

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>St. Francis of Assisi Catholic Church</b>			
Project Description: The applicant is proposing an addition to the existing church; approximately 976 s.f. footprint. The proposed expansion will not result in an intensification of the existing use but will facilitate classrooms and offices that are part of the church's current operation.			
Project Address: 701 Mt. Rose Hwy			
Project Area (acres or square feet): 536,232 s.f. / 12.31 acres			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>The site is located in Incline Village on Hwy 431</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
124-032-01	9.17		
124-062-62	3.14		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: St. Francis of Assisi Church		Name: Collaborative Design Studio	
Address: 290 S. Arlington Ave., Ste 200		Address: 9444 Double R Blvd., Suite B	
Reno, NV	Zip: 89501	Reno, NV	Zip: 89521
Phone: 832.492-5197	Fax:	Phone: 775.348-777	Fax:
Email: johnk@sftahoe.org		Email: kevinm@collaborativedesignstudio.com	
Cell:	Other:	Cell:	Other:
Contact Person: John Keehan		Contact Person: Kevin Merkling	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name: Kristina Hill, Hill Planning Inc	
Address:		Address: P.O. Box 6139	
	Zip:	Incline Village, NV	Zip: 89450
Phone:	Fax:	Phone: 775.544-4345	Fax:
Email:		Email: tahoehills@att.net	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Kristina Hill	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: ST. FRANCIS OF ASSISI CATHOLIC PARISH CORPORATION

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )
COUNTY OF WASHOE )

I, JOHN KEETAN (please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 124-032-01 & 124-031-62

Printed Name JOHN KEETAN
Signed [Signature]
Address 701 MT. ROSE HWY
FV, NV. 89451

Subscribed and sworn to before me this 12 day of February, 2020

Jeffrey Whitt
Notary Public in and for said county and state

My commission expires: Aug. 8, 2020



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
[X] Corporate Officer/Partner (Provide copy of record document indicating authority to sign.) SECRETARY
Owner Agent (Provide copy of Power of Attorney.)
Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
Property Agent (Provide copy of record document indicating authority to sign.)
Letter from Government Agency with Stewardship

**ST. FRANCIS OF ASSISI CATHOLIC PARISH CORPORATION  
(SFA CPC)  
BOARD OF DIRECTORS MEETING**

September 26, 2017  
Reno Diocese Pastoral Center  
290 S. Arlington Ave., Reno, NV

The undersigned, being all of the directors of St. Francis of Assisi Catholic Parish Corporation, held its annual meeting on September 26, 2017 at the Reno Diocese Pastoral Center, located at 290 S. Arlington Ave., Reno, Nevada. Some members attended the meeting via telephone.

**ATTENDING:**

Bishop Randolph R. Calvo, DD, JCD  
Mr. Mike Quilici, Chief Development Officer  
Reverend William Nadeau, SFA Parish Priest, SFA CPC President  
Dianne Severance, SFA FC Chair, SFA CPC Treasurer  
John Keehan, SFA Business Manager, SFA CPC Secretary

**GUESTS:**

Rich Todd CPA, Diocese Director of Audit & Parish Support  
Tim Cleary, CPA, SFA Contract Accountant  
Saundra Chacon-Whitt, St. Francis of Assisi Bookkeeper

**NOT IN ATTENDANCE:**

Fred Weber, Diocese Chief Financial Officer  
Reverend Charles Durante, VG, SFA CPC Vice President

OPENING PRAYER

Reverend William Nadeau opened the meeting at 1:35 PM with a prayer.

ROLL CALL

Those in attendance noted above.

APPOINTMENT OF OFFICERS

On a motion made by Dianne Severance and seconded by Reverend William Nadeau, John Keehan was appointed Secretary.

MINUTES

On motion made by Dianne Severance and seconded by Reverend William Nadeau, the December 1, 2016 the St. Francis of Assisi Catholic Parish Corporation (SFA CPC) minutes were approved.

ADDITIONS TO THE AGENDA

Reverend William Nadeau requested the results of TTT Capital Campaign, possible future build of parking lot/parish hall, and adopting a parish be added to the agenda.

REVIEW OF FY 2016-17 FINANCIAL STATEMENTS

Rich Todd reviewed the Fiscal year results for 2016-17 using a historical spreadsheet. Total income was \$41,201 lower than the budgeted goal of \$961,550. The key

component of this shortfall was ministries being \$54,179 short of goal. It was noted that CSA rebates and many parishioner donations went to the endowment fund and that these will be directed to ministries FY 2017-18.

Total expenses were \$46,507 lower than the budgeted goal of \$961,550. Under budget items were ministries at \$38,967, support personnel at \$17,167, and clergy at \$8,889. The main over budget items were G&A with depreciation and social functions being a combined \$11,488 over budget.

The above resulted in a modest net income of \$5,306.

Lastly, restricted funds (the entity used to cover building expenses) decreased \$57,385.

#### RATIFICATION OF BUDGET

The board of directors reviewed 2017-18 Fiscal Year budget. A balanced budget was approved with both revenues and expenses being \$972,145. The key components on the revenue side include an increase in offertory of \$20,648, an increase in ministries of \$56,674, and a decrease in CSA rebates of \$20,067.

The key components on the expense side include an increase in ministries of \$11,376, an increase in support personnel (mostly new youth minister) of \$44,034, an increase in clergy (fingers crossed) of \$29,713, and a decrease in G&A (mostly new copier lease) of \$27,130.

On a motion made by Dianne Severance and seconded by Reverend William Nadeau, the FY 2017-2018 budget was ratified.

#### DISCUSSION/APPROVAL OF CONSTRUCTION PROJECTS

No current construction projects over \$10,000.

#### STATUS OF SYNOD INITIATIVES

Reverend William Nadeau sent Bishop Calvo an update. Bishop Calvo is happy with what the parish is doing and noted that we are pursuing our initiatives in a very good way. It was mentioned that St. Francis is a model that other parishes should follow.

#### OTHER ITEMS

John Keehan updated the board on the TTT Capital Campaign results. St. Francis has \$300,000 in pledges over its goal of \$854,000 and is only \$11,000 short in actual received donations received of making the goal. The participation rate is highest in the diocese at 29%. The Parish will be making a commitment push the weekend of Oct. 7/8 in the hopes of increasing the participation rate to the mid 40's.

Reverend William Nadeau will met with both the finance and pastoral councils regarding the possible construction of a multi-purpose building. A feasibility study will be conducted and updates will be provided.

Reverend William Nadeau mentioned that some parishioners would like to "adopt a parish." As with above, a feasibility study will be conducted. The parish would likely have to choose between a new building or adopt a parish.

Reverend William Nadeau reiterated his desire to have a Spanish speaking priest. If not a full time perhaps just someone to help occasionally on Sunday afternoons. Bishop Calvo noted that this is a challenging year for personnel.

CLOSING PRAYER

Bishop Calvo concluded the meeting with a closing prayer.

ADJOURNMENT

Having no other business, the meeting was adjourned at 2PM by unanimous consent.

NEXT ANNUAL MEETING:

TBD

**Administrative Permit Application  
Supplemental Information**  
(All required information may be separately attached)

1. What is the type of project or use being requested?

Church addition of offices and classrooms

2. What section of the Washoe County code requires the Administrative permit required?

Sec. 110.904.20

3. What currently developed portions of the property or existing structures are going to be used with this permit?

12.31 acre site and existing church.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Proposed construction summer of 2020

5. Is there a phasing schedule for the construction and completion of the project?

No.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The 12.31 acre site, the existing church.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

More space for existing operations.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

Install temp and permanent BMPs. Limit construction hours

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

--

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

<b>No landscaping proposed.</b>
---------------------------------

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

<b>No signage proposed</b>
----------------------------

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

14. Utilities:

a. Sewer Service	IVGID
b. Water Service	IVGID

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

--

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

**CollectionCart**

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

**Pay Online**

No payment due for this account.

**Washoe County Parcel Information**

Parcel ID	Status	Last Update
12403162	Active	2/11/2020 2:09:26 AM

**Current Owner:**  
ST FRANCIS OF ASSISI REAL PROPERTY LLC  
  
290 S ARLINGTON AVE STE 200  
RENO, NV 89501

**SITUS:**  
701 MOUNT ROSE HWY  
INCLINE VILLAGE NV

**Taxing District**  
5200

**Geo CD:**

Legal Description

Township 16 Section 16 Lot Block Range 18 SubdivisionName \_UNSPECIFIED

**Tax Bill (Click on desired tax year for due dates and further details)**

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2019	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2018	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2017	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2016	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2015	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total					\$0.00

**Disclaimer**

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

**Pay By Check**

Please make checks payable to:  
WASHOE COUNTY TREASURER

**Mailing Address:**  
P.O. Box 30039  
Reno, NV 89520-3039

**Overnight Address:**  
1001 E. Ninth St., Ste D140  
Reno, NV 89512-2845





**ST. FRANCIS OF ASSISI CHURCH, ADDITION**  
**701 MT. ROSE HWY / APN: 124-030-62**

**Project Description:**

The applicant is proposing to add office and classroom space to the existing church. The proposed expansion will not result in an intensification of the existing use but will facilitate classrooms and offices for uses that are part of the church's current operation. The uses currently use the hallway outside the admin office in the lower level of the church building.

**Height:**

The proposed addition will not exceed the allowable height per the TRPA Code of Ordinances.

**Coverage:**

The applicant proposes to create a project area with the church owned parcel across Kelly Dr. from the church; APN 124-032-01. The site currently contains the Pastor's residence and an ancillary parking lot for the church. The proposed coverage will be within the limits of the Bailey system.

**BMPs:**

The applicant will install both temporary and permanent BMPs with the capacity to infiltrate all run-off from the site.

**Construction:**

The proposed construction will be staged in the east parking lot. Temporary BMPs including filter fabric and construction fencing as well as waddles will prevent any run-off from disturbed areas. Permanent BMPs will be sized to infiltrate all runoff from impervious surfaces.

**Tree Removal:**

No trees are proposed to be removed as part of this project.

**ST. FRANCIS OF ASSISI CHURCH, ADDITION**  
**701 MT. ROSE HWY / APN: 124-030-62**

**Project Description:**

Administrative Permit

The applicant is proposing to add office and classroom space to the existing church. Currently the church contains approximately 12,156 s.f. of floor area. The proposed two-story addition contains approximately 1,952 s.f. of floor area which is greater than (>) 10% of existing floor area; therefore, an administrative permit is required.

Director's Modification

In addition to the Administrative Permit application, the applicant is filing a Director's Modification application to waive the landscaping standards. The site is located in a densely forested area of Incline Village. The church was constructed in the 1960s and has created and maintained ornamental landscaping around the property while retaining the existing, natural pine forest. Please refer to photos submitted as part of this application.

Background

The church received a Washoe County Director's Modification permit on September 26, 2019 that waived the landscaping requirement for the auxiliary parking area located on and adjacent property on Kelly Drive which is utilized as overflow parking. The premise of the permit is due to the abundance of existing trees which provide shade and an aesthetic surrounding.

Use

The proposed expansion will not result in an intensification of the existing use but will facilitate classrooms and offices for uses that are part of the church's current operation. The uses currently use the hallway outside the admin office in the lower level of the church building.

Height

The proposed addition will not exceed the allowable height per the TRPA Code of Ordinances.

Coverage:

The applicant proposes to create a project area with the church owned parcel across Kelly Dr. from the church; APN 124-032-01. The site currently contains the Pastor's residence and an ancillary parking lot for the church. The proposed coverage will be within the limits of the Bailey system.

BMPs

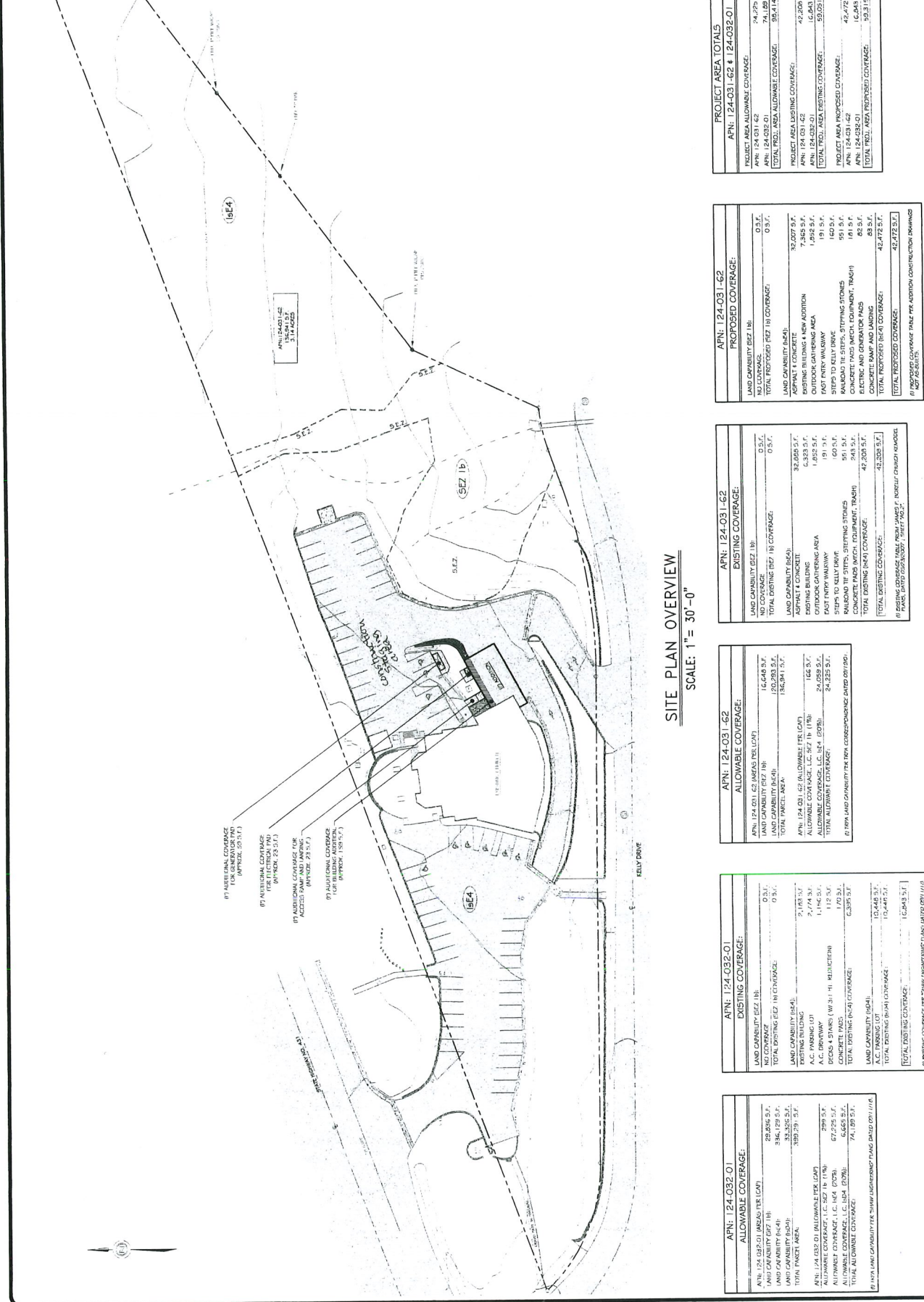
The applicant will install both temporary and permanent BMPs with the capacity to infiltrate all run-off from the site for a 20 year one hour storm.

### Construction

The proposed construction will be staged in the east parking lot. Temporary BMPs including filter fabric and construction fencing as well as waddles will prevent any runoff from disturbed areas. Permanent BMPs will be sized to infiltrate all runoff from impervious surfaces.

### Tree Removal

No trees are proposed to be removed as part of this project.



**SITE PLAN OVERVIEW**  
 SCALE: 1" = 30'-0"

APN: 124-032-01	
ALLOWABLE COVERAGE:	
LAND CAPABILITY (SEZ 1B)	28,296 S.F.
NO COVERAGE	534,129 S.F.
TOTAL PAREL AREA	562,425 S.F.
APN: 124-032-01 (ALLOWABLE PER LOT)	298 S.F.
ALLOWABLE COVERAGE, I.C. (SEZ 1B (1))	67 S.F.
TOTAL ALLOWABLE COVERAGE	741,289 S.F.
* IN 10% LAND CAPABILITY PER TRAILOR COURT/STORAGE/PAVING DRIVE PER 11/10	

APN: 124-032-01	
EXISTING COVERAGE:	
LAND CAPABILITY (SEZ 1B)	0 S.F.
NO COVERAGE	0 S.F.
TOTAL EXISTING COVERAGE	0 S.F.
EXISTING BUILDING	2,176 S.F.
A.C. DRIVEWAY	1,176 S.F.
PODS & STAIRS (W/3:1 H)	1,176 S.F.
CONCRETE PADS	170 S.F.
TOTAL EXISTING COVERAGE	5,304 S.F.
LAND CAPABILITY (SEZ 1B)	10,446 S.F.
A.C. PARKING LOT	10,446 S.F.
TOTAL EXISTING COVERAGE	20,892 S.F.
TOTAL EXISTING COVERAGE	10,446 S.F.
* IN EXISTING COVERAGE PER TRAILOR COURT/STORAGE/PAVING DRIVE PER 11/10	

APN: 124-031-62	
ALLOWABLE COVERAGE:	
LAND CAPABILITY (SEZ 1B)	1,648 S.F.
NO COVERAGE	120,263 S.F.
TOTAL PAREL AREA	121,911 S.F.
APN: 124-031-62 (ALLOWABLE PER LOT)	146 S.F.
ALLOWABLE COVERAGE, I.C. (SEZ 1B (1))	24,059 S.F.
TOTAL ALLOWABLE COVERAGE	24,205 S.F.
* IN 10% LAND CAPABILITY PER TRAILOR COURT/STORAGE/PAVING DRIVE PER 11/10	

APN: 124-031-62	
EXISTING COVERAGE:	
LAND CAPABILITY (SEZ 1B)	0 S.F.
NO COVERAGE	0 S.F.
TOTAL EXISTING COVERAGE	0 S.F.
ASPHALT & CONCRETE	32,007 S.F.
EXISTING BUILDING	7,345 S.F.
OUTDOOR GATHERING AREA	1,252 S.F.
PAVING DRIVEWAY	140 S.F.
STAIRS TO GULLY BOWL	95 S.F.
CONCRETE PADS (MATCH EQUIPMENT, TRASH)	243 S.F.
TOTAL EXISTING COVERAGE	42,200 S.F.
LAND CAPABILITY (SEZ 1B)	43,200 S.F.
TOTAL EXISTING COVERAGE	43,200 S.F.
* IN EXISTING COVERAGE PER TRAILOR COURT/STORAGE/PAVING DRIVE PER 11/10	

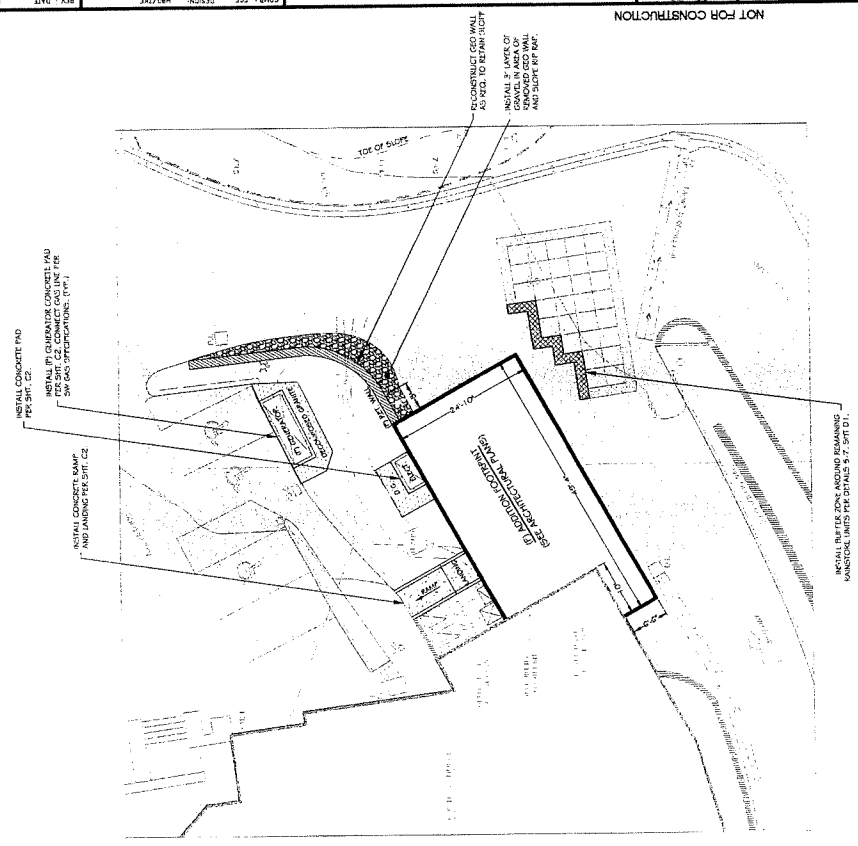
APN: 124-031-62	
PROPOSED COVERAGE:	
LAND CAPABILITY (SEZ 1B)	0 S.F.
NO COVERAGE	0 S.F.
TOTAL PROPOSED COVERAGE	0 S.F.
ASPHALT & CONCRETE	32,007 S.F.
EXISTING BUILDING + NEW ADDITION	7,345 S.F.
OUTDOOR GATHERING AREA	1,252 S.F.
PAVING DRIVEWAY	140 S.F.
STAIRS TO GULLY BOWL	95 S.F.
CONCRETE PADS (MATCH EQUIPMENT, TRASH)	243 S.F.
ELECTRIC AND GENERATOR PADS	68 S.F.
CONCRETE PAVING DRIVEWAY	42,472 S.F.
TOTAL PROPOSED COVERAGE	42,472 S.F.
* IN EXISTING COVERAGE PER TRAILOR COURT/STORAGE/PAVING DRIVE PER 11/10	

PROJECT AREA TOTALS	
APN: 124-031-62 & 124-032-01	
PROJECT AREA ALLOWABLE COVERAGE	54,299 S.F.
APN: 124-031-62	24,059 S.F.
APN: 124-032-01	30,240 S.F.
TOTAL PROJECT AREA ALLOWABLE COVERAGE	54,299 S.F.
PROJECT AREA EXISTING COVERAGE	42,200 S.F.
APN: 124-031-62	42,200 S.F.
APN: 124-032-01	0 S.F.
TOTAL PROJECT AREA EXISTING COVERAGE	42,200 S.F.
PROJECT AREA PROPOSED COVERAGE	42,472 S.F.
APN: 124-031-62	42,472 S.F.
APN: 124-032-01	0 S.F.
TOTAL PROJECT AREA PROPOSED COVERAGE	42,472 S.F.

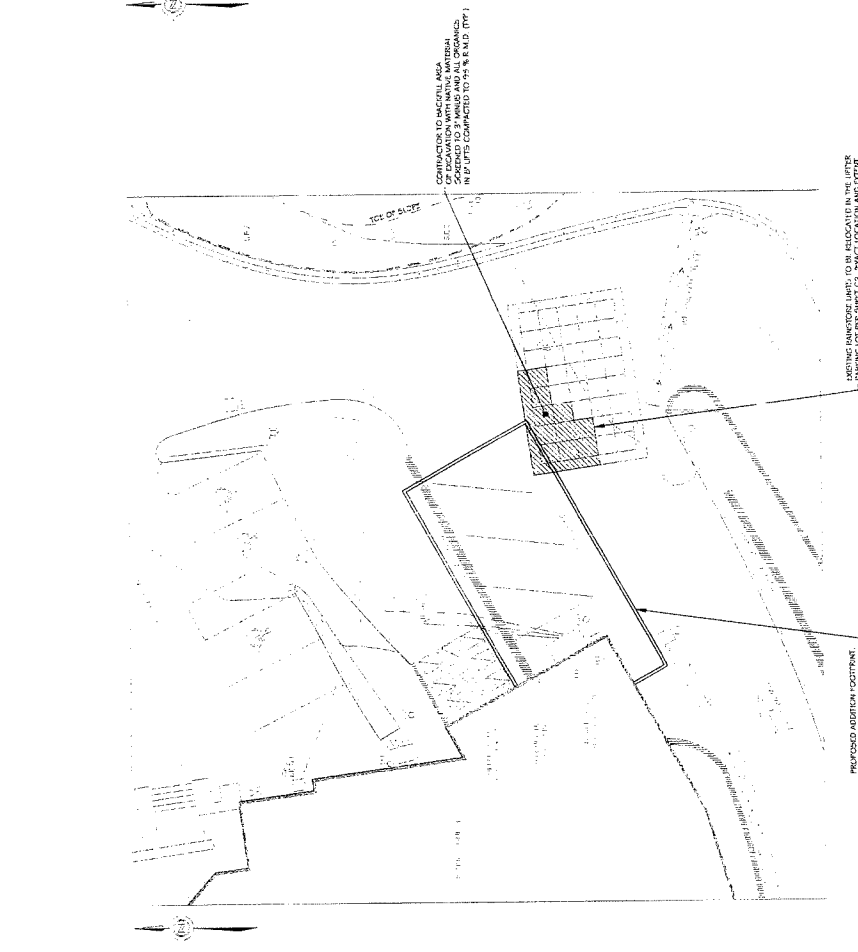


DATE: DECEMBER 23, 2018	CDR: JJJ
PROJECT: ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT	SCALE: AS SHOWN
DATE: DECEMBER 23, 2018	DATE: DECEMBER 23, 2018
DATE: DECEMBER 23, 2018	DATE: DECEMBER 23, 2018
DATE: DECEMBER 23, 2018	DATE: DECEMBER 23, 2018

NOT FOR CONSTRUCTION



PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"



EXISTING SITE PLAN  
SCALE: 1" = 10'-0"

Call Two Working Days Before You Dig

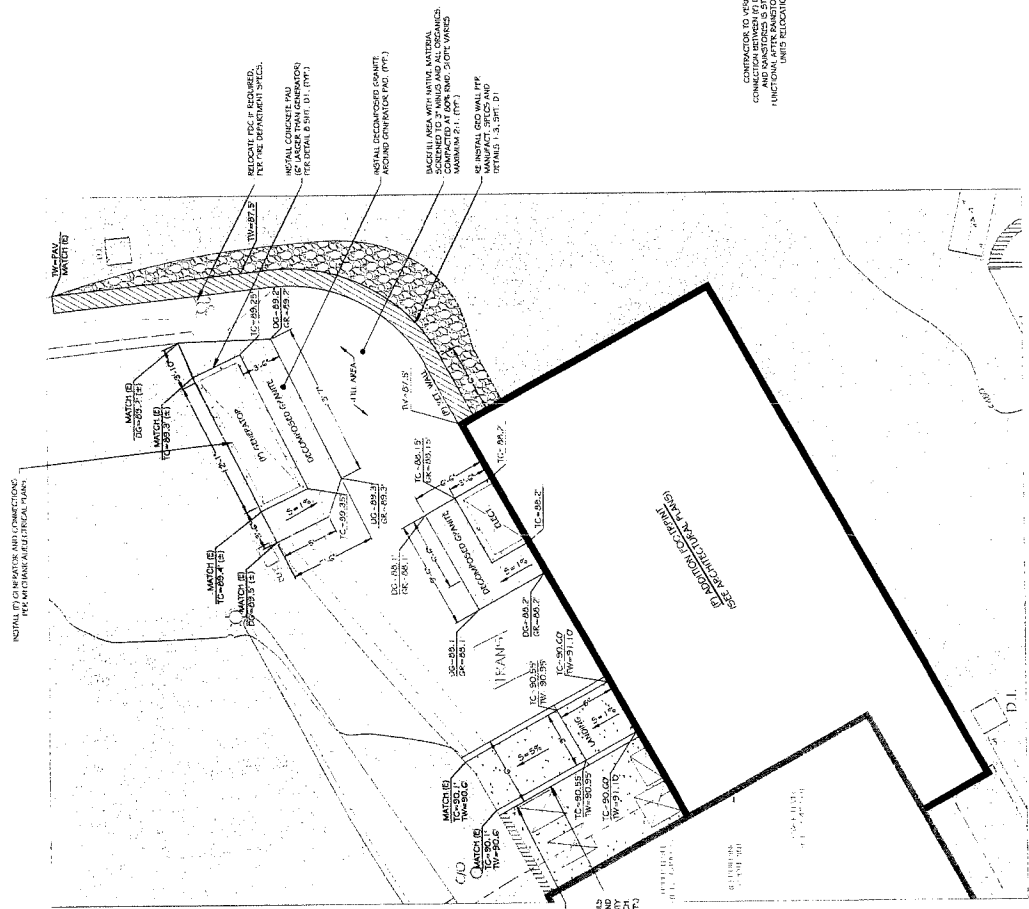
Dig Safely. Dig Smart.  
DIAL 811

**ABBREVIATIONS:**  
 HW 12" CP WALL  
 RC 12" CP CONCRETE  
 LC 12" DECOMPOSED GRANITE  
 FR CHALK

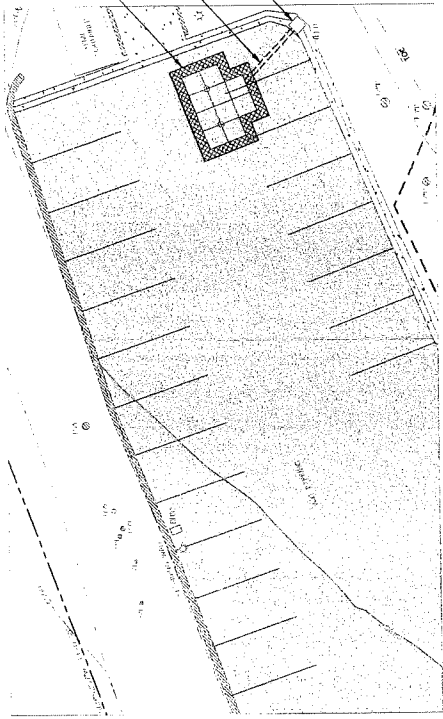
Call To Verify Days Before You Dig



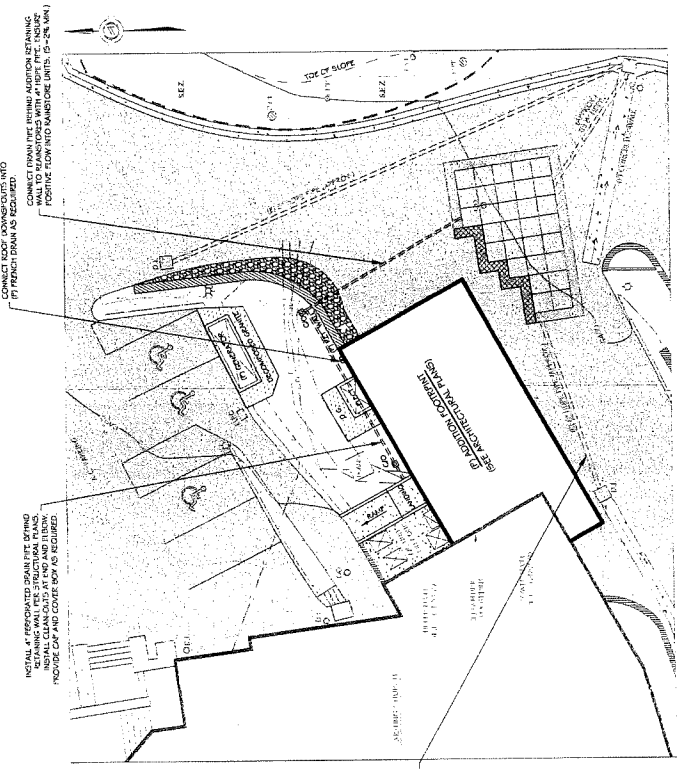
Dig safely. Dig safely.  
**DAIL 811**



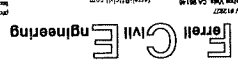
**PROPOSED GRADING PLAN**  
 SCALE: 1" = 5'-0"



**PROPOSED DRAINAGE PLAN—EAST UPPER PARKING LOT**  
 SCALE: 1" = 10'-0"



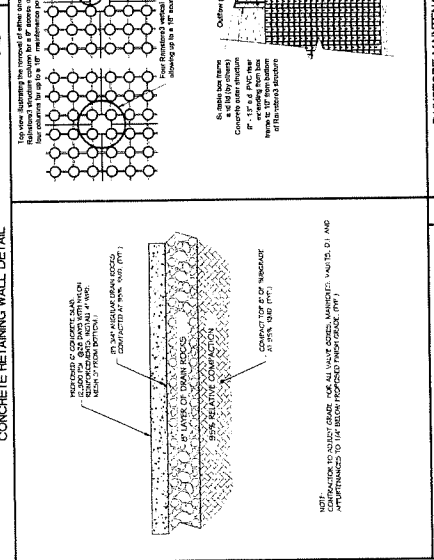
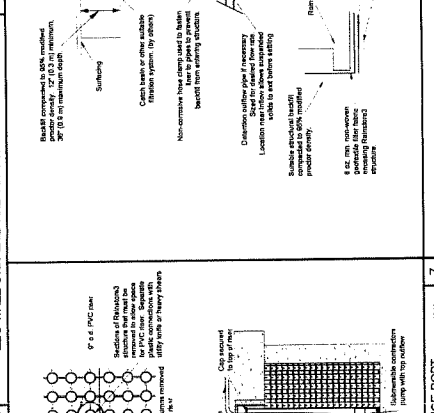
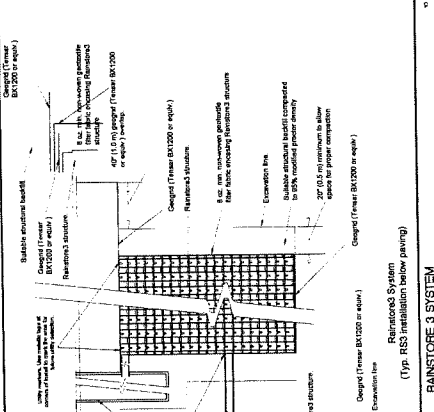
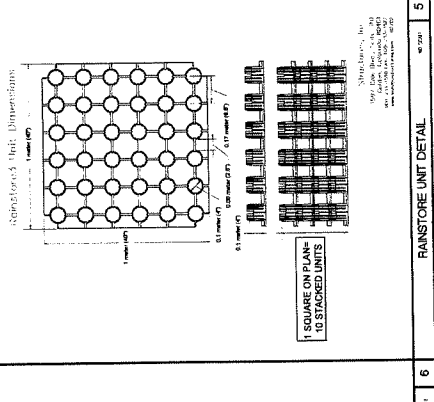
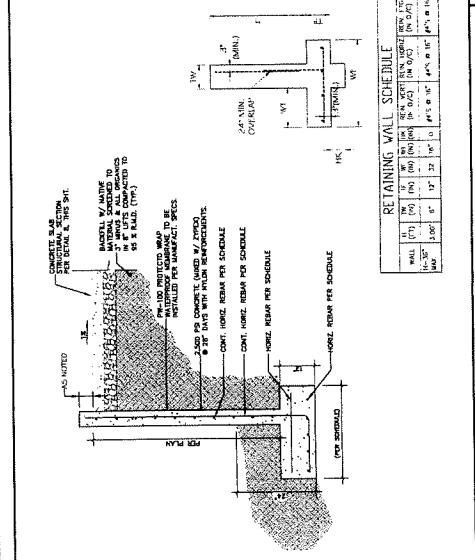
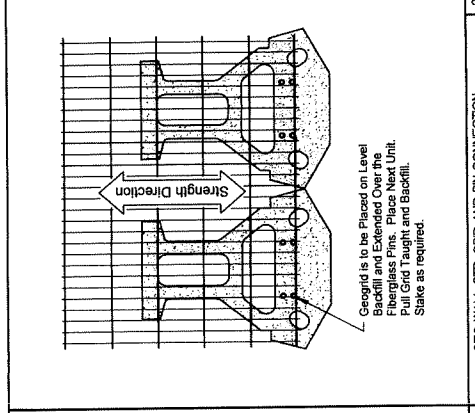
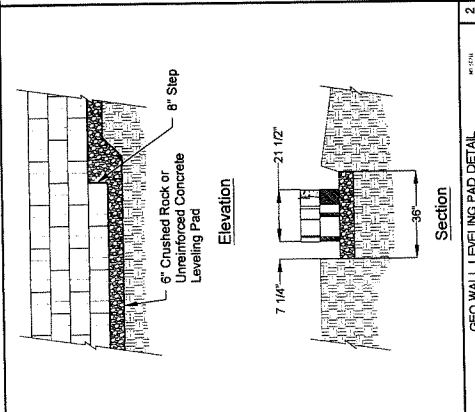
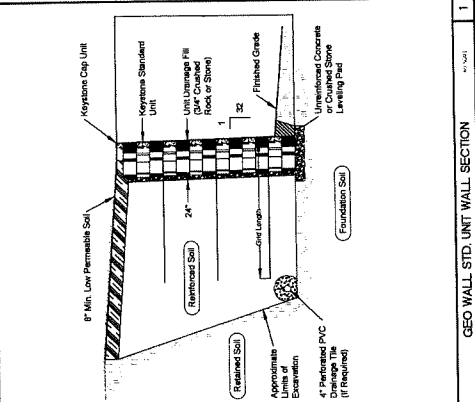
**PROPOSED DRAINAGE PLAN**  
 SCALE: 1" = 10'-0"



DATE: DECEMBER 27, 2019  
 SCALE: AS SHOWN  
 PROJECT: ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT  
 DRAWING: GRADING AND DRAINAGE PLANS  
 SHEET: C2



DATE: DECEMBER 27, 2019  
 SCALE: AS SHOWN  
 DRAWN: JRS  
 CHECKED: JRS  
 APPROVED: GALT



1 GEO WALL STD. UNIT WALL SECTION  
 2 GEO WALL LEVELING PAD DETAIL  
 3 GEO WALL STD. GRID AND FIN CONNECTION  
 4 CONCRETE RETAINING WALL DETAIL  
 5 RAINSTORE UNIT DETAIL  
 6 RAINSTORE 3 SYSTEM  
 7 RAINSTORE MAINTENANCE PORT  
 8 CONCRETE SLAB DETAIL







**GENERAL SHEET NOTES**

1. SEE GENERAL NOTES TO THESE PLANS IN THE A3 SERIES OF SHEETS IN THE PROJECT MANUAL FOR ADDITIONAL NOTES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODES AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND SMOKE-CONTROL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY AND HEALTH STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.

**SHEET KEYNOTES**

**NEW CONSTRUCTION**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODES AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND SMOKE-CONTROL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY AND HEALTH STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR CONSTRUCTION AND ALL APPLICABLE LOCAL ORDINANCES.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR MATERIALS AND ALL APPLICABLE LOCAL ORDINANCES.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR LABOR AND ALL APPLICABLE LOCAL ORDINANCES.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR EQUIPMENT AND ALL APPLICABLE LOCAL ORDINANCES.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR FINISHES AND ALL APPLICABLE LOCAL ORDINANCES.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR UTILITIES AND ALL APPLICABLE LOCAL ORDINANCES.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR TRANSPORTATION AND ALL APPLICABLE LOCAL ORDINANCES.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR TELECOMMUNICATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR SECURITY AND ALL APPLICABLE LOCAL ORDINANCES.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR SPECIAL USES AND ALL APPLICABLE LOCAL ORDINANCES.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR HISTORIC PRESERVATION AND ALL APPLICABLE LOCAL ORDINANCES.

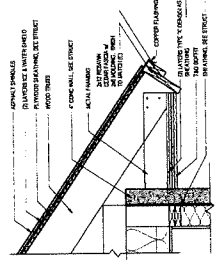
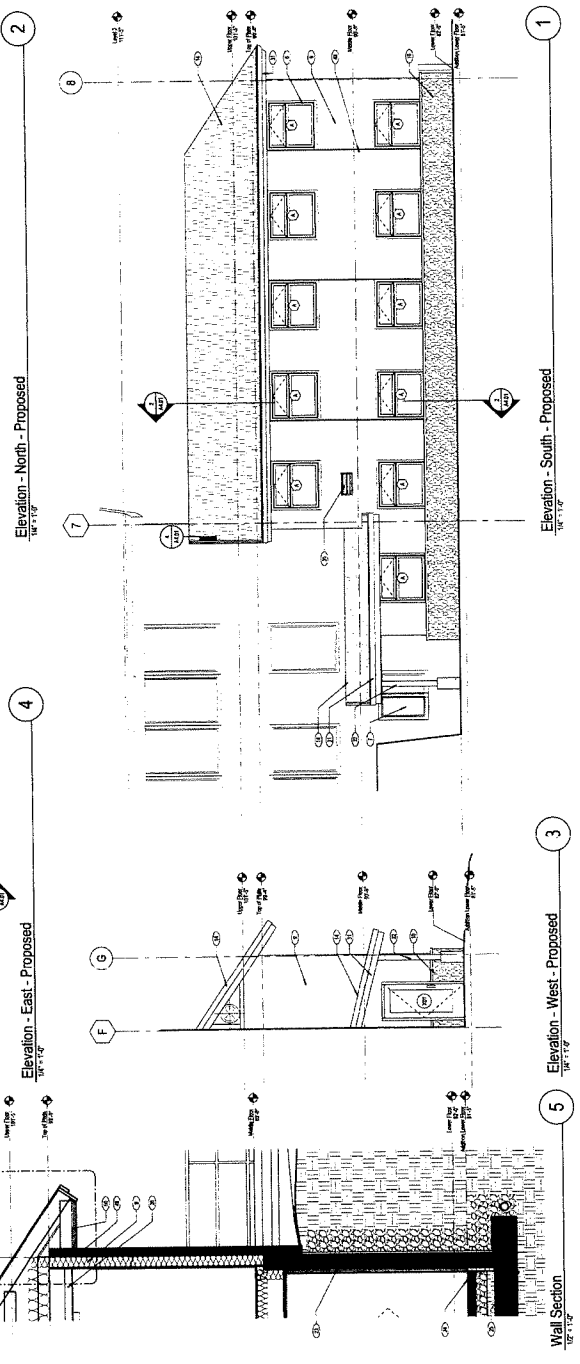
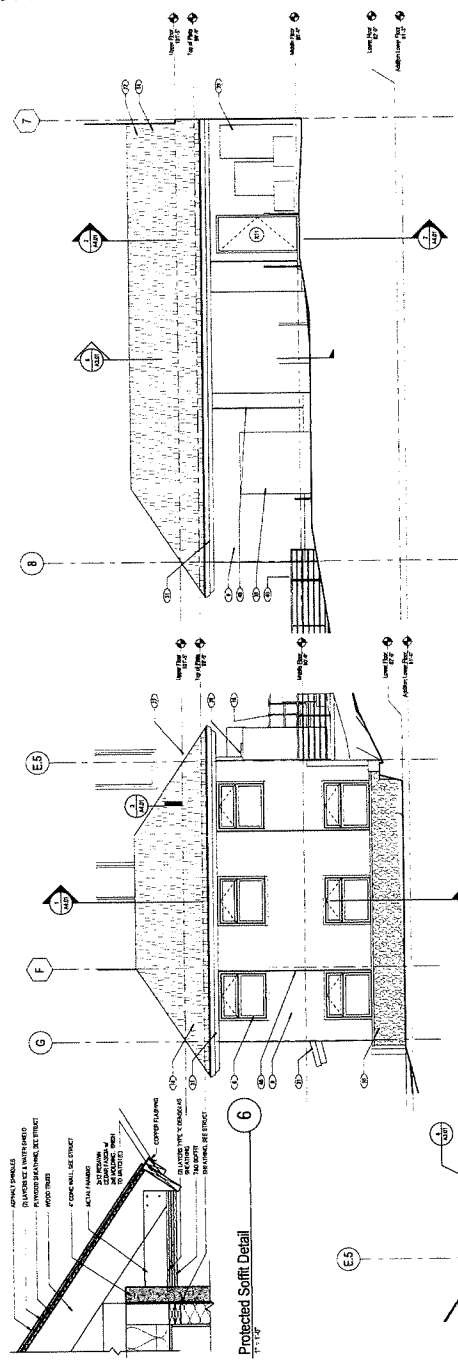
NOT FOR CONSTRUCTION

**ST. FRANCIS OF ASSISI CLASSROOM ADDITION**

A.P.N. 124-039-02  
701 MT. ROSE HWY  
INDUCE VILLAGE, NV 89451

TRPA SET  
ELEVATIONS

**A3.01**



NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

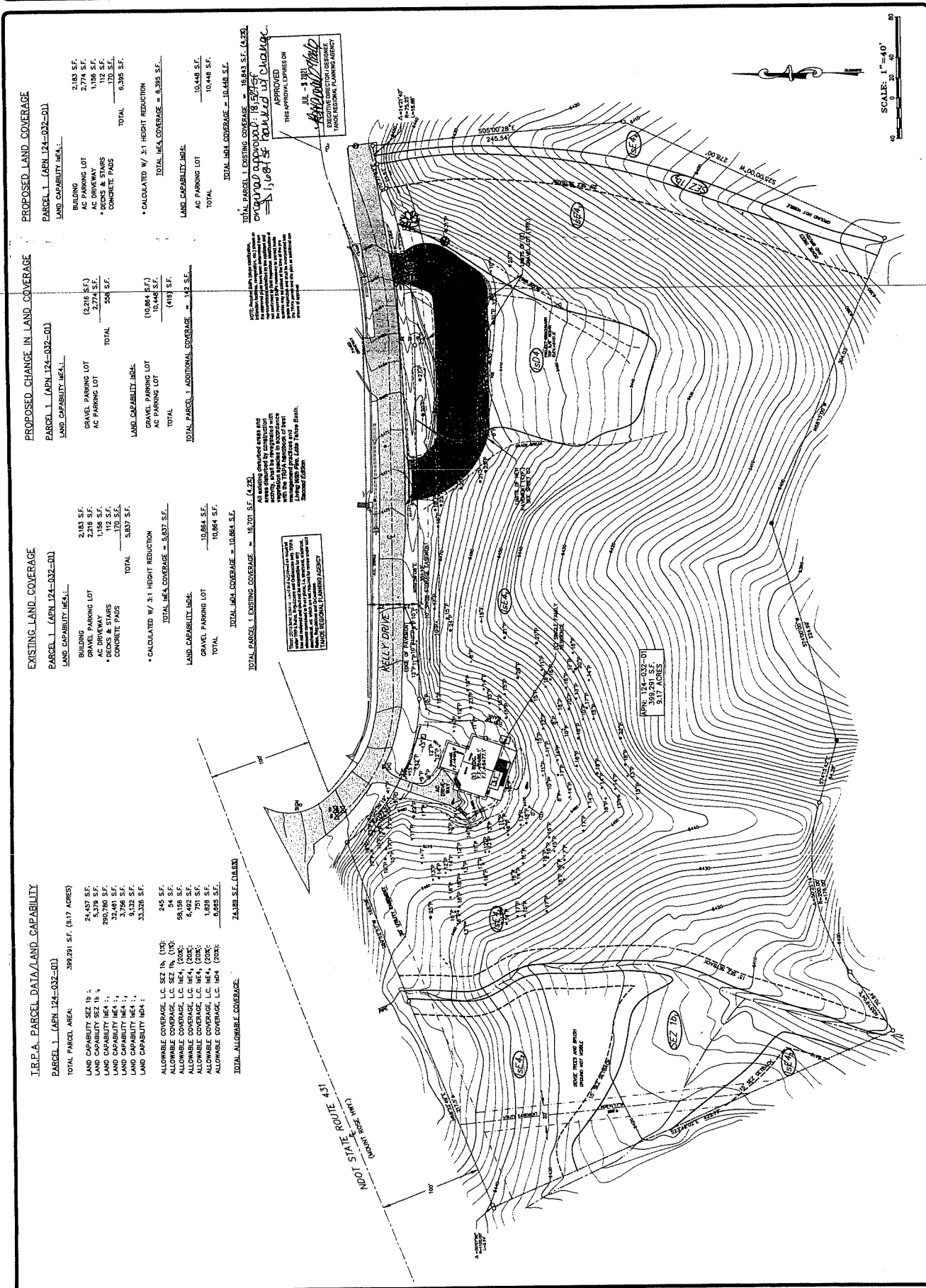
**SHAW ENGINEERING**  
 20 Via Street  
 Boca Raton, FL 33433  
 Phone: (561) 335-5555  
 Fax: (561) 335-5559  
 Email: info@shaweng.com  
 Website: www.shaweng.com

LAND COVERAGE AND SITE PLAN  
 SAINT FRANCIS OF ASSISI  
 PARKING LOT PAVING



DRAWN BY: JCS  
 CHECKED BY: JCS  
 DATE: 08/20/15  
 JOB NO. 15010

SHEET NUMBER  
**C1**



**PROPOSED LAND COVERAGE**  
 PARCEL 1 (APN 124-032-01)  
 LAND CAPABILITY AREA:  
 BUILDING 2,193 S.F.  
 AC PARKING LOT 2,774 S.F.  
 AC DRIVEWAY 1,136 S.F.  
 \*DECK & STAIRS 278 S.F.  
 CONCRETE PAVS 338 S.F.  
 TOTAL 6,395 S.F.  
 \*CALCULATED W/ 3:1 HEIGHT REDUCTION  
 TOTAL AREA COVERAGE = 6,395 S.F.

**PROPOSED CHANGE IN LAND COVERAGE**  
 PARCEL 1 (APN 124-032-01)  
 LAND CAPABILITY AREA:  
 GRAVEL PARKING LOT (2,216 S.F.)  
 AC PARKING LOT 2,774 S.F.  
 TOTAL 4,990 S.F.  
 LAND CAPABILITY AREA:  
 GRAVEL PARKING LOT (10,864 S.F.)  
 AC PARKING LOT (149) S.F.  
 TOTAL 11,013 S.F.  
 TOTAL PARCEL 1 ADDITIONAL COVERAGE = 142 S.F.

**EXISTING LAND COVERAGE**  
 PARCEL 1 (APN 124-032-01)  
 LAND CAPABILITY AREA:  
 BUILDING 2,183 S.F.  
 AC PARKING LOT 2,158 S.F.  
 AC DRIVEWAY 1,112 S.F.  
 \*DECK & STAIRS 112 S.F.  
 CONCRETE PAVS 170 S.F.  
 TOTAL 5,837 S.F.  
 \*CALCULATED W/ 3:1 HEIGHT REDUCTION  
 TOTAL AREA COVERAGE = 5,837 S.F.

**I.R.P.A. PARCEL DATA/LAND CAPABILITY**  
 PARCEL 1 (APN 124-032-01)  
 TOTAL PARCEL AREA: 390,291 S.F. (8.97 ACRES)  
 LAND CAPABILITY SEZ 1b 1: 24,457 S.F.  
 LAND CAPABILITY SEZ 1b 2: 5,378 S.F.  
 LAND CAPABILITY SEZ 1b 3: 290,780 S.F.  
 LAND CAPABILITY HE4 1: 32,481 S.F.  
 LAND CAPABILITY HE4 2: 5,132 S.F.  
 LAND CAPABILITY HE4 3: 33,236 S.F.  
 ALLOWABLE COVERAGE, L.C. SEZ 1b, (10): 54 S.F.  
 ALLOWABLE COVERAGE, L.C. SEZ 1b, (50): 58,432 S.F.  
 ALLOWABLE COVERAGE, L.C. HE4, (20%): 6,492 S.F.  
 ALLOWABLE COVERAGE, L.C. HE4, (20%): 751 S.F.  
 ALLOWABLE COVERAGE, L.C. HE4, (20%): 1,808 S.F.  
 ALLOWABLE COVERAGE, L.C. HE4, (20%): 5,855 S.F.  
 TOTAL ALLOWABLE COVERAGE: 24,189 S.F. (0.683)

**PROPOSED LAND COVERAGE**  
 PARCEL 1 (APN 124-032-01)  
 LAND CAPABILITY AREA:  
 BUILDING 2,183 S.F.  
 AC PARKING LOT 2,158 S.F.  
 AC DRIVEWAY 1,112 S.F.  
 \*DECK & STAIRS 112 S.F.  
 CONCRETE PAVS 170 S.F.  
 TOTAL 5,837 S.F.  
 \*CALCULATED W/ 3:1 HEIGHT REDUCTION  
 TOTAL AREA COVERAGE = 5,837 S.F.

**EXISTING LAND COVERAGE**  
 PARCEL 1 (APN 124-032-01)  
 LAND CAPABILITY AREA:  
 BUILDING 2,183 S.F.  
 AC PARKING LOT 2,158 S.F.  
 AC DRIVEWAY 1,112 S.F.  
 \*DECK & STAIRS 112 S.F.  
 CONCRETE PAVS 170 S.F.  
 TOTAL 5,837 S.F.  
 \*CALCULATED W/ 3:1 HEIGHT REDUCTION  
 TOTAL AREA COVERAGE = 5,837 S.F.

APPROVED APPROVAL: 18,537 S.F. (0.426 AC)  
 APPROVED APPROVAL: 1,084 S.F. (0.025 AC)  
 APPROVAL EXPIRES ON 03/31/2016  
 THE APPROVAL EXPRESSES THE APPROVAL OF THE PLANNING AGENCY.  
 III - 4 3/16/16  
 Shaw Engineering  
 PLANNING AGENCY

NOTE: The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency.

NOTE: The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency.

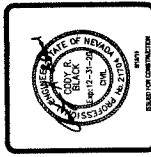
NOTE: The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency.

NOTE: The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency.

NOTE: The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency. The proposed changes in land coverage and construction are subject to the approval of the Planning Agency.

SCALE: 1" = 40'  
 0 20 40





DATE: 12/21/19  
CHECKED BY: JRM  
DRAWN BY: JRM

SHEET NUMBER  
**C3**

**SAINT FRANCIS OF ASSISI  
PARKING LOT PAVING**

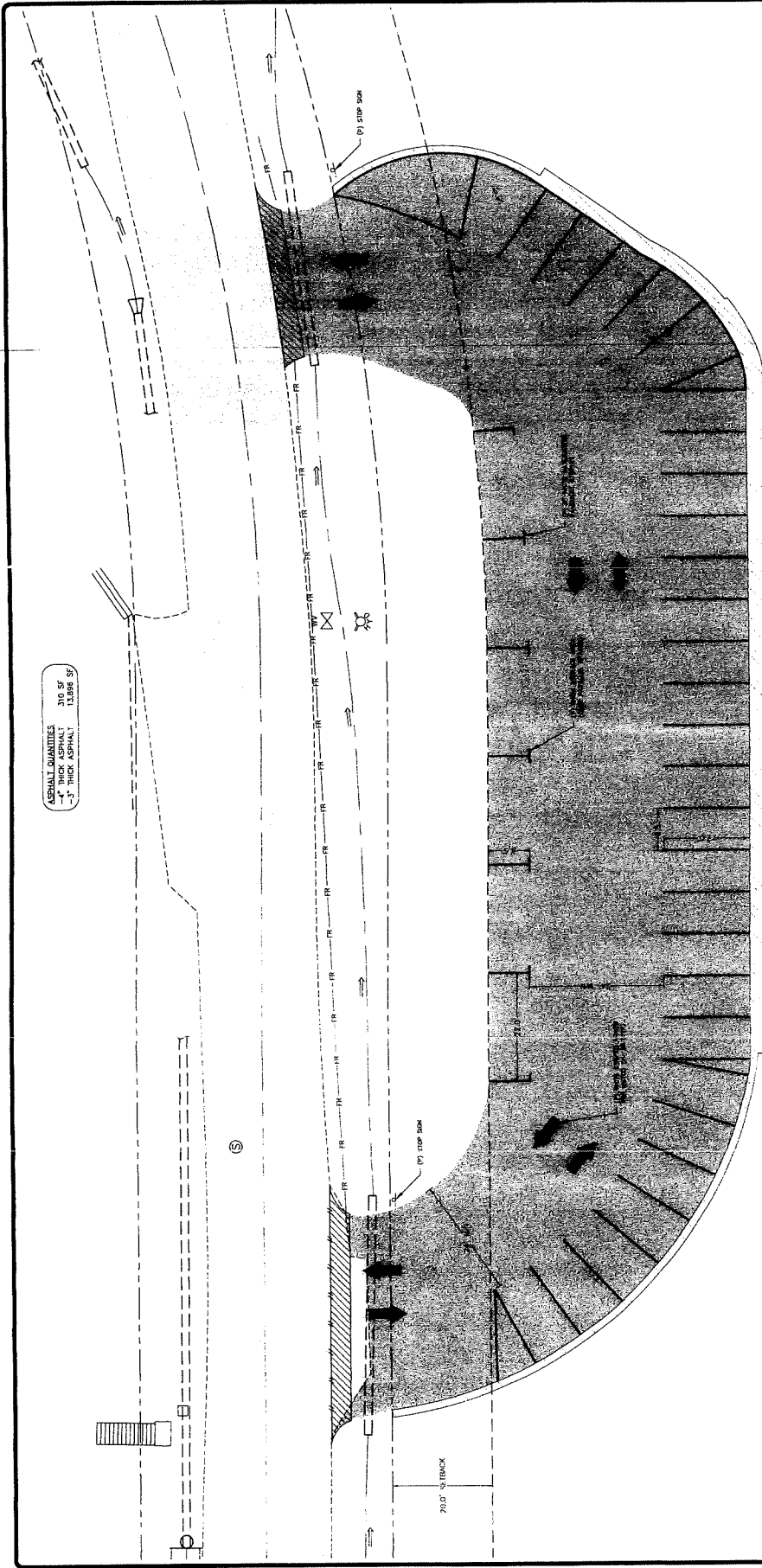
**STRIPING PLAN &  
PARKING LOT LIGHTING**

**SHAW  
ENGINEERING**

2010 Via Street  
Reno, NV 89503  
Phone: (775) 325-5559  
Toll Free: (800) 325-5559  
Fax: (775) 325-5405  
info@shawengineering.com  
www.shawengineering.com

NO.	DESCRIPTION	DATE	BY

REVISIONS

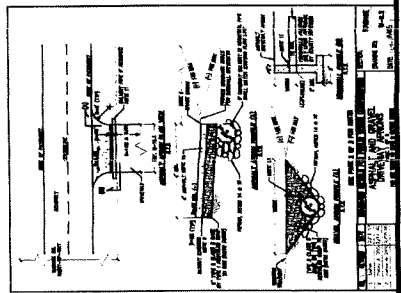
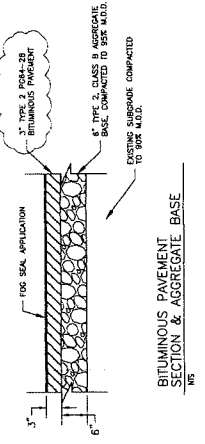


ASPHALT QUANTITIES  
310 SF  
4\"/>

(P) PAVEMENT EDGE  
MULTI-ROW WENDY, SEE  
PAGE 12

NO. 20 (MINIMUM) 1 1/2\"/>

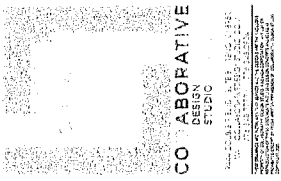
**APPROVED**  
BILL RYAN, CIVIL ENGINEER  
12/21/2019  
FOR SAINT FRANCIS OF ASSISI  
PROJECT NO. 19-0000



**NOTES**

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND LABOR NECESSARY TO COMPLETE THE WORK ACCORDING TO THE SPECIFICATIONS AND THE REVISIONS HERETO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AND EXCESS MATERIAL.
7. THE CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF THE WORK AND SUBMIT THEM TO THE ENGINEER UPON COMPLETION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND PLANTS REMOVED OR DAMAGED.
9. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY SAFETY MEASURES IN PLACE DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM DAMAGE.
11. THE CONTRACTOR SHALL MAINTAIN THE PARKING LOT IN A SAFE AND SOUND CONDITION AT ALL TIMES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL UTILITIES AND STRUCTURES DAMAGED DURING CONSTRUCTION.
13. THE CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF THE WORK AND SUBMIT THEM TO THE ENGINEER UPON COMPLETION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND PLANTS REMOVED OR DAMAGED.
15. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY SAFETY MEASURES IN PLACE DURING CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM DAMAGE.
17. THE CONTRACTOR SHALL MAINTAIN THE PARKING LOT IN A SAFE AND SOUND CONDITION AT ALL TIMES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL UTILITIES AND STRUCTURES DAMAGED DURING CONSTRUCTION.
19. THE CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF THE WORK AND SUBMIT THEM TO THE ENGINEER UPON COMPLETION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND PLANTS REMOVED OR DAMAGED.

DATE: 12/21/2019  
PROJECT NO: 19-0000



**CO LABORATIVE**  
ENGINEERS,  
ARCHITECTS,  
PLANNERS,  
AND  
LANDSCAPE ARCHITECTS

1000 W. 10th Street, Suite 100  
Washoe Valley, NV 89451  
775.784.1100  
www.co-lab.com

**ST. FRANCIS  
OF ASSISI -  
ADDITION**

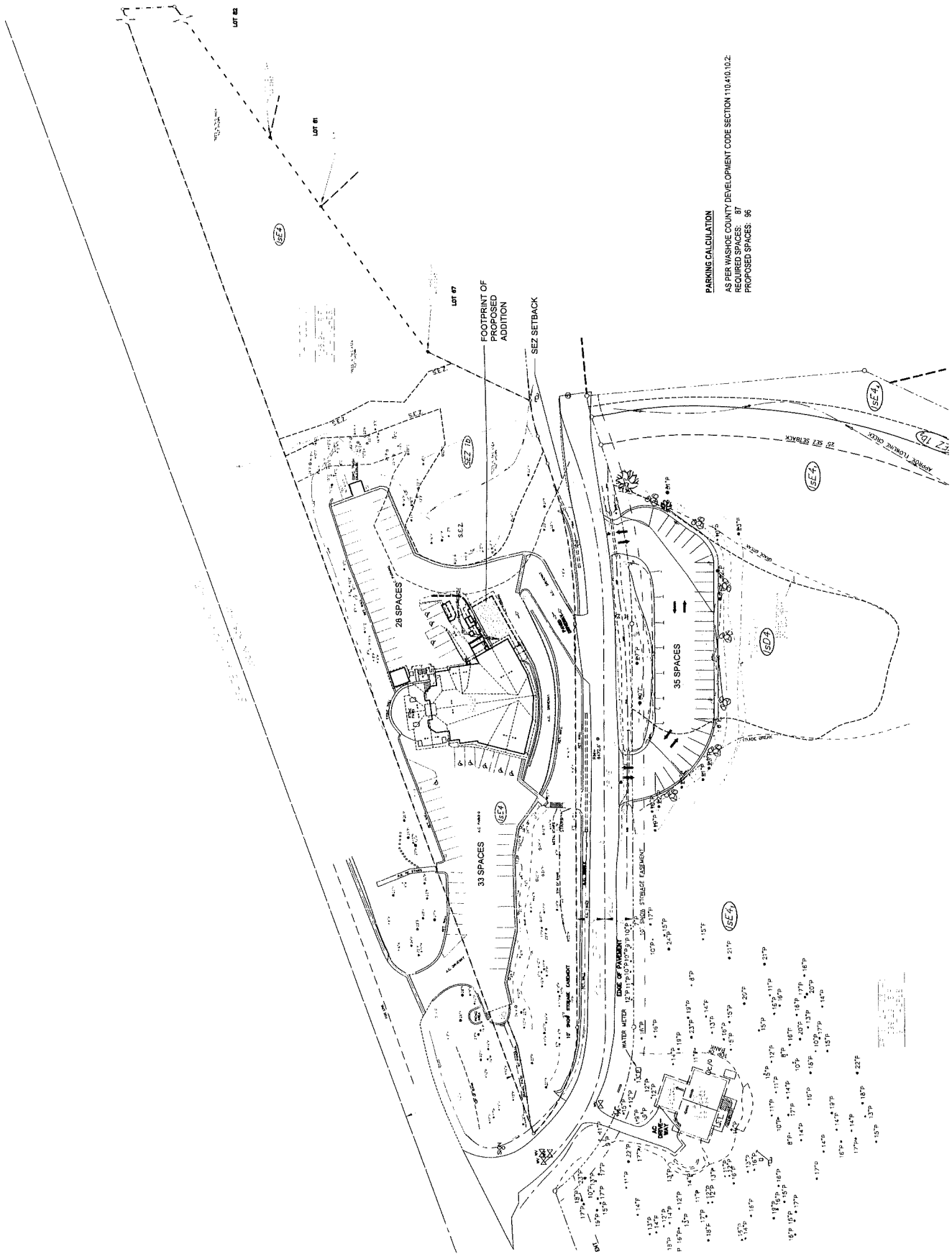
A.P.N. 124-031-162  
701 MT ROSE HIGHWAY  
INCLINE VILLAGE, NV 89451  
WASHOE COUNTY

DATE: 11/18/2014  
DRAWN BY: [Signature]

TRPA APPLICATION

PROPOSED SITE PLAN

**A1.01**



**PARKING CALCULATION**  
AS PER WASHOE COUNTY DEVELOPMENT CODE SECTION 110.410.10.2:  
REQUIRED SPACES: 87  
PROPOSED SPACES: 96



PROPOSED SITE PLAN  
11.18.2014

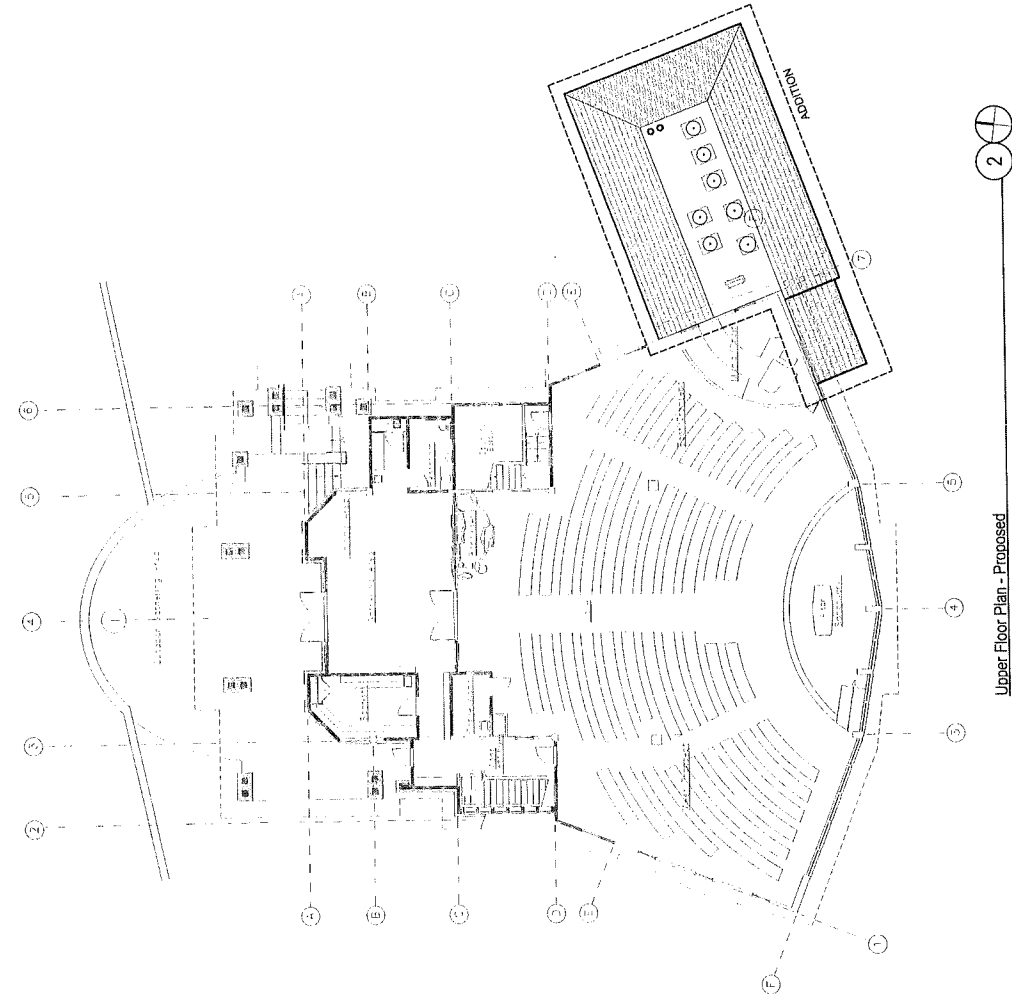
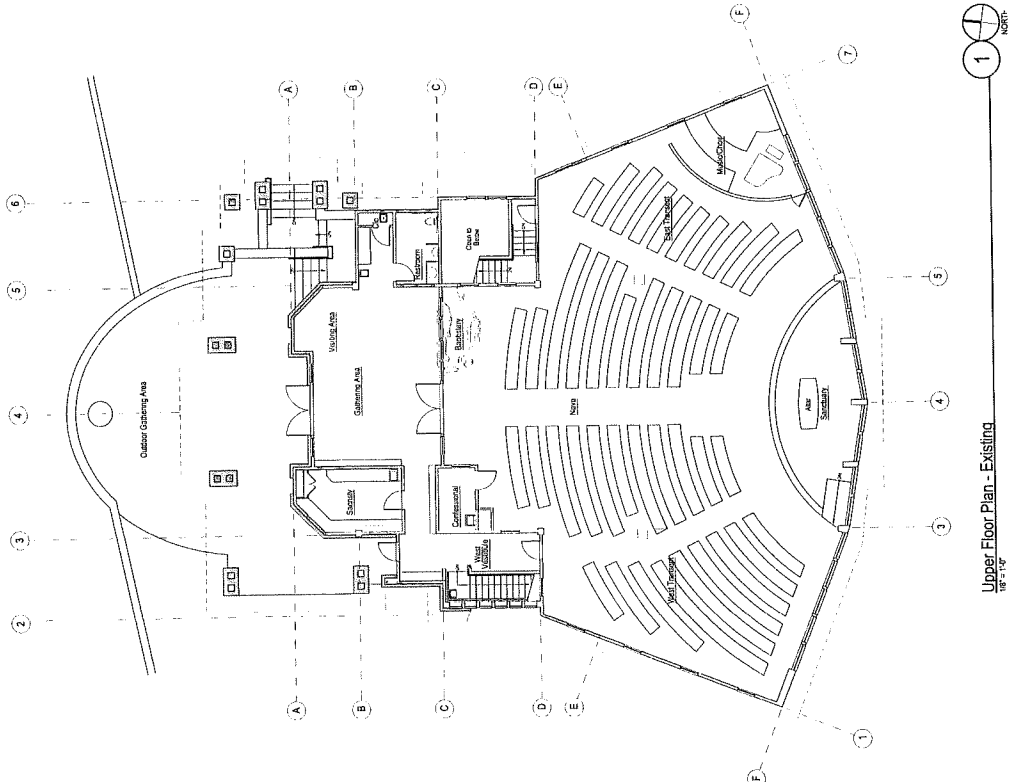
**ST. FRANCIS  
 OF ASSISI  
 CLASSROOM  
 ADDITION**

A.P.N. 124-030-52  
 701 MT ROSE HIGHWAY  
 INCLINE VILLAGE, NV 89414  
 WASHOE COUNTY  
 JOB NO. 18-07-1  
 DATE 08/20/18

TRPA APPLICATION

EXISTING AND PROPOSED  
 FLOOR PLANS - UPPER F

**TRPA - A'**

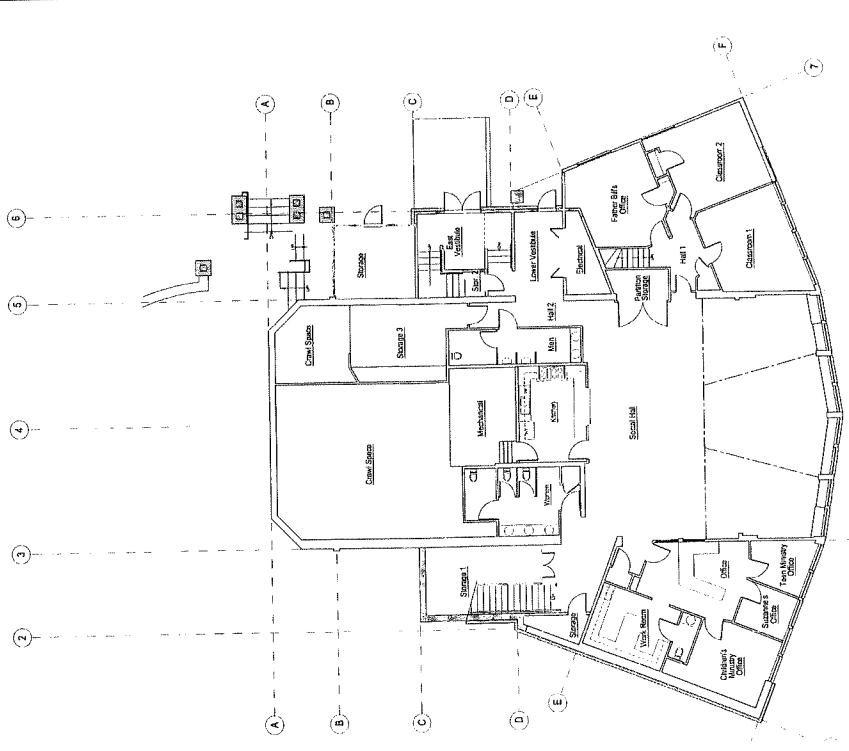


**ST. FRANCIS  
 OF ASSISI  
 CLASSROOM  
 ADDITION**

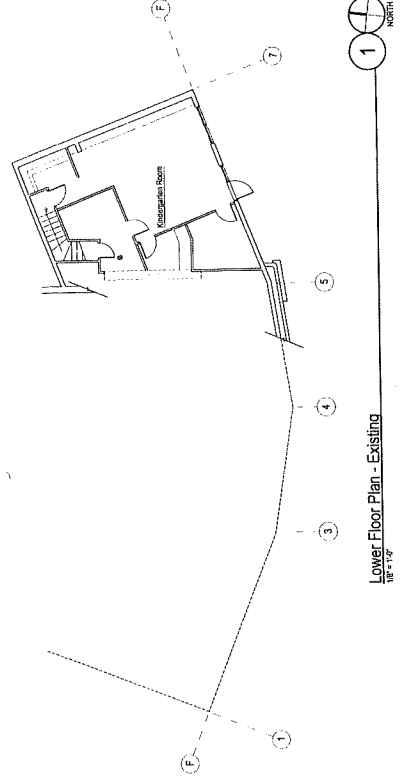
A.P.N. 124-038-02  
 701 MT ROSE HIGHWAY  
 INCLINE VILLAGE, NV 89451  
 WASHINGTON COUNTY  
 11/20/2019  
 14 NOVEMBER 2019

TRPA APPLICATION  
 EXISTING AND PROPOSED  
 FLOOR PLANS - LOWER AND  
 MIDDLE FLOORS

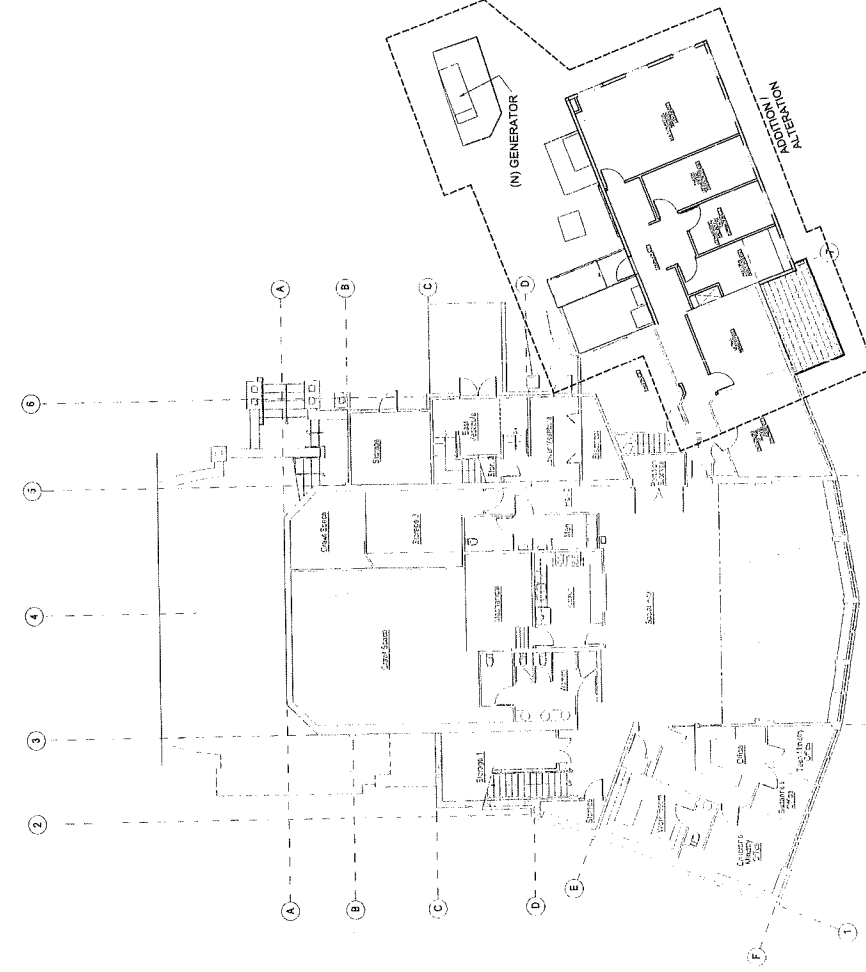
**TRPA - A2.1**



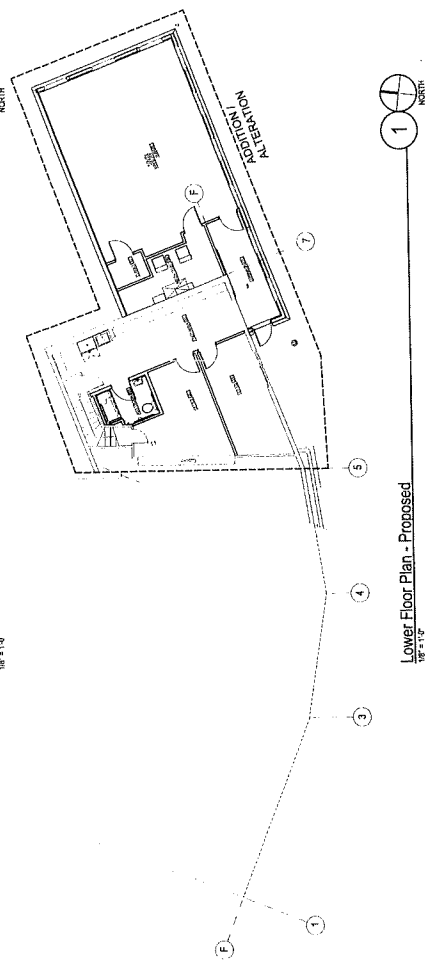
Middle Floor Plan - Existing  
 1/8" = 1'-0"



Lower Floor Plan - Existing  
 1/8" = 1'-0"



Middle Floor Plan - Proposed  
 1/8" = 1'-0"



Lower Floor Plan - Proposed  
 1/8" = 1'-0"



## BUILDING HEIGHT INFORMATION

(E) BUILDING

% CROSS SLOPE: 7.25/12

PRIMARY ROOF PITCH:

ALLOWABLE HEIGHT (TRPA CODE SECTION 37.4.1): 35'-11"

(TRPA CODE SECTION 37.5.2): 38'-0"

(E) BUILDING MAX. HEIGHT (EXC. STEEPLE): 42'-7"

(E) BUILDING NATURAL GRADE: 6,482.00'

MAX. BUILDING ELEVATION: 6,520.00'

F.F. ELEVATION: 6,482.00'

(E) RIDGE: 6,524.58'

(E) HEIGHT FROM NAT. GRADE: 42'-7"

(E) ADDITION (ATTACHED TO BUILDING)

% CROSS SLOPE: 14%

PRIMARY ROOF PITCH: 7.25/12

ALLOWABLE HEIGHT (TRPA CODE SECTION 37.5.2): 38'-0"

(E) BUILDING NATURAL GRADE: 6,482.00'

MAX. BUILDING ELEVATION: 6,520.00'

F.F. ELEVATION: 6,481.42'

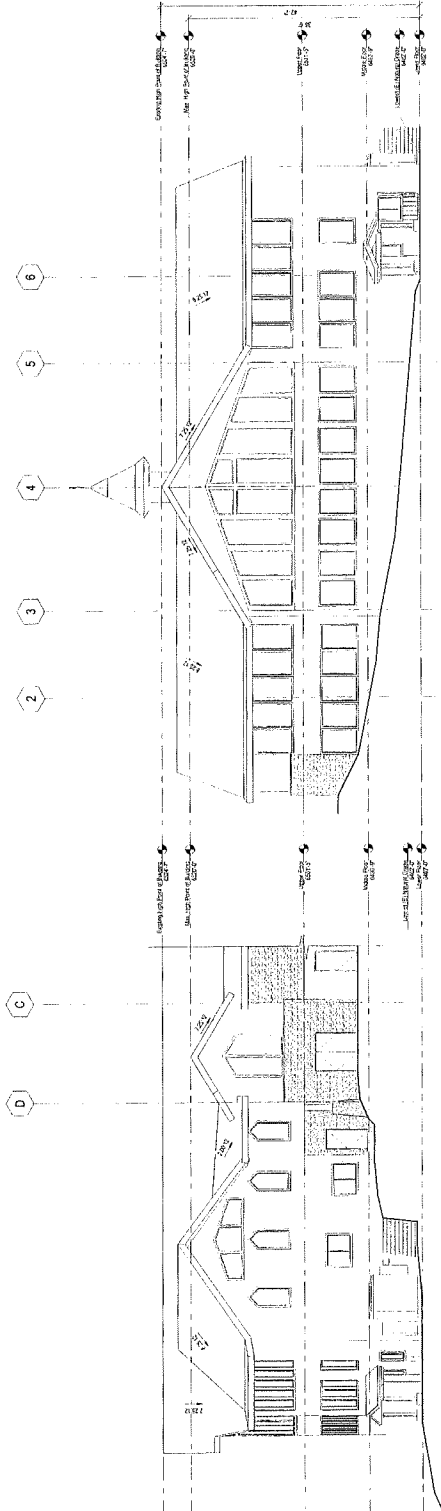
(P) RIDGE: 6,505.69'

(P) HEIGHT FROM NAT. GRADE: 23'-8 1/4"



## EXTERIOR FINISH NOTES

- 1. COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 2. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 3. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 4. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 5. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 6. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 7. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 8. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 9. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.
- 10. THE COLOR OF THE STRUCTURE INCLUDING ANY FINISHES ON THE PERCHMENT, SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. THE COLOR OF THE STRUCTURE SHALL BE AS SHOWN ON THE EXTERIOR FINISH SCHEDULE.

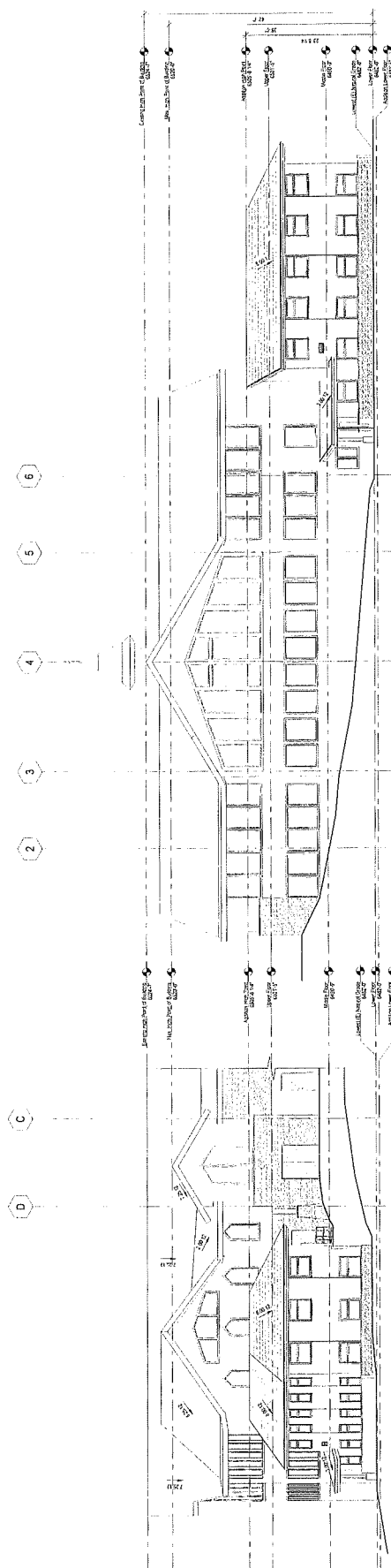


3

South Elevation - Existing

4

East Elevation - Existing



1

South Elevation - Proposed

2

East Elevation - Proposed

NOT FOR CONSTRUCTION

## ST. FRANCIS OF ASSISI CLASSROOM ADDITION

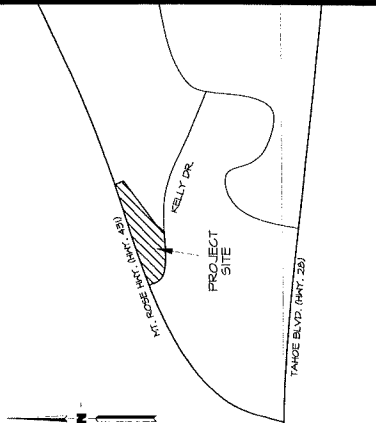
A.P.N. 124-030-02  
 701 W. ROSE PKY.  
 INCURVE VILLAGE, NY 89451  
 DATE: 12/15/2023  
 DRAWING NO: 124-030-02-01

TRPA APPLICATION

ELEVATIONS

# TRPA-A3.1

Vicinity Map



TRPA Site & Land Coverage Data

Allowable Land Coverage (S&F) By Land Capability

LAND CAPABILITY	CLASS 4	SEZ (S)	TOTAL
AREAS	40253	16,648	56,901
ALLOWABLE COVERAGE PER BUILDING	26%	5A	14,225
	14,695	166	

Existing Land Coverage (S&F) By Land Capability

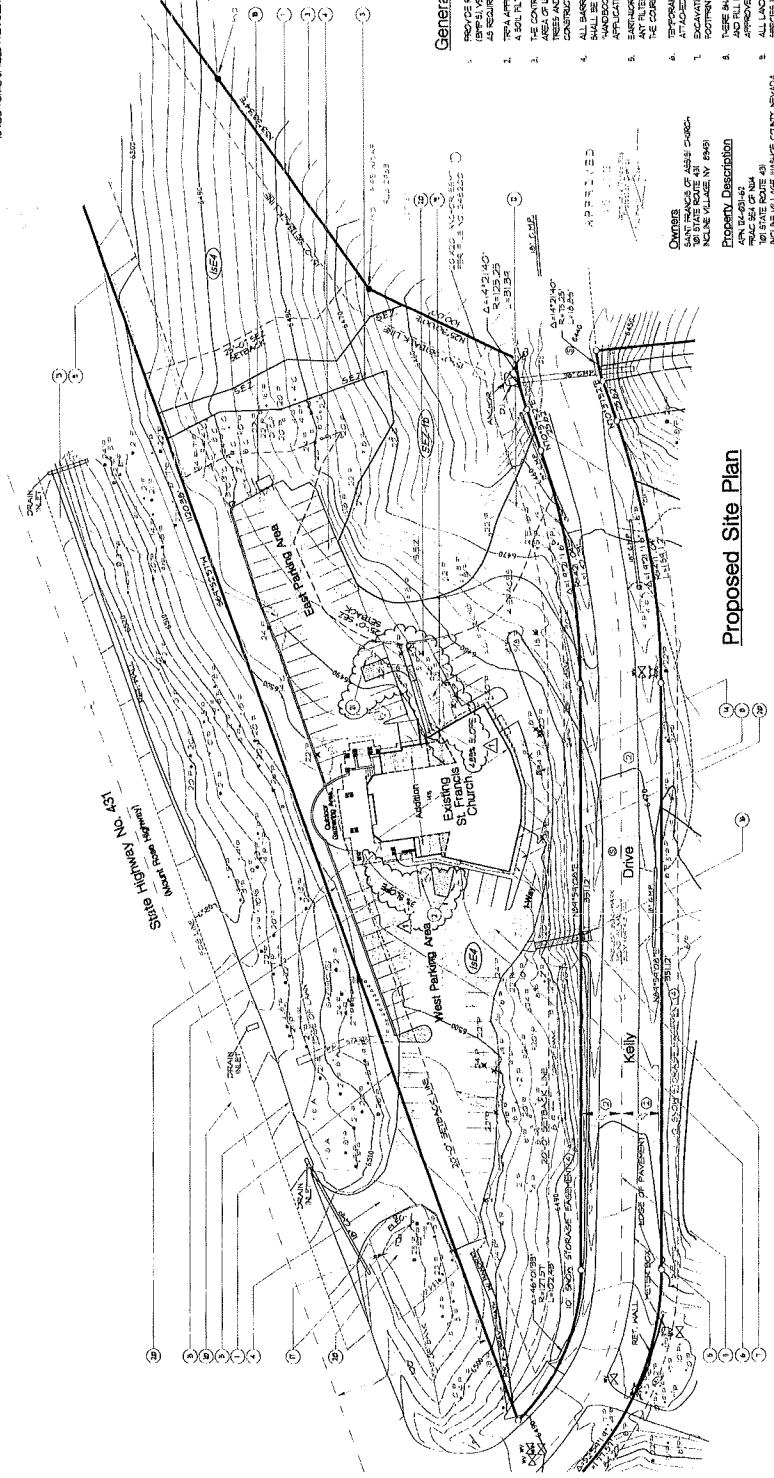
LAND CAPABILITY	CLASS 4	SEZ (S)	TOTAL
A/E BAYS	3287	0	3287
BUILDINGS	5891	0	5891
ENTRANCES AND RAVINES	669	0	669
SPRINGS	92	0	92
TOTAL EXISTING COVERAGE	10,939	0	10,939
TOTAL ALLOWABLE COVERAGE	3,981	0	3,981

Proposed Land Coverage (S&F) By Land Capability

LAND CAPABILITY	CLASS 4	SEZ (S)	TOTAL
BAYS AND RAVINES TO REMAIN	26266	0	26266
PROPOSED ADD'L A/E BAYS	4887	0	4887
BUILDINGS	5465	0	5465
BAYS AND RAVINES	839	0	839
OUTDOOR RECREATION AREA	1083	0	1083
EAST ENTRANCE AVENUE	160	0	160
ENTRANCE TO KELLY DRIVE	391	0	391
LANDSCAPE WITH STEEP SLOPES AND STONES	743	0	743
CONCRETE PAVED "MEDIAN" EQUIPMENT "BAYS"	42,608	0	42,608
TOTAL PROPOSED COVERAGE	59,888	0	59,888
TOTAL ALLOWABLE COVERAGE (EXISTING)	3,981	0	3,981
TOTAL COVERAGE TO BE REMOVED	3,393	0	3,393
TOTAL PROPOSED ON-SITE COVERAGE	4,680	0	4,680

Parking Space Calculations

TOTAL EXISTING PARKING SPACES: 6 SPACES  
 TOTAL REMOVED PARKING SPACES: 0  
 NET REMAINING PARKING SPACES: 6  
 36% OF NET REMAINING BUILDING AREA: 6 TOTAL SPACES REQUIRED  
 TOTAL PROPOSED PARKING SPACES: 6 SPACES  
 6% OF NET REMAINING BUILDING AREA: 6 TOTAL SPACES PROVIDED



Proposed Site Plan

OWNER: **St. Francis Church**  
 101 STATE ROUTE 431  
 INCLINE VILLAGE, NV 89315

PROPERTY DESCRIPTION:  
 101 STATE ROUTE 431  
 INCLINE VILLAGE, NV 89315

Key Notes

- PROPERTY LINE
- EXISTING CONTAINMENT
- AC PAVING PARKING AREA AND DRIVEWAYS
- EDGE OF PAVEMENT
- STAGING AREA
- STAKEOUT
- EXISTING DRAINAGE
- CENTERLINE OF MOUNT ROSE HIGHWAY
- CENTERLINE OF KELLY DRIVE
- LIMITS OF EXISTING FOUNDATION SHALL TO BE REMOVED
- SEE CIVIL ENGINEERING DRAWINGS FOR ALL AND DRAINAGE PERMITS FROM STATE AND LOCAL AGENCIES
- NEW CONCRETE SHALL BE 4" HIGH HANDRAIL
- EXISTING 6" HIGH HANDRAIL SHALL BE REMOVED
- 6" HIGH FOOTING AND GATES
- CONCRETE PAD FOR MECHANICAL AND ELECTRICAL
- SEE LANDSCAPE ILLUSTRATION PLANS FOR ALL
- PROPOSED ACCESSION
- PROVIDE ALL REQUIRED HAZARDOUS ACCESSIBILITY AND ADA COMPLIANCE
- COSECS AND STANDARDS

James P. Borell  
 AIA  
 ARCHITECT  
 PROJECT DEVELOPMENT  
 101 STATE ROUTE 431  
 INCLINE VILLAGE, NV 89315



Nevada County  
 Comments: 9-3-07

Date: May 23, 2007  
 Drawn: JPB  
 Scale: 1/2" = 1'-0"

Project: St. Francis Of Assisi Church Remodel

701 State Route 431  
 Incline Village, Nevada  
 APN 124-031-02

Sheet: NUTZP  
 S&F Plan  
 TRPA Data  
 Storage Details

A0.2  
 10 of 60 sheets

General Notes

- PROVIDE REQUIRED TEMPORARY BEST MANAGEMENT PRACTICES (BMP) TO PREVENT EROSION AND SEDIMENTATION AS REQUIRED BY TRPA FIELD INSPECTOR.
- TRPA APPROVED FABRIC FILTER BARRIERS TO BE USED AS REQUIRED BY TRPA FIELD INSPECTOR.
- THE CONTRACTOR SHALL CONTROL WORK AND MATERIAL STORAGE TO PREVENT DAMAGE TO ADJACENT AREAS AND NATURAL RESOURCES DURING CONSTRUCTION.
- ALL BARRIERS ARE TO BE REMOVED DURING THE CONSTRUCTION PROCESS AND THE CONTRACTOR SHALL RESTORE THE TRPA TO ORIGINAL OR BETTER CONDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF WORK.
- PROPOSED PAVEMENT SHALL BE PERMITTED TO BE ATTACHED TO TRPA.
- EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION OF THE EXISTING BUILDING AND SHALL BE DEPOSITED AT AN APPROVED LOCATION.
- ALL LANDSCAPING IS TO CONFORM TO THE REQUIREMENTS FOR SIZE AND SPECIES IDENTIFIED IN CHAPTER 39 OF THE TRPA CODE OF ORDINANCES.

MAXIMUM CALCULATED  
 PAVED AREA: 38,841 SF  
 PROPOSED COVERAGE: 4,680 SF  
 REMAINING BAY AREA: 34,161 SF  
 PROPOSED TRPA: 27,259 SF



