBSITE UNDER FUELS MANAGEMENT OR BY FOLLOWING THIS LINK: [HTTPS://WWW.NLTFPD.NET/FUELS-MANAGEMENT/DEFENSIBLE-SPACE/](https://www.nltpfd.net/fuels-management/defensible-space/)

REMODEL NOTES

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS OF EACH AREA WHERE WORK IS INDICATED TO BE ACCOMPLISHED. PRIOR TO ORDERING OR FABRICATING MATERIAL, EQUIPMENT, OR PRODUCTS, CONTRACTOR SHALL DETERMINE THAT THE SIZES AND PRODUCTS INDICATED ARE PROPER TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS. INFORM THE ARCHITECT OF ANY DISCREPANCY BETWEEN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS. RESOLVE DISCREPANCY PRIOR TO PROCEEDING WITH WORK.

B. REMODELING OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT DESTROYING ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING EACH PORTION OF THE WORK.

C. UNLESS OTHERWISE INDICATED, ALL WORK IS TO MATCH EXISTING MATERIALS, DETAILS, TRIM, ETC.

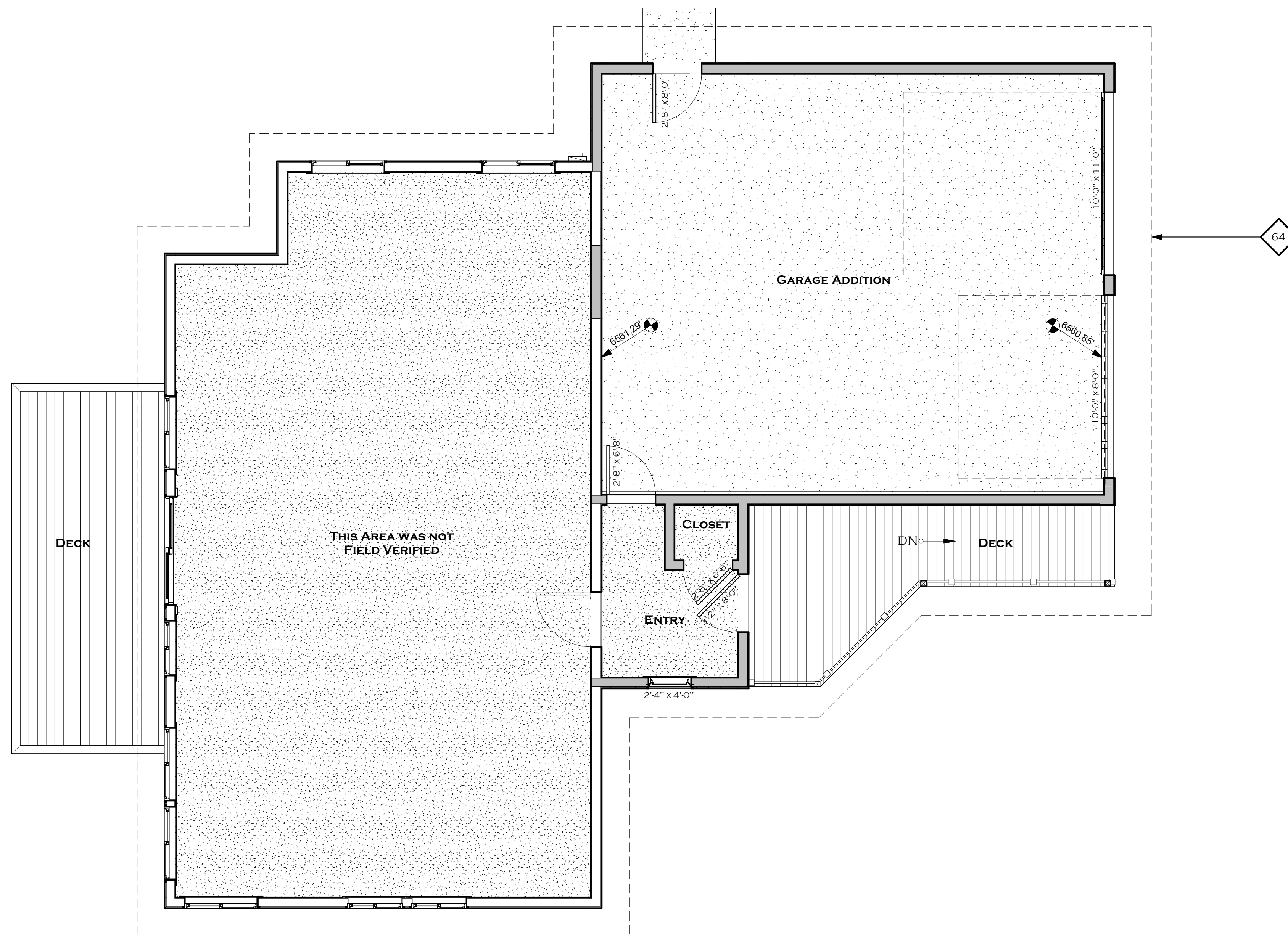
D. CONTRACTOR IS RESPONSIBLE FOR ALL PATCHING, PAINTING, AND REPAIRING AS REQUIRED AT EXISTING FACILITY.

PROJECT KEYNOTES



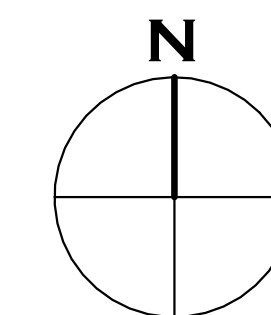
120 COUNTRY CLUB DRIVE NO.17
INCLINE VILLAGE, NEVADA 89451
TEL 775.831.7158
www.smithdesigngroup.com

PRELIMINARY
NOT FOR CONSTRUCTION



UPPER LEVEL - DIMENSION/INFORMATION PLAN
SCALE: 1/4" = 1'-0"

UPPER LEVEL 1,010 SF
GARAGE 678 SF



A RESIDENTIAL REMODEL/ADDITION FOR
HOLDEN
597 KNOTTY PINE DRIVE
INCLINE VILLAGE, NEVADA 89451
WASHOE COUNTY, APN 122-142-1-1

REVISIONS:

DATE OF ISSUE: 09 DEC, 2024
ISSUED FOR: ADMIN PERMIT
DRAWN BY: SDG
CHECKED BY: SDG
SCALE: AS INDICATED
PROJECT NO.: 2408.00

SHEET CONTENTS

UPPER LEVEL - DIMENSION/INFORMATION PLAN

SHEET NUMBER
8 OF 10

REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET 5 OF 10

PROJECT KEYNOTES

WUI CODE REQUIREMENTS

IGNITION-RESISTANT
CONSTRUCTION REQUIREMENTS

DEFENSIBLE SPACE: WILL BE CONFORMING TO THE PROPERTY LINE PRIOR TO PERMIT CLOSEOUT.
FIRE HAZARD SEVERITY: EXTREME HAZARD WITH CONFORMING WATER SUPPLY.
CONSTRUCTION REQUIREMENTS: IR1

BUILDING CONSTRUCTION REQUIREMENTS

ROOFS: ROOF ASSEMBLIES SHALL BE CLASS A. VALLEY FLASHING SHALL BE NOT LESS THAN NO.26 GALVANIZED SHEET GAGE.

ROOF GUTTERS: ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF GALVANIZED MATERIAL. GUTTERS SHALL BE PROVIDED WITH APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.

EAVES & SOFFITS: EAVES AND SOFFITS SHALL BE PROTECTED ON THE EXPOSED UNDERSIDE BY FIRE RETARDANT TREATED WOOD SIDING LABELED FOR EXTERIOR USE.

VENTS: OPERABLE UNDER-FLOOR VENTS SHALL NOT EXCEED 144 SQUARE INCHES IN AREA AND SHALL BE COVERED WITH NONCOMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS NOT TO EXCEED 1/4 INCH.

EXTERIOR WALLS - REPAIR AND INFILL: REPAIR AND INFILL FRAMING OF 25 PERCENT OR MORE OF THE EXTERIOR WALL PLANE WILL REQUIRE THE ENTIRE WALL PLANE TO BE PROTECTED WITH LP FLAME BLOCK FIRE-RATED OSB SHEATHING (SEE ESR-1365, INCLUDED).

WINDOWS (GLAZING): EXTERIOR WINDOWS ARE DUAL GLAZED.

EXTERIOR DOORS: EXTERIOR DOORS ARE MINIMUM 1-3/4" SOLID CORE.

DECKS & BALCONIES: ARE PROPOSED HEAVY TIMBER CONSTRUCTION. MINIMUM 6X6 COLUMNS, 4X8 FLOOR JOISTS, 4X10 OR 6X8 BEAMS, 3X LEDGERS AND 2X DECKING.

EXISTING DRIVEWAY DECK: NOT APPLICABLE

TRPA DESIGN STANDARDS

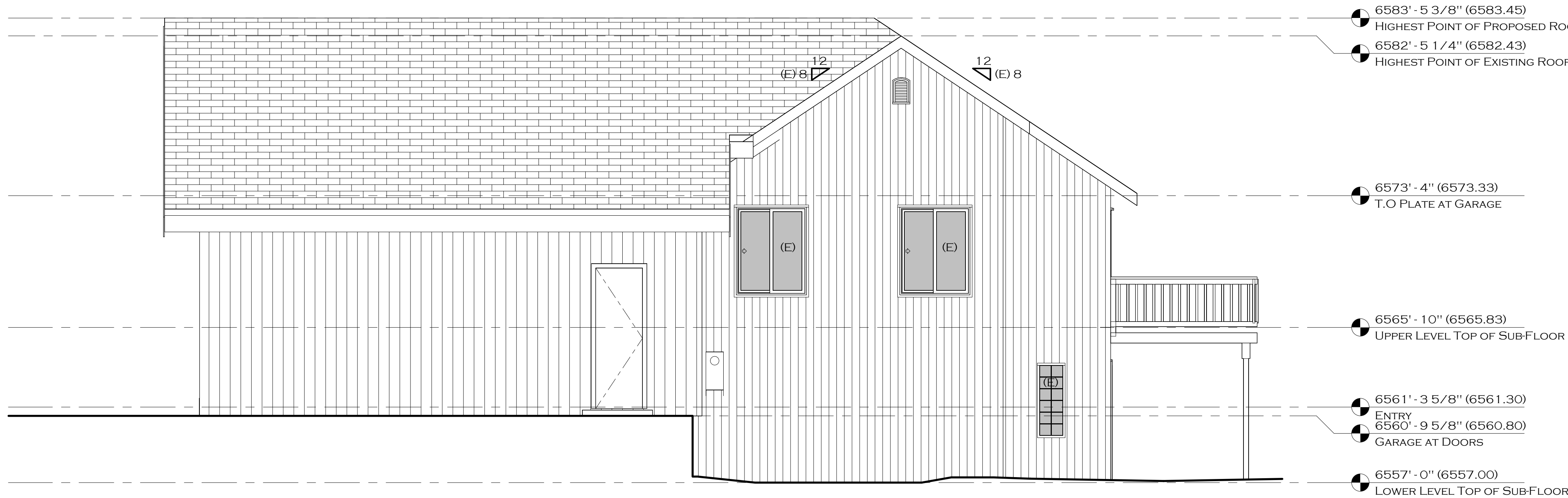
COLOR: THE COLOR OF THE STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTHTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. APPROPRIATE EARTHTONES ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, GREEN, GRAY AND UMBER.

ROOF: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTH-TONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY. ALL EXPOSED METAL ROOFING MATERIALS, INCLUDING FLASHING AND CHIMNEY CAPS, SHALL BE PAINTED OR PRE-WEATHERED TO MINIMIZE REFLECTIVITY.

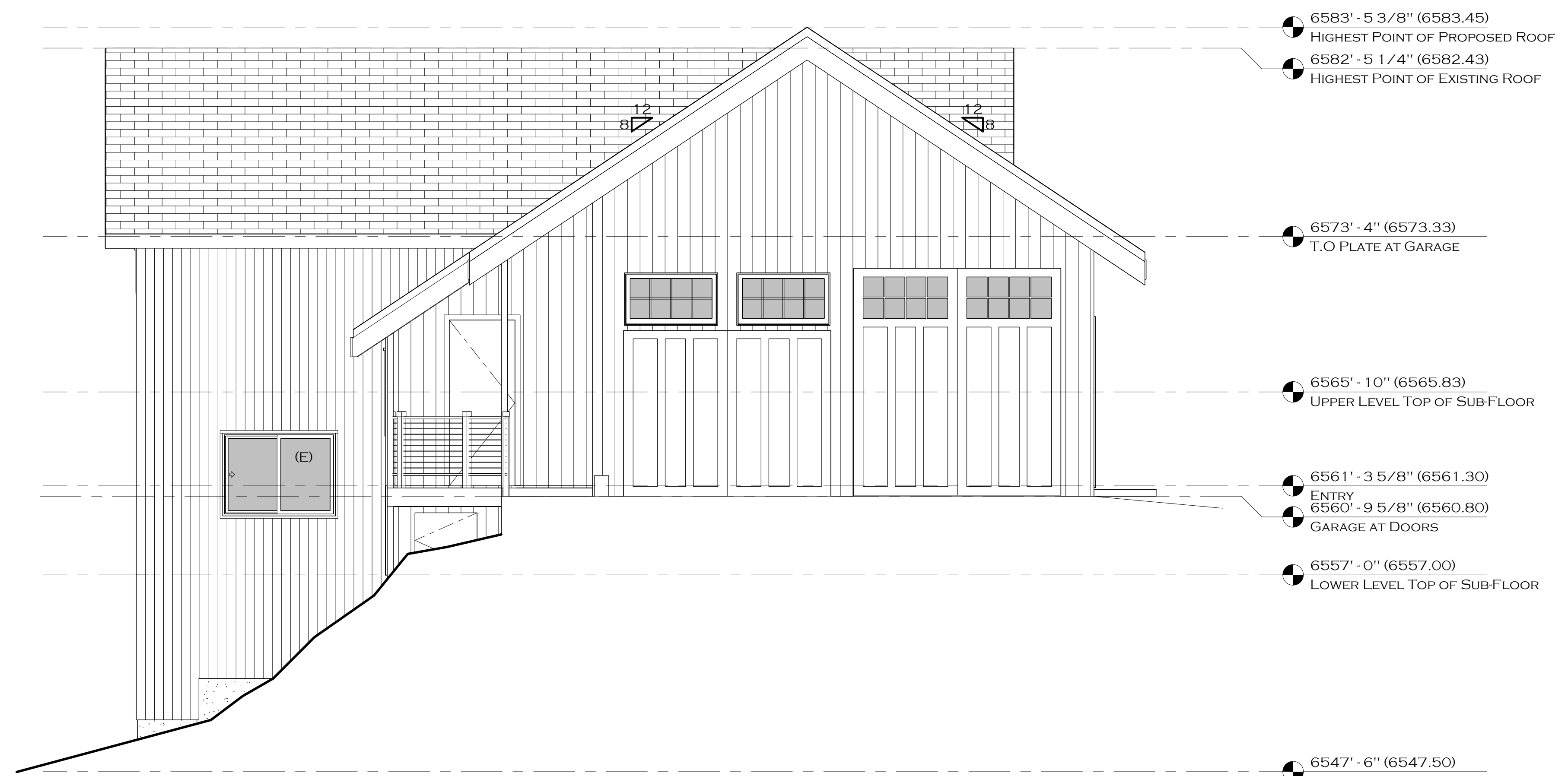
FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CHAIN-LINK FENCES AND GATES MUST BE USED, THEY SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET 5 OF 10



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

A RESIDENTIAL REMODEL/ADDITION FOR

HOLDEN

597 KNOTTY PINE DRIVE
INCLINE VILLAGE, NEVADA 89451
WASHOE COUNTY, APN 122-142-11

REVISIONS:

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SHEET CONTENTS

EXTERIOR ELEVATIONS

PROJECT KEYNOTES

TRPA HEIGHT CALCS.

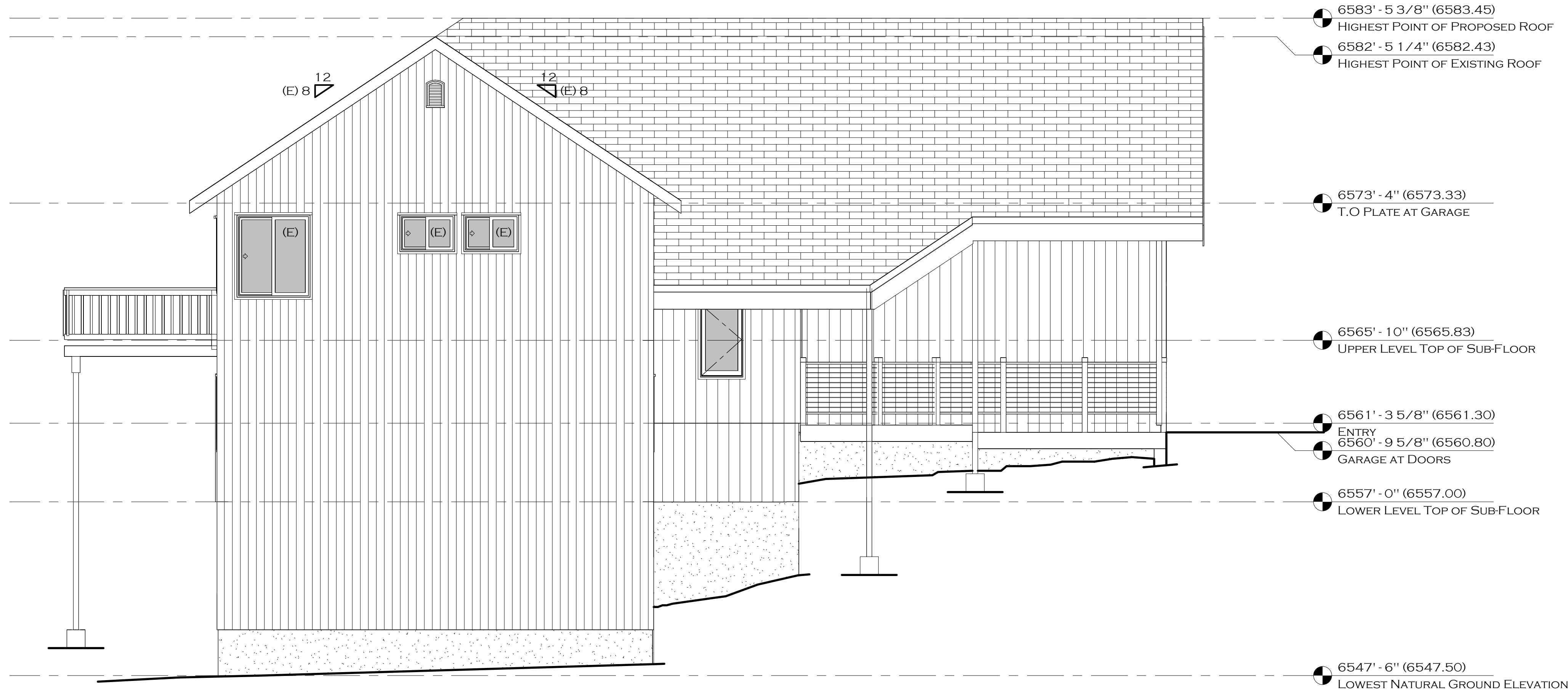
PERCENT CROSS SLOPE RETAINED ACROSS BUILDING SITE	24%
PROPOSED ROOF PITCH	8:12
MAXIMUM HEIGHT (TRPA CODE ORDINANCES, CHAPTER 37, TABLE 37.4.1-1)	39'-7"
HEIGHT OF EXISTING STRUCTURE	34'-11 3/4"
PROPOSED HEIGHT OF ADDITION	35'-11 3/8"
LOWEST NATURAL GROUND ELEVATION	6,547.5'

REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET 5 OF 10

SHEET NUMBER

10 OF 10



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"